

**SAN JUAN COUNTY, COLORADO**  
**BOARD OF COMMISSIONERS MEETING AGENDA**  
**OCTOBER 12, 2022**

Due to COVID-19, San Juan County meetings will be conducted in a hybrid virtual/in-person format. All persons including Board Members, Staff and those with appointments scheduled on the agenda may meet in person or via zoom. For anyone attending the meeting in person and especially atrisk participants are strongly encouraged to wear a mask. We encourage community members to participate via zoom. The information necessary to connect to the public meeting is listed below.

**CALL TO ORDER: 8:30 A.M.**

**OLD BUSINESS:**

Consider Bills and Authorize Warrants  
BOCC Regular Meeting Minutes for September 28, 2022

**APPOINTMENTS:**

10:00 A.M. - Sketch Plan, Improvement Permit Application, Proposed Robertson Accessory Dwelling Unit (ADU), Tract 13, Know Your Neighbor Subdivision, 159 Spud Circle, near Lime Creek Road (CR 1/FR 591), San Juan County, CO. (Applicant/Owner Justin Robertson)  
10:20 A.M. - Sketch Plan, Improvement Permit Application, Proposed Hawn Cabin, Log Cabin Lode USMS No. 19335, CR 14, near Red Mountain Pass, San Juan County, CO. (Applicants/Owners Jordan Hawn, Clayton Rundquist, and Christopher Forrest)  
Other

Lunch – Location to be determined

**CORRESPONDENCE:**

Bonita Peak Mining District Update

**NEW BUSINESS:**

Treasure's Report  
Sales Tax Update  
Memorandum of Understanding – For Control of Confidential Data  
Public Comment  
Commissioner and Staff Reports

**OTHER:**

**ADJOURN: Next Regular Meeting – 6:30 PM, Wednesday October 26, 2022**

Join Zoom Meeting

<https://zoom.us/j/92136473203>

Meeting ID: 921 3647 3203

One tap mobile

+16699006833,,92136473203# US (San Jose)

+12532158782,,92136473203# US (Tacoma)

Dial by your location

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 646 876 9923 US (New York)

SAN JUAN COUNTY BORAD OF COMMISSIONERS MET OCTOBER 12, 2022  
 AND THE FOLLOWING BILLS WERE APPROVED FOR PAYMENT.

23871	FORETHOUGHT.NET	BILLS	1160.78
23872	CITIZENS STATE BANK	FOR STATE CHARGES	19462.74
23873	SILVERTON SJ FIRE AUTHORITY	STIPENED-PROGRAM CLEANING	10475.00
23874	CASCADE RESCUE COMPANY	ORDER CONFIRMATION	4988.25
23875	SILVERTON RESTORATION	INV #4 HOSPITAL	2106.50
23876	JEAN ALBERICO	20 UOCAVA ENVELOPE SETS	24.08
23877	RIGGING FOR RESCUE, LLC	INV # 3571(EPD BILL)	1425.00
23878	BLUE CROSS & BLUE SHIELD	MEDICAL INSURANCE	15082.17
23879	RIGGING FOR RESCUE, LLC	INV# 3571 SHORTAGE	100.00
23880	VISA (CALLED BANK FOR AMT)	NURSE BILL PAID IN FULL	8807.90
23881	IMAGENET CONSULTING	SHERIFFS BILL	107.17
23882	SILVERTON GROCERY	NURSES GIFT CARDS	4987.50
DD	ABIGAIL H. ARMISTEAD	SHERIFFS DEPUTY WAGES	3415.44
DD	AMIE R. BIOCCHI	SHERIFF-NURSES ASST WAGES	3245.56
DD	ANTHONY D. EDWARDS	COMMUNICATIONS WAGES	2521.19
DD	ARTHUR J. DONOVAN	EPD WAGES	4459.57
DD	AUSTIN P. LASHLEY	COMMISSIONERS WAGES	1484.04
DD	BRUCE T. CONRAD	SHERIFFS WAGES	3910.37
DD	DEANNA M. JARAMILLO	TREASURERS WAGES	3314.23
DD	ELIZABETH KREMER	ED WAGES	708.05
DD	ERNEST F. KUHLMAN	COMMISSIONERS WAGES	1991.91
DD	JOHN A. JACOBS	SHERIFFS DEPUTY WAGES	3317.11
DD	KERI METZLER	CORONER WAGES	902.33
DD	KIMBERLY A. BUCK	ASSESSORS WAGES	3861.94
DD	KRISTINA L. RHOADES	SOCIAL SERVICE WAGES	2358.91
DD	LADONNA L. JARAMILLO	COUNTY CLERK WAGES	3273.72
DD	LOIS MACKENZIE	NURSE ASSISTANT WAGES	1124.64
DD	REBECCA B. JOYCE	COUNTY NURSE WAGES	4076.56
DD	REBECCA J. RHOADES	CUSTODIAN WAGES	1250.09
DD	STEPHEN W. LOWRANCE	UNDERSHERIFF WAGES	3903.73
23883	CITIZENS STATE BANK	ANVIL PAYMENT	5558.98
23884	KLINKE & LEW CONTRACTORS	WORK ON HOSPITAL	5904.00
23885	KLINKE & LEW CONTRACTORS	WORK ON HOSPITAL	4800.00
23886	LISA M. ADAIR	PLANNER WAGES	2284.80
23887	MACKENZIE A. GILLESPIE	DEPUTY CLERK WAGES	1756.97
23888	SCOTT L. FETCHENHIER	COMMISSIONERS WAGES	2034.91
23889	TOMMY WIPF	VETS OFFICER WAGES	354.40
23890	WILLIAM A. TOOKEY	ADMINISTRATOR WAGES	4564.00
23891	CITIZENS STATE BANK	FEDERAL TAXES WITHHELD	20406.64
23892	CITIZENS STATE BANK	STATE TAXES WITHHELD	3384.00
23893	GREAT-WEST LIFE	GROUP RETIREMENT	5326.70
23894	CITIZENS STATE BANK	H S A SAVINGS	1500.00
23895	KANSAS CITY LIFE	DENTAL & LIFE INSURANCE	878.40
23896	VOID		

23897 AFLAC	INDIVIDUAL	177.10
23898 AMWINS GROUP BENEFITS	VISION INSURANCE	170.97
23899 MOSS MASONRY	EST # 72	9617.82
23900 WEX BANK	SHERIFFS FUEL	1326.92
23901 MACKENZIE A. GILLESPIE	REIMB MEETING	89.51
23902 MAISEL EXCAVATION, LLC	HOSPITAL COAL	2355.62
23903 MAISEL EXCAVATION, LLC	HOSPITAL COAL	1205.50
23904 TOWN OF SILVERTON	W/S THRU 08-31-22	3399.60
23905 VISA	BILLS	3190.56
23906 VISA	SOC SER-COMMUNICATION BILL	182.67
23907 SAN MIGUEL POWER	BILLS	2309.11
23908 STATE OF COLORADO	RENEWALS-TITLES-REG	47.40
23909 ROCKY MOUNTAIN FORENSIC	POSTMORTEM EXAMINATION	1666.75
13910 ROB GARDINER	SEPT FINANCE PAY	600.00
23911 BRUCE HARING	PSYCHOTHERAPY PAY	4942.00
23912 KEITH KRANKER PH D	TECHNICAL WRITING PAY	400.00
23913 4 CORNERS POWER GENERATOR	PM SERVICE	424.94
23914 BECKY JOYCE	REIMB MILEAGE-MEALS	469.50
23915 CO CUSTOM ELEVATOR LIFT	SEMI-ANNUAL SERVICE	750.00
23916 SILVERTON GROCERY	NURSES BILL	102.85
23917 CENTURY LINK	ELEVATOR BILL	86.17
23918 VERIZON	SHERIFFS BILL	186.49
23919 NMS	POSTMORTEM BLOOD-URINE	593.00
23920 DENNIS R. GOLBRICHT	SEPTEMBER 22 SERVICES	3509.50
23921 AMBULANCE ASSOCIATION	9-22 SALES TAX MONTHLY PYMT	38333.33
23922 AMBULANCE ASSOCIATION	9-22 MONTHLY PAYMENT	7200.00
23923 SILVERTON HARDWARE	BILLS	344.60
23924 FORETHOUGHT.NET	BILLS	1156.26
23925 ERNEST F. KUHLMAN	REIMB SUPPLEMENTAL	198.28
23926 CENTURY LINK	SHERIFFS BILL	72.22
23927 CENTURY LINK	SHERIFFS BILL	358.21
23928 BUSINESS OPTIONS MEDICAL	NURSES BILL	112.50
23929 LORETTA ST GEORGE	DEEP CLEANING HOSPITAL	205.00
23930 SILVERTON STANDARD	LEGALS	735.66
23931 SJ REGIONAL PLANNING COMM	ALLOCATED AMOUNT	400.00
23932 KEENAN'S PLUMBING & HEATING	EVALUATE SYSTE-LABOR	1690.32
TOTAL GENERAL		265210.64

ROAD

6923 ANTHEM BLUE CROSS	MEDICAL INSURANCE	2250.12
DD DAVID L. ANDREWS	ROAD FOREMAN WAGES	3612.47
DD LOUIS K. GIRODO	ROAD OVERSEER WAGES	4431.31
DD MICHAEL C. MAXFIELD	ROAD OPERATOR WAGES	3477.83
6924 CITIZENS STATE BANK	FEDERAL TAXES WITHHELD	4185.06
6925 CITIZENS STATE BANK	STATE TAXES WITHHELD	654.00
6926 GREAT WEST LIFE	GROUP RETIREMENT	946.08
6927 CITIZENS STATE BANK	H S A SAVINGS	200.00
6928 KANSAS CITY LIFE	DENTAL & LIFE INSURANCE	240.40
6929 AMWINS GROUP BENEFITS	VISION INSURANCE	38.03
6930 AFLAC	INDIVIDUAL INSURANCE	62.01
6931 TOWN OF SILVERTON	W/S THRU 08-31-22	566.01
6932 VISA	SUPPLIES	118.08
6933 HONNEN EQUIPMENT	BILL	498.02
6934 SILVERTON HARDWARE	SUPPLIES	833.54
6935 FOUR CORNERS WELDING	KOX-MAC	45.00
3936 SAN MIGUEL POWER	BILLS	213.47
6937 ALSCO AMERICAN INDUSTRIAL	BILL	111.00
6938 WHISTLESTOP	FUEL	4909.80
TOTAL GENERAL		27392.23

GENERAL	265210.64
ROAD	27392.23
TOTAL ALL FUNDS	292602.87

WERE ALLOWED SETTLEMENT OM FULL BY ORDER OF SAN JUAN COUNTY COMMISSIONERS.

\_\_\_\_\_  
SCOTT FETCHENHIER, CHAIRMAN

\_\_\_\_\_  
ERNEST F. KUHLMAN, COMMISSIONER

\_\_\_\_\_  
AUSTIN LASHLEY, COMMISSIONER

\_\_\_\_\_  
LADONNA L. JARAMILLO, CLERK



SAN JUAN COUNTY BOARD OF COMMISSIONERS  
REGULAR MEETING WEDNESDAY, SEPTEMBER 28, 2022  
AT 6:30 P.M.

Call to Order: The meeting was called to order by Chairman Scott Fetchenhier. Present were Commissioners Ernest Kuhlman, Austin Lashley, County Attorney Dennis Golbright and Administrator William Tookey.

Commissioner Kuhlman moved to approve the minutes of September 14, 2022, as submitted. Commissioner Lashley seconded the motion. The motion passed unanimously.

Dayna Kranker and Public Health Director Becky Joyce presented to the County Board of Health the Community Health Assessment. Upon completion of the presentation the Board discussed the Health Assessment and received comments from the public. Commissioner Lashley moved to accept the Community Health Assessment as submitted. Commissioner Kuhlman seconded the motion. The motion passed unanimously.

Public Health Director Becky Joyce, Terri Brokering, Jack Clark and others raised the issue of the dust on CR 2. Upon completion of the discussion, it was the consensus of the Commissioners to schedule a work session in the near future for further discussion on dust control on county roads.

Terri Brokering was present to provide the Commissioners with her annual report on the Eureka Campground. She also requested that the County allow her to close the bathroom in Eureka during the winter. It was the consensus of the Commissioners to allow her to close the bathroom as requested. She also requested some road work to allow access for camping along the river. It was determined that a site visit would be required before any action was taken.

Resolution 2022-08 to designate The Denver and Rio Grande Western Railroad Narrow Gauge Boxcar #3101 be listed on the San Juan County's Historic Register was presented to the Commissioners for their consideration. Commissioner Kuhlman moved to approve Resolution 2022-08 as submitted. Commissioner Lashley seconded the motion. The motion passed unanimously.

Justin Jacobs of the Cascade Village Community Association was present to provide a statement concerning future development at Cascade Village.

The Opus Hut Liquor License Renewal was presented to the Commissioners for their consideration. Commissioner Lashley moved to approve the Liquor License Application as submitted. Commissioner Kuhlman seconded the motion. The motion passed unanimously.

Colorado Roadhouse LLC Liquor License Renewal was presented to the Commissioners for their consideration. Commissioner Kuhlman moved to approve the Liquor License Application as submitted. Commissioner Lashley seconded the motion. The motion passed unanimously.

Planning Director Lisa Adair presented her staff report.

Commissioner Lashley moved to go into executive session pursuant CRS Section 24-6-402(4)(a) for the purpose of discussion the negotiation of the acquisition of real property and that the session would include the Commissioners, Administrator Tookey, Attorney Golbright, Rebecca Almon and Anthony Edwards. Commissioner Kuhlman seconded the motion. The motion passed unanimously.

The meeting was reconvened at 10:18 pm.

Commissioner Kuhlman moved to direct the County Administrator to proceed forward in the negotiation for real property as necessary. Commissioner Lashley seconded the motion. The motion passed unanimously.

Having no further business, the meeting adjourned at 10:19 P.M.

\_\_\_\_\_  
Scott Fetchenhier, Chairman

\_\_\_\_\_  
Ladonna L. Jaramillo, County Clerk

## STAFF REPORT FOR THE BOARD OF COUNTY COMMISSIONERS

### PROPOSED ROBERTSON ADU, TRACT 13 KNOW YOUR NEIGHBOR SUBDIVISION

**REPORT DATE:** October 8, 2022

**MEETING DATE:** October 12, 2022

**FROM:** Lisa Adair PE

**Application:** Sketch Plan, County Improvement Permit Application, Proposed Robertson Accessory Dwelling Unit (ADU) and Associated Improvements, Tract 13 Know Your Neighbor Subdivision, accessed via Lime Creek Road (County Road 1 & US Forest Service Road 591), 159 Spud Circle, San Juan County, Colorado.

**Applicant/Owner:** Justin Robertson.

**Proposed Improvements:** Proposed improvements include: one shop/garage structure, including a residential dwelling unit. Grading and utility work is also proposed at this time. In the distant future, a separate, single family home will be built. At that time, the initial garage/dwelling structure would be considered a “secondary dwelling unit” or an Accessory Dwelling Unit (ADU).

**Location and Access:** Tract 13 of the Know Your Neighbor Subdivision is located at the end of the existing subdivision access road known as Spud Circle. Spud Circle is accessed via Lime Creek Road. Lime Creek road is a shared, dual-jurisdiction road, also known as County Road 1, and US Forest Service Road 591.

**Site History:** In approximately 1970, the County approved the Know Your Neighbor Subdivision on Lime Creek Road, which was intended for single family residential use allowing for one dwelling unit on each Tract.

**Purpose of Review:** If the County approves this application for a proposed ADU, a total of two dwelling units will be permitted on this Tract. The Know Your Neighbor Subdivision was approved in 1970 for single family use, with one dwelling unit per Tract. You are considering whether or not to allow two dwelling units on a single family parcel. Furthermore, you may consider it an exemption in order to allow for the smaller, “accessory” building to be constructed before the “primary” structure (the proposed future home).

**SUMMARY:** The application and proposed improvements appear to comply with the Master Plan and the County Zoning and Land Use Regulations. The Planning Department staff and the Planning Commission recommends conditional approval of this application, for the Proposed Robertson ADU on Tract 13 of the Know Your Neighbor Subdivision, near Lime Creek Road, with the conditions of approval at the end of this staff report. The conditions of approval have been updated to reflect two conditions added by the Planning Commission.

**Application:** The current application documents were received at the Courthouse on September 1. The application appears to be adequately complete. A copy of the application is attached for your review. An electronic version is posted on the County website.

**Comparison to the Master Plan:** The County Zoning and Land Use Regulations are posted on the County website. The regulations state: *All applications for review under this Chapter will be examined initially to determine whether the proposal is consistent with the County's Master Plan.* The 2010 Town/County Master Plan is also posted on the Town and County websites. The Master Plan states:  
“Economic corridors are suitable for residential, light industrial, and flexible commercial uses and already contain existing residential development and some mixed commercial, industrial and mining development. Generally, the

## STAFF REPORT FOR BOCC, ROBERTSON ADU, TRACT 13 KYN, OCTOBER 8, 2022.

corridors contain less-steep terrain and more developable mining claims than other parts of the unincorporated county. The economic corridors have year-round plowed county roads or direct access to Hwy 550, meaning that they have year round access to services dependent on wheeled vehicle access (ambulance, fire and law enforcement).

Goal LU-2: Focus future development on mining claims into economic corridors that are environmentally suitable, where public services are available and that provide feasible opportunities for growing the community and the economy

1. South County on or near Highway 550- Durango Mountain Resort master plan area, Cascade Village, the Mill Creek subdivision, and **Know Your Neighbor** residential area along the south end of Lime Creek Road from the intersection at the Cascade Creek curve to the end of the plowed access.”

The project site appears to be located within one of the County’s “Economic Corridors.” The proposed improvements appear to comply with the intent of the Master Plan.

**Comparison to the County Regulations:** The County Zoning and Land Use Regulations state: *If consistent with the Master Plan, all applications will be reviewed to determine whether, based upon the objective facts contained within the record before the reviewing body:*

*(a) The proposal will have any adverse impact on public health, **safety**, morals or welfare.*

The proposed improvements are not expected to have a significant adverse impact on health, safety, morals, or welfare.

*(b) Adequate potable **water** is available or can be developed to safely support the proposed use, including fire control and suppression.*

Water will be provided by an existing unused on-site water well. If necessary the water should be treated to improve the unknown water quality. Fire water storage and fire truck access/suppression should be incorporated into the site layout and proposed water system design.

*(c) Adequate **sewage** disposal can be provided to support the proposed use.*

Sewage disposal will be provided by a proposed septic system.

*(d) The proposed use will have any adverse effect on public or private **property** in the vicinity of the development.*

The proposed improvements are not expected to have a significant adverse impact on nearby public or private property.

*(e) The proposed use will have any adverse effect on **scenic** values, historic sites or structures, air or water or environmental quality, wildlife (including habitat, food sources, migration routes, hunting, etc.), erosion or other geological condition.*

The proposed improvements are not expected to have a significant adverse impact on scenic values, historic sites/structures, environmental quality, wildlife, erosion, or geological conditions. The photos contained within the attached application appear to indicate that the proposed structures are not expected to be visible from any nearby County Roads or known public trails. At this time there are no known historic structures/relics on the site.

*(f) Adequate road **access** exists or can be developed to ensure access appropriate to the use, including access for emergency services. “Adequate access” shall require proof that any access is either a public San Juan County road or state highway or else a private road or other access which meets the following minimum standards: (i) have adequate water bars, bar ditches, culverts and other drainage improvements to prevent erosion of the road which might interfere with access; and (ii) be subject either to (a) deed(s) granting access across all private property the access traverses from the parcel being improved to the nearest public San Juan County road or state highway (in which event the applicant also shall demonstrate the existence of a perpetual agreement governing the use and maintenance of such private road across private property) or (b) one or more valid road permits across any federal or state property lying between the*

## STAFF REPORT FOR BOCC, ROBERTSON ADU, TRACT 13 KYN, OCTOBER 8, 2022.

*parcel being improved and the nearest public San Juan County road or state highway. If access is via a private road, the applicant also shall either prove that an existing access permit exists for the road issued by San Juan County (if the private road intersects a County road) or by CDOT ... or else shall apply for and obtain an access permit for the private road from the relevant agency.*

Access to this site will utilize the existing Lime Creek Road, to existing Spud Circle, then the existing and proposed driveway alignment proceeds through platted access easements.

*(g) Adequate road access exists or can be developed to ensure access appropriate to the use, including access for emergency services.*

This site is located close to plowed, year round adequate access via Highway 550, compared to the typical remote backcountry access for most County parcels.

*(h) Adequate utilities are or can be made available for the proposed use, unless deemed unnecessary or not practical.* The site design includes adequate utilities, such as a proposed septic system, and an existing water well.

*(i) Adequate emergency services exist to serve the proposed use, unless deemed unnecessary or not practical.*

Approval of the proposed improvements (proposed single family residential land use with secondary dwelling unit) is not expected to overburden the local existing emergency services agencies. Approval of the plans prior to construction from the nearby Fire Marshal of DFPD Durango Fire Protection District is required for all "south County" projects.

*(j) There are natural hazards which may adversely affect the site or the proposed use of the site ...*

The adopted County hazard maps, for geological hazards and avalanche risk, show that the proposed improvements are located outside of any known avalanche area. The County's adopted geologic hazards maps are currently being reviewed by the Planning Dept. to determine in which geologic area this site is located. A geologic map was submitted in the application but is too small to be legible. The geological category, and any associated County requirements for expert assistance, will be provided to the County Commissioners. Given the dense tree cover in the vicinity of the project site, and increasingly prevalent beetle kill damage in this County, the highest potential natural hazard risk at this site is expected to be fire-related. That could involve a structure fire causing a wildfire, or a wildfire causing a structure fire. The Applicant should consider incorporating ways to store extra water for fire suppression, and keep the possibility of increasing fire danger in mind, during design and construction. All applicants are required to utilize the Colorado Firewise guidelines for fire mitigation, and an annual fire hazard site evaluation.

**Regulations Regarding Accessory Uses/Structures/Buildings:** The proposed garage/ADU structure can be considered an accessory use, accessory building, accessory structure. Here are applicable excerpts from the County regulations regarding Accessory Uses/Structures/Buildings to help you make a recommendation on this proposal.

"ACCESSORY USES AND STRUCTURES Accessory uses and structures are permitted in all zoning and overlay districts subject to review, approval and development of the primary use. Accessory uses and structures may be subject to other sections of this or other regulations.

ACCESSORY USE: A use conducted on the same lot or parcel as the primary use as the structure to which it is related; a use that is clearly incidental to, and customarily found in connection with, such primary use.

BUILDING, ACCESSORY: A building which (1) is subordinate to and serves a principal structure or a principal use, (2) is subordinate in area, extent, and purpose to the principal structure or use served, (3) is located on the same lot or parcel as the principal structure or use served except as otherwise expressly authorized by provisions of this resolution, and (4)

## STAFF REPORT FOR BOCC, ROBERTSON ADU, TRACT 13 KYN, OCTOBER 8, 2022.

is customarily incidental to the principal structure or use. Any portion of a principal structure devoted or intended to be devoted to an accessory use is not an accessory structure.”

If you approve this proposed ADU, along with that comes a change in the previously approved land use from one single family residential unit to a total of two proposed dwelling units on one Tract. Simultaneously an exemption may be needed (from the County Commissioners) to construct an accessory building prior to the primary structure. The primary structure would be a proposed single family home built in the future, and it would be larger than the proposed ADU dwelling unit. The County does not currently allow land owners to build accessory structures prior to the primary structure. Thus an exemption or variance from the County Commissioners could be required, only for a site specific reason after careful review and consideration. One reason that the County no longer allows land owners to build a shed or garage prior to the primary structure is that some owners ended up “living in their shed” and never building the house, or a septic system. At this time, the proposed Robertson garage/shop/ADU structure could be considered the “primary” residence/structure. However, upon construction of the “actual home,” in the distant future, the ADU structure would then become the “accessory” building and the “secondary dwelling unit.”

**Regulations Regarding the County’s Urban Residential Zoning District:** This site, which is “an existing Lot within a previously-approved Subdivision,” is believed to be within the County’s Urban Residential Zoning District. Surrounding lands in the “south County” area appear to be zoned Rural Residential, while the Cascade Village PUD, Twilight Meadow Subdivision, Mill Creek Estates Subdivision, and Know Your Neighbor Subdivision are all believed to be Urban Residential. Urban Residential requirements generally allow for denser proposals on smaller parcels, in comparison to Rural Residential which is primarily set aside for single family use on 30-40 acre parcels. Here are applicable excerpts from the County Regulations regarding the Urban Residential Zoning District, to help you make a recommendation on this proposal.

**“URBAN RESIDENTIAL ZONING DISTRICT INTENT** The intent of the Urban Residential Zoning District is to permit smaller-lot subdivisions, lower density multi-family units and limited commercial businesses with approved sewer and water systems where appropriate near an existing town, resort or similar development.

**THE URBAN RESIDENTIAL ZONING DISTRICT USES** Within the Urban Residential Zone, only activities which do not involve any construction or development of any sort (such as camping, picnicking, hiking, and outdoor recreation) are permitted as uses by right. Other activities including single family dwellings, multiple-family dwellings, and limited commercial businesses are uses subject to review and may be permitted within this zone. Industrial uses, including mining, milling and manufacturing, are not be permitted in this zone unless approved as a conditional use as set forth in Section 1-108. Special activities and uses as defined in Chapter 5 of this Code are subject to the review process and additional regulations described therein.

**URBAN RESIDENTIAL ZONING DISTRICT STANDARDS** (a) Size. Minimum parcel or lot area: 6,000 square feet. (b) Setbacks. Minimum setback: ten (10) feet from the property lines. The County reserves the authority to modify these standards for those proposals where the impact of development or land use under less restrictive minimums is deemed inconsequential, or where the minimums are deemed inappropriate for the proposed use.”

**Adjacent Land Owners:** The adjacent land owners (within 1500 feet of the property boundaries) were notified by mail on September 1. No known opposition, comments, or inquiries were received to date.

**Application Fee:** The application includes a receipt from the County Treasurer from July for the \$840 County Improvement Permit Application Fee.

**Legal Notice:** The Legal Notice is attached and was published in the local weekly newspaper dated Sept. 29.

## **STAFF REPORT FOR BOCC, ROBERTSON ADU, TRACT 13 KYN, OCTOBER 8, 2022.**

**Sketch Plan and the 3-Step Review Process:** This application is considered a “Sketch Plan,” which is step one of three steps described in the County Regulations: Sketch Plan, Preliminary Plan, Final Plan (indicating that County applicants should expect the process to include three submittals and six meetings). Considering that the Know Your Neighbor Subdivision was approved by the County in approximately 1970, intended for a proposed single family residence on this Tract, the Board of County Commissioners may decide to recommend an abbreviated review process, for this specific site. The main purpose of this particular review is the proposed change in land use from single family residential, to allow for a total of two dwelling units, instead of one.

**Building Standards for Subdivisions:** The proposed garage/ADU structure is three story. The approximate square footages of the two proposed structures are listed in the application. The proposed structures on Tract 13 in the Known Your Neighbor Subdivision shall comply with the adopted building standard requirements which apply to all Subdivisions as described in the County Zoning and Land Use Regulations including the following applicable excerpts:

### **7-115 BUILDING STANDARDS**

- .1 Maximum Building Height: 35 feet
- .2 Maximum Size of Residence: 7500 square feet
- .3 Maximum Residential Structure Footprint: 5000 square feet

**Electric in Subdivisions:** For parcels which are in a County Subdivision, the County Zoning and Land Use Regulations includes the following applicable excerpts, regarding what appears to be existing/proposed overhead electric at Tract 13: All utilities, except major power transmission lines, shall be underground, unless specifically exempted by the Board of County Commissioners, who shall grant such exemption only in the case of extreme circumstances. The applicant and Planning Commission discussed the existing/proposed overhead electric lines, and the Applicant stated the proposed electric line will be buried underground. The Planning commission recommended adding a condition of approval that the proposed electric shall be buried.

**Forest Service:** The Forest Service staff recently corresponded with the applicant by email and did not express concerns about the proposed use of the Forest Service Road 591 (aka Lime Creek Road/CR 1) for access to Tract 13 Know Your Neighbor.

**Planning Commission Review:** The Planning Commission reviewed this County application on September 20, and recommended conditional approval with the conditions of approval in the Staff Report, adding that all propose electric shall be buried, and that the property deed should be filed in the San Juan County Courthouse. A letter from the Planning Commission Secretary has been requested.

**Citizen Comment regarding Property Deed:** Citizen Fritz Klinke wrote an email to the Planning Dept. regarding the property deed (and street address) for this parcel, Tract 13 in the Know Your Neighbor Subdivision. The deed had been filed in the La Plata County Courthouse. This was discussed with the Planning Commission and Applicant at the Sept. 20 Planning Commission meeting. Willy Tookey sent me a copy of the deed which was found in the office of the San Juan County Clerk. The Planning Commission added a condition of approval that the deed shall be filed in the San Juan County Courthouse and it already has been.

**Staff Recommendation:** Finding that the Sketch Plan County Improvement Permit Application for the Proposed Robertson ADU and associated improvements on Tract 13 of the Know Your Neighbor Subdivision appears to be adequately complete, and that the proposed improvements generally comply with the Master Plan and the County Regulations, I suggest you may **conditionally approve this application, with the following**

**STAFF REPORT FOR BOCC, ROBERTSON ADU, TRACT 13 KYN, OCTOBER 8, 2022.**

**conditions of approval (which have been updated to reflect two conditions added by the Planning Commission).**

**Conditions of Approval:** Here are proposed Conditions of Approval for your consideration, for the Proposed Robertson ADU and associated improvements on Tract 13 of the Know Your Neighbor Subdivision.

1. Compliance with all **State and Federal** regulations is required as a condition of this County permit. If regulations differ, then the most stringent shall apply. Failure to comply with State and Federal regulations shall void this County permit. Applicant is responsible for any Federal agency Army Corps of Engineers wetlands clearance or permit that may be required, in particular for proposed road and water line trench near the existing water well.
2. All County Improvement Permits are contingent on the San Juan Basin Public Health Department final approval of the **septic** system.
3. San Juan County requires **reseeding** of any disturbed soil ground surface with certified weed free native seed, in accordance with the applicable San Juan County Zoning and Land Use Regulations.
4. San Juan County has “dark sky” **lighting** requirements. Exterior/visible lighting on this site shall comply with the applicable San Juan County Zoning and Land Use Regulations.
5. The proposed improvements shall be adequately **screened** from view, in general compliance with the County’s adopted screening requirements. Although not anticipated, if the proposed structures or improvements are determined to be unacceptably visible from County Road 1, Highway 550, or other nearby public roads and trails, then tree planting shall be required (with final determination made by the County Commissioners).
6. The Applicant and proposed improvements shall comply with all applicable San Juan County Zoning and Land Use **Regulations**. Violation of the San Juan County Zoning and Land Use Regulations may cause this permit to be void. If requirements differ, the most stringent shall apply. In particular all applicants are required to carefully review the Regulations in Section **4-110**, to assure compliance. Additionally Chapter 7 of the County Regulations includes requirements for development within Subdivisions.
7. This approval is for the proposed single family residential land use and the proposed ADU, and does not allow for the use of the structures as a **Vacation Rental**, which would require further County review.
8. Use of a wildfire mitigation consultant from the Four Corners region is encouraged, to create a defensible space and **fire mitigation** recommendations, to reduce the overall hazards, of a forest fire causing structure fire, and to reduce the hazards of a structure fire causing a forest fire. A wildfire mitigation consultant can be utilized to assist with items including but not limited to: defensible space, dead standing/brush/tree thinning, placement/sizing of cisterns, any fire suppression system, availability of water, placement of propane and combustibles, selection of heat sources, woodstoves, fire resistant building materials, fire truck access/turnaround.
9. On site burning of cut tree limbs and brush requires notification of the Sheriff and Fire Departments prior to the controlled burn. Water and tools shall be readily available directly adjacent to the fire during any controlled burn, and there shall be no unsupervised campfires or burn piles. Burning is not permitted during



## STAFF REPORT FOR BOCC, ROBERTSON ADU, TRACT 13 KYN, OCTOBER 8, 2022.

a Fire Ban, and Fire Bans have variable additional requirements (regarding chainsaws, spark arresters, campfires, grills, etc.) The Sheriff and Fire Department shall have the right to prevent a landowner and contractor from burning, if weather conditions are expected to be dry or windy. Additionally, all required permits, including but not limited to San Juan Basin Health Department and CDPHE permits, shall be obtained by the Applicants prior to any **controlled burns**. The Tract 13 site location (in the southern end of San Juan County), would also require a Durango Fire protection District “burn permit” available on DFPD website.

10. Immediately prior to tree clearing, grading, and foundation excavation occurring within 30 feet of any of the project site property lines, the **property lines** shall be roped off using survey flagging or caution tape. The survey flagging that is marking the closest property line shall be clearly understandable in the field, for measuring and to prevent the soil, rocks, tree clearing, and heavy equipment from trespassing onto any adjacent lands.
11. **Building materials** shall meet the requirements of the San Juan County Zoning and Land Use Regulations including natural colors and non-reflective materials. The building materials shall consist of natural materials reflecting the natural terrain. The Applicant is encouraged to consider the possibility of overall future increasing fire hazard in this County, and encouraged to utilize as much fire-proof and fire-resistant building materials as possible.
12. The County Regulations require that **woodstoves** are EPA-approved. The Applicant is encouraged to utilize the Fire Inspector and/or Fire Chief to review plans before construction, and visit the site at the time of structure Certificate of Occupancy, to check chimneys, spark arrester caps, woodstove, heat source clearance from walls, smoke alarms, fire extinguishers, egress, and overall fire safety of the structures and the site.
13. As a condition of all County permits, the Applicant shall acknowledge that **emergency services** may not be available in a timely manner, and may not be available at all.
14. A “**bear proof trash**” solid waste storage system is required, and refuse utility billing through the Town.
15. Any on-site existing public **trails** shall remain open to public access.
16. No **historic** objects are expected. However, if any historic objects are encountered during construction, the construction shall temporarily cease, and recommendations of the County Historic Impact Review Committee shall be obtained and followed.
17. Approval of this County Improvement Permit is contingent on the review and approval of the Fire Marshal at **DFPD** Durango Fire Protection District, which approval shall be obtained prior to the site construction commencement.
18. The proposed electric lines shall be buried.  
*(Condition added by Planning Commission, and applicant states the proposed electric will be underground)*
19. The property deed shall be filed in the San Juan County Colorado Courthouse.  
*(Condition added by Planning Commission, and this is already done)*  
Prepared By: Lisa Adair PE, Planning Department, San Juan County Colorado, [planner@sanjuancolorado.us](mailto:planner@sanjuancolorado.us)

## **PUBLIC HEARINGS**

Notice is hereby given to the members of the general public that the San Juan County Colorado Board of County Commissioners will hold two Public Hearings at the San Juan County Courthouse, 1557 Greene Street, Silverton, Colorado, on Wednesday, October 12, 2022, in person and via Zoom to receive public comments on the following two County Improvement Permit Applications:

10:00 AM - Proposed Accessory Dwelling Unit (ADU) and associated improvements, Tract 13, Know Your Neighbor Subdivision, 159 Spud Circle, near Lime Creek Road, San Juan County, CO. The purpose of the application submitted by property owner Justin Robertson is to request approval of a proposed accessory dwelling unit.

10:20 AM - Proposed Cabin and associated improvements, Log Cabin Lode USMS No. 19335, County Road 14, near Red Mountain Pass, San Juan County, CO. The purpose of the application submitted by property owners Jordan Hawn et al is to request approval of the proposed residential use of a mining claim.

Notice is further given that all persons may present oral/written testimony regarding these two applications prior to/during the Public Hearings. Comments may be sent by email to [planner@sanjuancolorado.us](mailto:planner@sanjuancolorado.us), by mail to San Juan County, PO Box 466, Silverton CO 81433, or hand-delivered to the County Courthouse. The Zoom Meeting ID Number for County meetings is 921 3647 3203. Interested persons may contact the Planning Department with any questions/comments about these two applications.

Published in the Silverton Standard & Miner: Sept. 29, 2022.

SAN JUAN COUNTY



PO Box 466, Silverton CO 81433

September 1, 2022

Dear Property Owner:

The Planning Department of San Juan County Colorado has received two applications, and you have been identified as an Adjacent Land Owner. A property you own is located within 1500 feet of the project site indicated below. You are under no obligation to reply to this letter, or take any action.

     County Improvement Permit Application, Proposed Cabin & Associated Improvements, **LOG CABIN LODGE** USMS No. 19335, located on County Road 14, near Red Mountain Pass, in San Juan County, Colorado; Owners/Applicants Jordan Hawn, Chris Forrest, Clayton Rundquist of Durango.

County Improvement Permit Application, Proposed Accessory Dwelling Unit (ADU) & Associated Improvements, **TRACT 13 KNOW YOUR NEIGHBOR SUBDIVISION**, located on Spud Circle, near Lime Creek Road (County Road 1 & US Forest Service Road 591), in San Juan County, Colorado; Owner/Applicant Justin Robertson of Know Your Neighbor Subdivision/Durango.

If you are interested in these applications, you may view the application documents on the “San Juan County Colorado” government website. These applications are being posted on the County website under the following tabs: County Government – Building & Planning – Proposed Additions/Applications.

This application will be reviewed by the San Juan Regional Planning Commission on the night of Tuesday September 20, 2022. The meeting is open to the public, occurring in-person at the County Courthouse, and also via free Zoom software (Zoom Meeting ID Number 921 3647 3203).

Adjacent Land Owners and Citizens may submit written and/or verbal comments regarding these applications, before and/or during the meeting. Comments before the meeting can be sent to the Planning Department using the contact information below (emailed or written comments are preferred because those are printed for the Commissioners).

The Planning Commission is an advisory board which makes a recommendation. After the Planning Commission meeting, these applications will be reviewed by the Board of County Commissioners at a later date. The final decision to approve or deny each County application is decided by a vote of the Board of County Commissioners.

Please contact me if you have questions.

Thank you,

A handwritten signature in black ink, appearing to read 'Lisa M. Adair', is written over the typed name.

Lisa M. Adair PE

Planning Department  
San Juan County Colorado

Email address (preferred method of contact): [planner@sanjuancolorado.us](mailto:planner@sanjuancolorado.us)

Mail comments to: San Juan County, PO Box 466, Silverton, CO 81433.

Hand-deliver comments to: San Juan County Courthouse, 1557 Greene Street, in Silverton.

Personal cell phone number: (970) 946-2217.



Lisa Adair <planner@sanjuancolorado.us>

---

## 9/20/22 Planning Commission, Citizen Comment

1 message

---

**Lisa Adair** <planner@sanjuancolorado.us> Tue, Sep 20, 2022 at 3:13 PM  
To: Lucy Mulvihill <lmulvihill@silverton.co.us>  
Cc: "wellerhouse@gmail.com" <wellerhouse@gmail.com>, Bev Rich <beverlyerich@gmail.com>, "karlasafranski@gmail.com" <karlasafranski@gmail.com>, Jim Harper <jharper@silverton.co.us>, Tyler George <tgeorge@silverton.co.us>, "melissamchilds@gmail.com" <melissamchilds@gmail.com>, "commissioner.lashley@sanjuancolorado.us" <commissioner.lashley@sanjuancolorado.us>, "nagraph@ekiva.net" <nagraph@ekiva.net>, "chris@frontier.net" <chris@frontier.net>, Gloria Kaasch-Buerger <gkaasch-buerger@silverton.co.us>, Willy Tookey <admin@sanjuancolorado.us>, Bevan Harris <bharris@silverton.co.us>, Bill MacDougall <bmacdougall@silverton.co.us>

Hello,

I received the following email (below) from Fritz Klinke regarding the Proposed Robertson ADU on Tract 13 in the Know Your Neighbor Subdivision. This application will be reviewed at tonight's Planning Commission Meeting. The meeting tonight starts at 5 PM, instead of 7 PM.

Lisa Adair PE  
Planning Dept.  
San Juan County Colorado

----- Original Message -----

Subject: Planning meeting Sept. 20  
Date: 2022-09-20 09:44  
From: Fritz Klinke <nagraph@ekiva.net>

Lisa--Tonight's meeting has the Justin Robertson application that has potential problems with the Special Warranty Deed to the property. First, it is filed for record in La Plata County and I believe it should be recorded in San Juan County. Second, it lists the property as "being in the County of San Juan" but lists the address as "TBD County Road 1, Durango, CO 81301. These may be concerns, or maybe not. Thanks,

Fritz Klinke  
NA Graphics  
4 Mears Ave. -- P.O. Box 467  
Silverton CO 81433  
nagraph@ekiva.net  
www.nagraph.com

On Thursday, September 15, 2022, Lucy Mulvihill <lmulvihill@silverton.co.us> wrote:

--  
Lisa M. Adair PE  
County Planning Department  
San Juan County Colorado  
planner@sanjuancolorado.us

---

**Robertson**

1 message

---

**Willy Tookey** <admin@sanjuancolorado.us>  
To: Lisa Adair <planner@sanjuancolorado.us>

Thu, Sep 22, 2022 at 2:41 PM

Hi Lisa,  
Please find attached a copy of the deed recorded in San Juan County for the Robertson property.  
Willy

William Tookey  
San Juan County Administrator  
970-387-5766  
admin@sanjuancolorado.us  
PO Box 466, Silverton CO 81433

---

 **Robertson Warranty Deed.pdf**  
74K

**SPECIAL WARRANTY DEED**

**THIS DEED**, Made this 31st Day of August, 2021

State Documentary Fee  
\$19.00 09-02-2021

Between DOROTHY E. HUFFMAN

State Document Fee

of the County of Marion and State of Indiana, grantor

Date: 9/1/21

and JUSTIN ROBERTSON

\$ 19.00

whose legal address is 157 Spud Circle, Durango, CO 81301

of the County of La Plata and State of Colorado, grantee

**WITNESSETH**, That the grantor for and in consideration of the sum of  
-----TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION-----  
the receipt and sufficiency of which is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents  
does grant, bargain, sell, convey and confirm, unto the grantee, their heirs and assigns forever, all the real property together  
with improvements, if any, situate, lying and being in the County of San Juan and State of Colorado described as follows:

**A Tract of land in the NE1/4SW1/4 of Section 7, Township 39 North, Range 8 West, N.M.P.M., being  
more particularly described as follows to-wit:**

**BEGINNING at a point whence the Southwest corner of said Section 7 bears South 51° 54' West, a  
distance of 2554.76 feet;  
Thence South 261.76 feet;  
" South 89° 50' East, a distance of 454.00 feet;  
" North 292.08 feet;  
" North 83° 43' West, a distance of 197.43 feet;  
" South 77° 30' West, a distance of 193.63 feet;  
" South 82° 47' West, a distance of 69.27 feet to the point of beginning.**

**The above described tract is also known as Tract 13 on the Survey Plat of Lime Creek Area "Know  
Your Neighbor" filed for record October 2, 1970 as Reception No. 109530.**

As known by street and number as: TBD County Road 1, Durango, CO 81301

**TOGETHER** with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining,  
and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right,  
title, interest, claim and demand whatsoever of the grantor, either in law or equity, of, in and to the above bargained  
premises, with the hereditaments and appurtenances

**TO HAVE AND TO HOLD** the said premises above bargained and described, with the appurtenances, unto the  
grantee, their heirs and assigns forever. The grantor, for himself, his heirs, personal representatives, successors does covenant,  
and agree that the grantor shall and will **WARRANT AND FOREVER DEFEND** the above bargained premises in the quiet and  
peaceable possession of the grantee, their heirs and assigns, against all and every person or persons lawfully claiming the whole  
or any part thereof, by, through or under the grantor, except: 2021 taxes due and payable in the year 2022.  
Subject to Statutory Exceptions as defined in CRS § 38-30-113(5)

The singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all  
genders.

**IN WITNESS WHEREOF**, the grantor has executed this deed on the date set forth above:

*Dorothy E. Huffman by Michael Herman Attorney In Fact*  
DOROTHY E. HUFFMAN BY MICHAEL HERMAN AS ATTORNEY IN FACT

STATE OF COLORADO

COUNTY OF Colorado BOULDER

The foregoing instrument was acknowledged before me this 31 Day of August, 2021

By: MICHAEL HERMAN AS ATTORNEY IN FACT FOR DOROTHY E. HUFFMAN

My commission expires 12/28/2021

Witness my hand and official seal

MAKAYLA BREANNA QUINONEZ  
Notary Public  
State of Colorado  
Notary ID # 20174052564  
My Commission Expires 12-28-2021

*Makayla Breanna Quinonez*  
Notary Public



**San Juan Regional  
Planning Commission**  
SAN JUAN COUNTY      TOWN OF SILVERTON  
Silverton, Colorado 81433  
P.O. Box 223

September 20, 2022

Board of County Commissioners  
San Juan County  
Silverton, CO 81433

Members of the Commission:

RE:    County Improvement Permit Application  
       Sketch Plan  
       Proposed Robertson ADU  
       Tract 13 Know Your Neighbor Subdivision  
       Lime Creek Road, San Juan County

At the regular meeting of the San Juan Regional Planning Commission on September 20, 2022, members of that Commission held a meeting to discuss the Proposed County Improvement Permit Application for the Proposed Robertson ADU. The application includes proposed improvements which include one shop/garage structure, including a residential dwelling unit, grading and utility work. The applicant also mentioned in the distant future that a separate, single-family home would be built.

After considerable discussion and background of the project, questions and presentations from the County Planner, Lisa Adair, and the applicant, the Planning Commission voted unanimously to recommend to the San Juan County Commissioners that you approve the proposed County Improvement Permit Application as submitted with the 17 proposed conditions of approval. The Planning Commissioners also added two additional conditions to the 17, that the electrical would be underground and that the property deed that was recorded in La Plata County needed to be recorded in San Juan County.

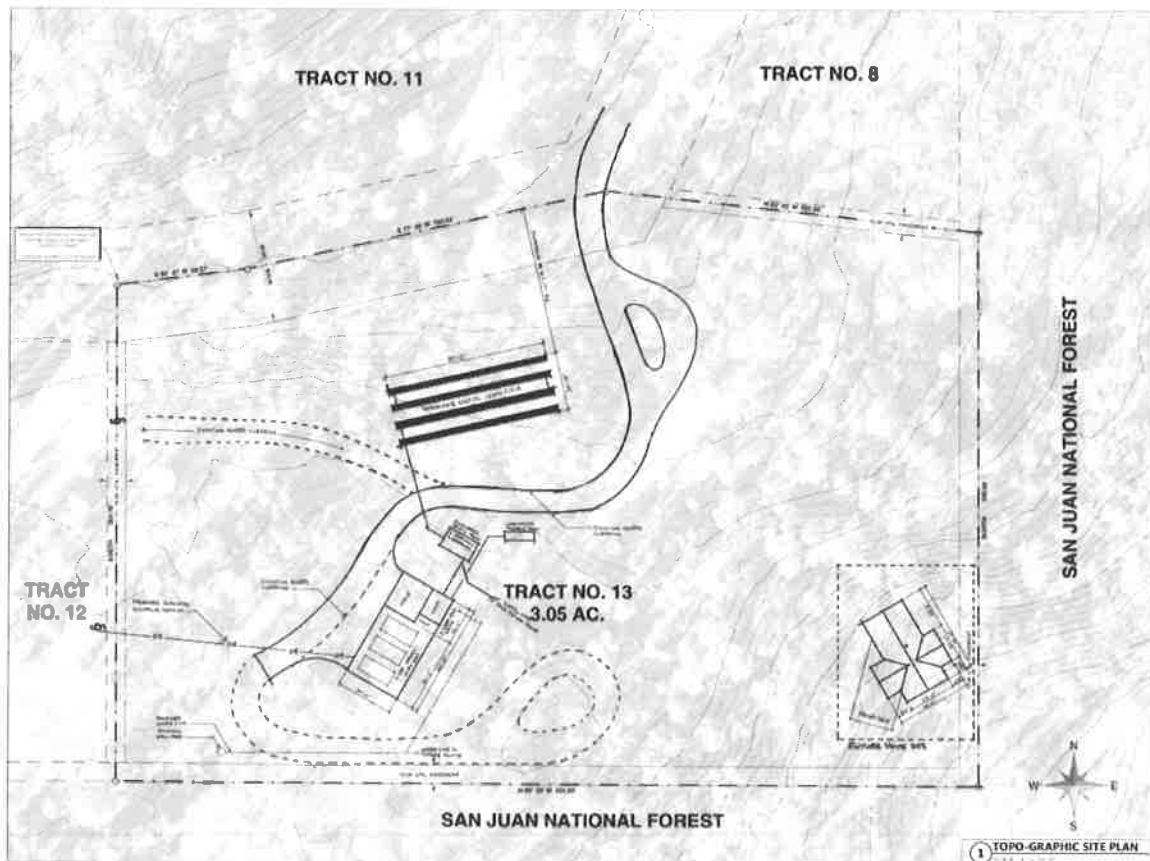
Thank you for considering this recommendation.

Sincerely,  
The Planning Commission Members and  
James Weller  
Chairman

# 159 Spud Circle Proposal

Know Your Neighbor Tract 13

Justin Robertson 970-749-5878



**SCHEME**

DESIGN REFERENCE

DEVELOPMENT PERMIT

**PROPOSED SITE PLAN**





## PROJECT NARRATIVE

**Applicant Name:** Justin Robertson 157 Spud Circle, Durango Co 81301. Cell 970-749-5878

**Proposed Development:** Development of Residence with attached shop space for personal use, utilities, septic and access roads. All site work excavation to be performed by myself.

**Access:** Continuation of Spud Circle with minimal driveway branching off as needed. A temporary road will be established to the existing well for testing and equipment installation by DAK drilling.

**Power:** LPEA Power lines form north property boundary. Power will be brought to structure from nearest power pole in accordance with regulations. Solar infrastructure to be installed at a later date.

**Water Service:** There is an existing well on the property that has never been brought on line. DAK drilling performed well test on 6/6/2022, and filed GWS-68 with the state. This inspection was recently approved and I am currently filing GWS-44 to obtain permit for using the existing well.

**Septic:** Site visit conducted by Chad Englehardt 8/4/2022 and soil conditions found to be suitable for gravity flow OWTS. Permit filed with SJBPB pending design review once Mr. Englehardt completes the drawings.

**Phone and Data:** We currently utilize Starlink satellite internet which works very well in addition to cellular service provided by ATT and Verizon.

**Heating:** Hydronic in floor heating, heated with propane, as well as wood stove.

**Exterior Lighting:** Minimal exterior lighting will be used. Exterior lighting will be sufficient for safety and be in conformance with the requirements of San Juan County.

**Solid Waste Removal:** Trash will be contained within the structure until removal. We currently utilize the community facility at Purgatory for trash and recycling.

**Landscaping:** Landscaping will be minimal as to reduce impact to natural surroundings.

**Site Selection:** Site plan developed with consideration to seasonal runoff, passive solar, and natural grade.

**Foundation:** Foundation for shop/apartment will be a 30x60 slab with footings engineered to San Juan county building code specification. Future house will be similar 24x48.

**Structure Size and Height:** Structure will be 30x60, with 40x30 being garage/shop space and 20x30 being a 3 story living space, with wrap around covered deck. Future house will be 24x48 3 story, design pending

**Construction Style:** Post and beam, in addition to traditional stick framing. Wood siding, Metal roof.

**Building Plans:** Concept drawings included, will further develop and provide drawings as required.

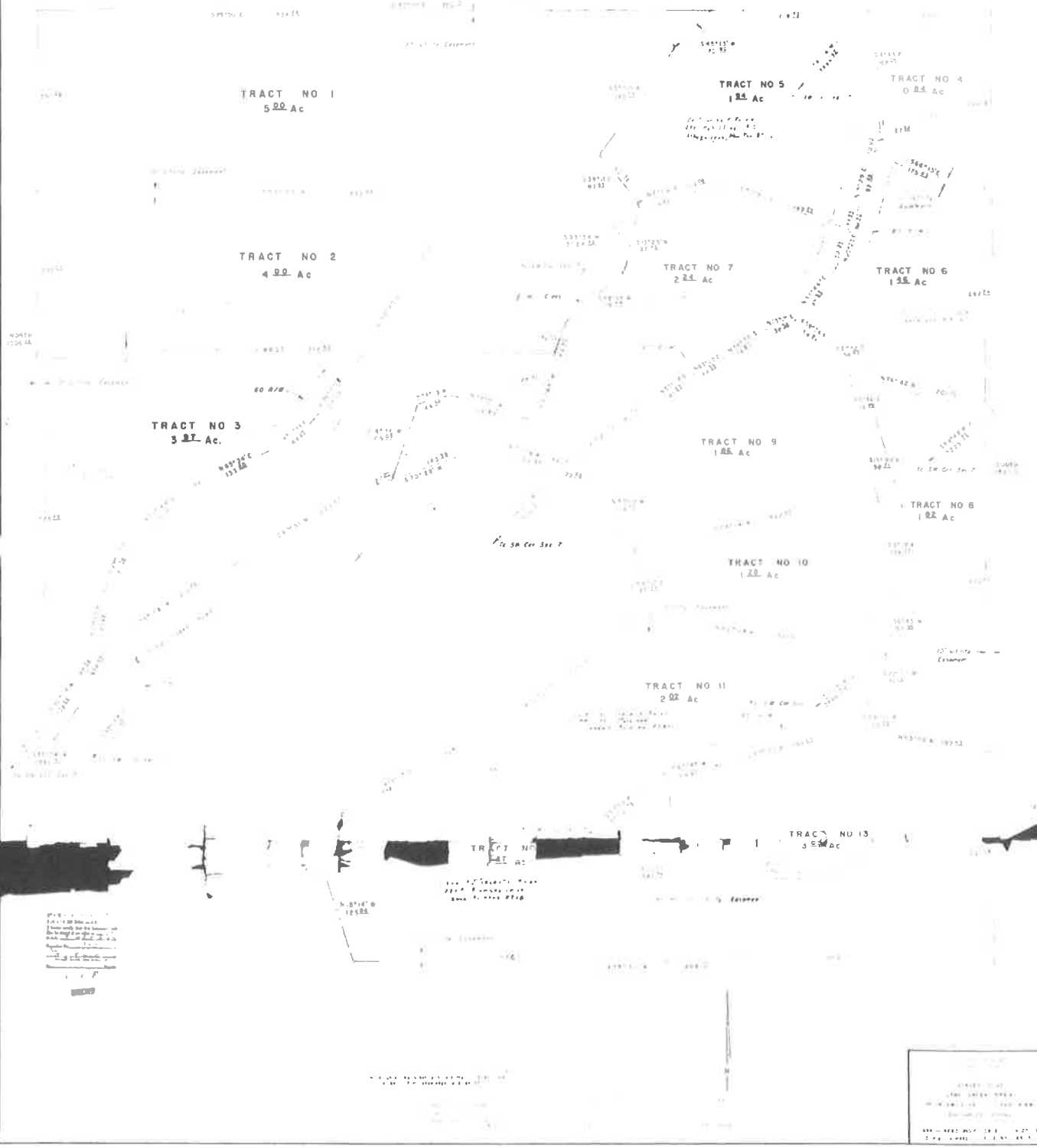
**County Avalanche Map:** The location of the structure has been indicated on the County Avalanche Hazard Map. According to the County Avalanche Hazard Map, no portion of the property is near a potential avalanche area. This seems to be confirmed by the general topography, and by the maturity and density of the forest in the surrounding area.

**County Geohazards Map:** The location of the structure has been indicated on the County Geohazards Map. According to the County Geohazards Map, no portion of the property is near a potential geohazard area.

**Conformance to the Master Plan:** The applicant's proposal meets the Visions, Goal, and Strategies referenced in the Town of Silverton and San Juan County Master Plan. "Focus future development on mining claims into economic corridors that are environmentally suitable, where public services are available, and that provide feasible opportunities for growing the community and the economy."

**Emergency Services:** Property will have similar EMS access as surrounding residences.

# KNOW YOUR NEIGHBOR



PLAT NO. 10588  
FILED FOR RECORD  
JULY 19 1913  
AT 10:30 AM  
BY J. H. BROWN  
REGISTERED SURVEYOR  
ST. LOUIS, MO.

PLAT NO. 10588  
FILED FOR RECORD  
JULY 19 1913  
AT 10:30 AM  
BY J. H. BROWN  
REGISTERED SURVEYOR  
ST. LOUIS, MO.

**LIST OF ADJACENT LAND OWNERS**

**TBD County Rd 1**

Know Your Neighbor Tract #1 And #2  
McCormack Robert & Chrystal 156 Macfiretree  
Lane Durango, CO 81301

County Rd 1 (Lime Creek Rd) Dooley Thomas W  
And Nancy J 12019 Colwick St. San Antonio, TX  
78216-2720

Know Your Neighbor Tract #3 Macfire Tree Lane,  
LLC Et. Al. 440 E Harrison St. Corona, CA  
92879-1314

Know Your Neighbor Tract #4 Boris C Wise And  
Eva M Molin Westerholm 47 Quarry Ct.  
Durango, CO 81301-7941

Know Your Neighbor Tract #5 Murray Timothy  
1275 Riverside Dr. Aspen, CO 81611-2230

Know Your Neighbor Tract #6 Michael and  
Marisa Dritlein 26689 N. 90th Drive, Peoria, AZ  
85383

Know Your Neighbor Tract #7 Davenport Cole  
PO BOX 839 Silverton, CO 81433-0839

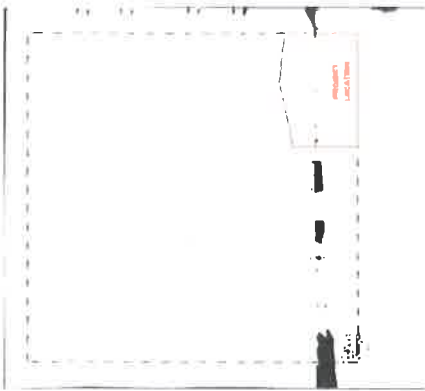
Know Your Neighbor Tract #8 Robertson Alvin  
55 Lazy Ln. Kemah, TX 77565-2638

Know Your Neighbor Tract #9 And #10 Bryan  
Gary and Kelley 1515 N Carroll Ave, Southlake,  
TX 76092-2072

Know Your Neighbor Tract #11 Williams Trust  
Craig C & Valenta-williams Trust Carol K 9426  
Alto Dr. La Mesa, Ca 91941-4227

Know Your Neighbor Tract #12 Andorka Family  
Trust The Mark 139 S Brewer Dr. Pueblo West,  
CO 81007-3640

Know Your Neighbor Tract #13 Justin Robertson  
157 Spud Circle, Durango, Co 81301



**1** KNOW YOUR NEIGHBOR SUBDIVISION PLAT  
SCALE: NOT TO SCALE

**SCHEME**  
DESIGN WORKSHOP

SCHEMATIC  
FOR PERMIT  
GRAND JUNCTION CO. 2023  
BY 10/18/2023

**DEVELOPMENT  
PERMIT**

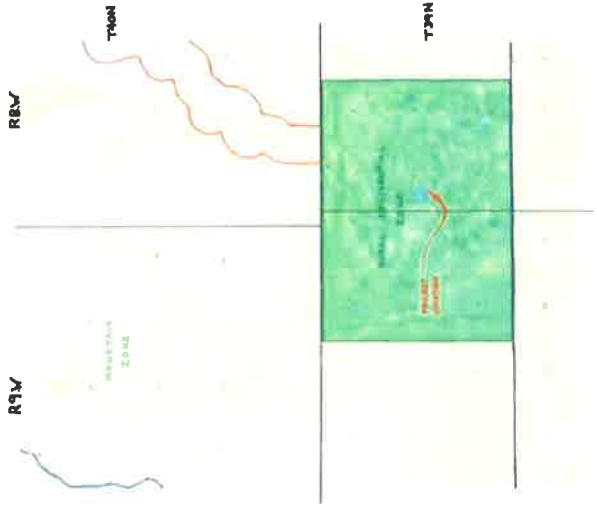
*10/18/23*  
*10/18/23*  
*10/18/23*

TRACT 11.1 SUBDIVISION  
KNOW YOUR NEIGHBOR SUBDIVISION  
SECTION 7 TOWN OF GRAND JUNCTION  
SUNSHINE COUNTY, COLORADO

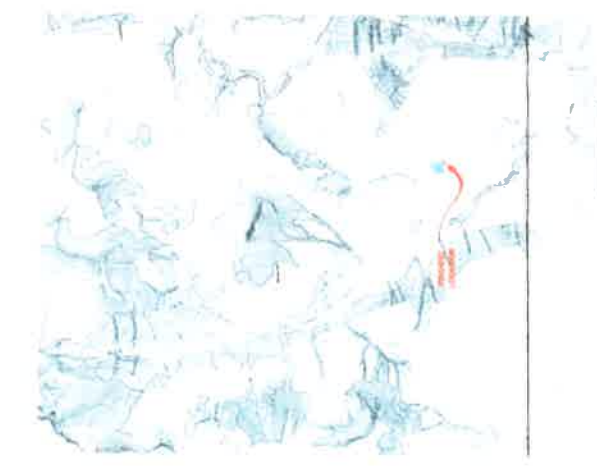
FILE NO. 2023-001  
DATE SUBMITTED 10/18/23  
CHECKED BY [Signature]  
DATE SUBMISSION 10/18/23  
SITE SALES 03/14/2022  
SITE DEV. PERMIT 03/14/2022  
UPDATED DEV. PERMIT 03/14/2022

**PROPERTY/  
GEOHAZARD  
MAPS**

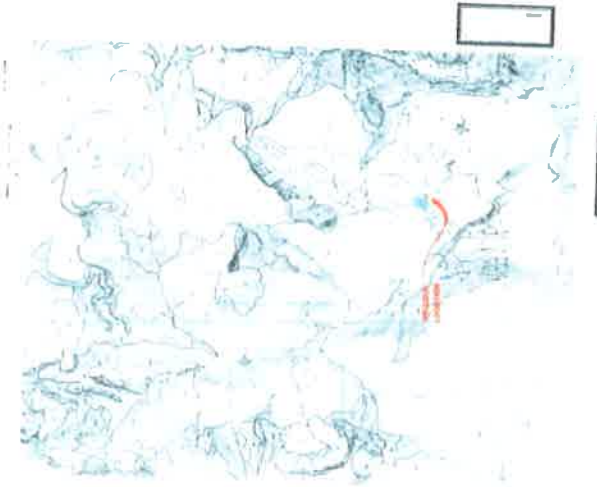
*10/18/23*  
*10/18/23*  
*10/18/23*



**2** COUNTY ZONING MAP #7 - ENGINEER MTN QUAD  
SCALE: NOT TO SCALE



**3** COUNTY AVALANCHE HAZARD - ENGINEER MTN QUAD  
SCALE: NOT TO SCALE



**4** COUNTY GEOHAZARD MAP - ENGINEER MTN QUAD  
SCALE: NOT TO SCALE



SCHMELC, INC.  
300 MAIN ST  
GRAND JUNCTION, CO 81505  
970.794.0116  
www.schmelc.com

DEVELOPMENT PERMIT

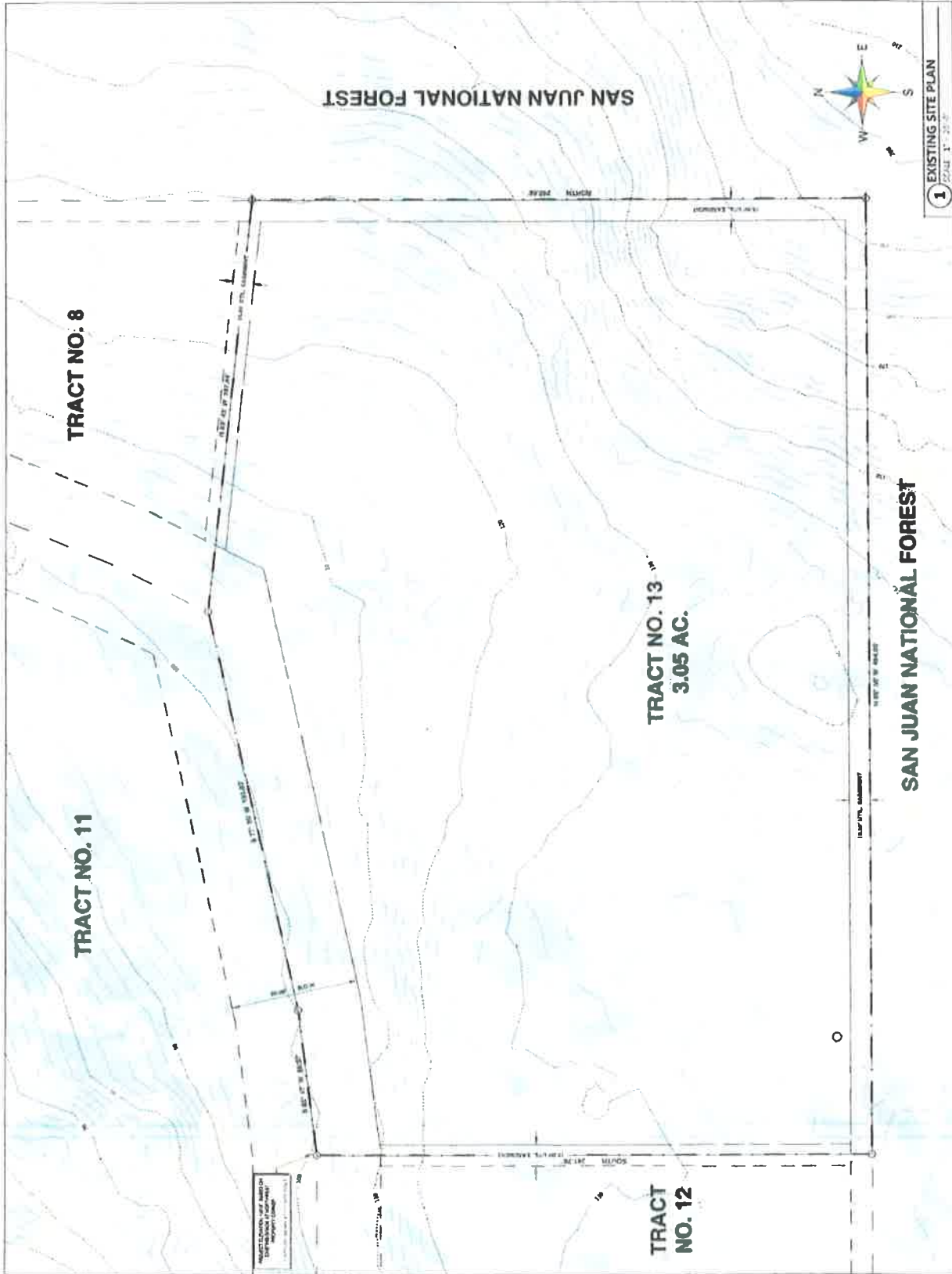
*Handwritten notes and signatures*

TRACT 13.1 J. ROBERTSON  
BROWN VALLEY RECREATION DEVELOPMENT  
3000 W. 10TH AVENUE  
SAN JUAN COUNTY, COLORADO

PLS. DATE: AL 08/24/22  
DRAWN BY: JG 08/24/22  
CHECKED BY: TP

DATE SUBMITTED: 08/24/22  
DATE APPROVED: 09/24/2022  
DATE CITY PERMIT: 09/28/2022  
UPDATED CITY PERMIT:

EXISTING SITE PLAN



TRACT NO. 8

TRACT NO. 11

TRACT NO. 13  
3.05 AC.

TRACT NO. 12

SAN JUAN NATIONAL FOREST

SAN JUAN NATIONAL FOREST

1 EXISTING SITE PLAN  
SCALE: 1" = 200'

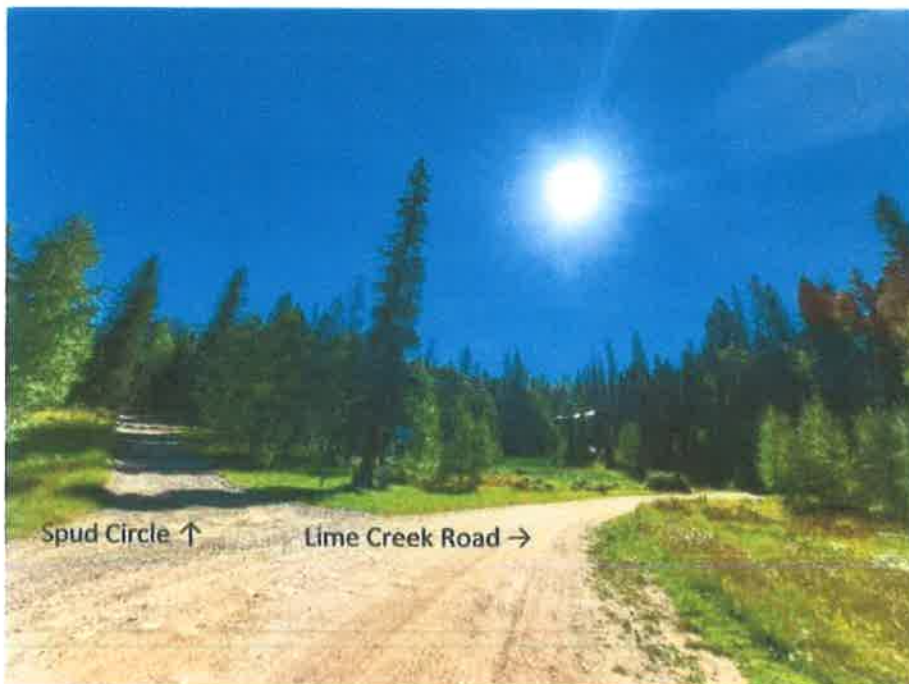






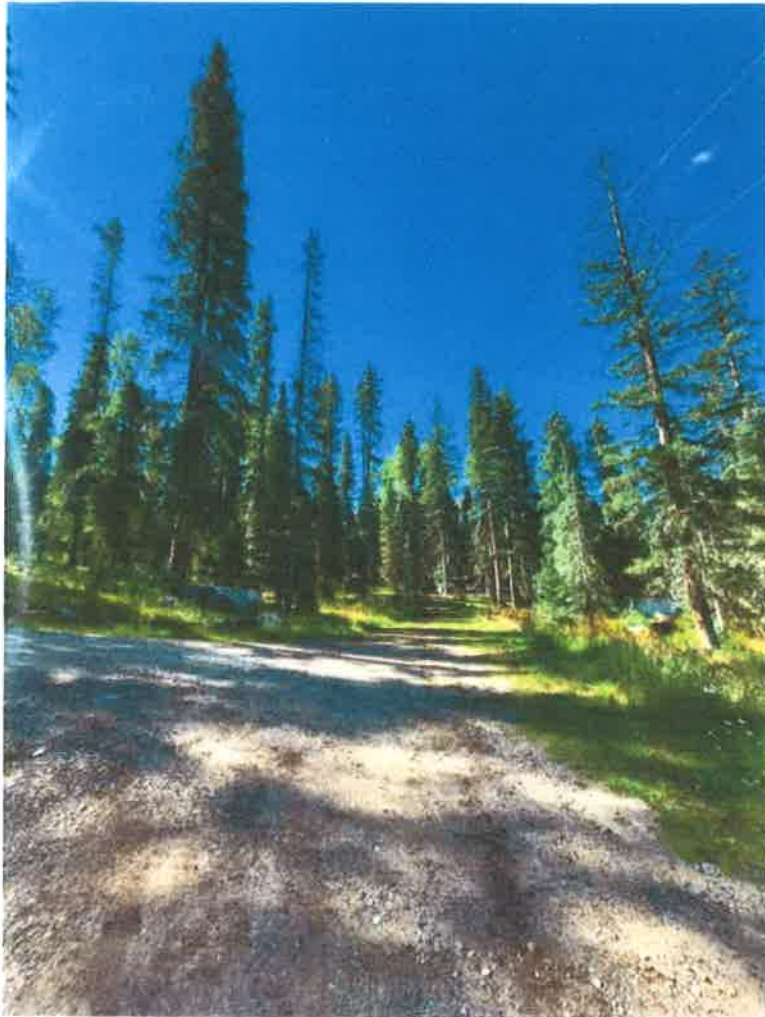
**Lime Creek Road  
(County Road 1)  
approach towards  
Spud Circle from the  
north.**

**Spud Circle is a  
private subdivision  
road within the Know  
Your Neighbor  
Subdivision**



**Lime Creek Road  
(County Road 1)  
approach to Spud  
Circle from the south**

**Spud Circle is a  
private subdivision  
road within the Know  
Your Neighbor  
Subdivision**



**Spud Circle viewpoint  
from 159 Spud Circle**

**Spud Circle is a  
private subdivision  
road within the Know  
Your Neighbor  
Subdivision**



**159 Spud Circle  
building site**

**Spud Circle is a  
private subdivision  
road within the Know  
Your Neighbor  
Subdivision**

# Gibbons - NBQ Inc.

11 of 19

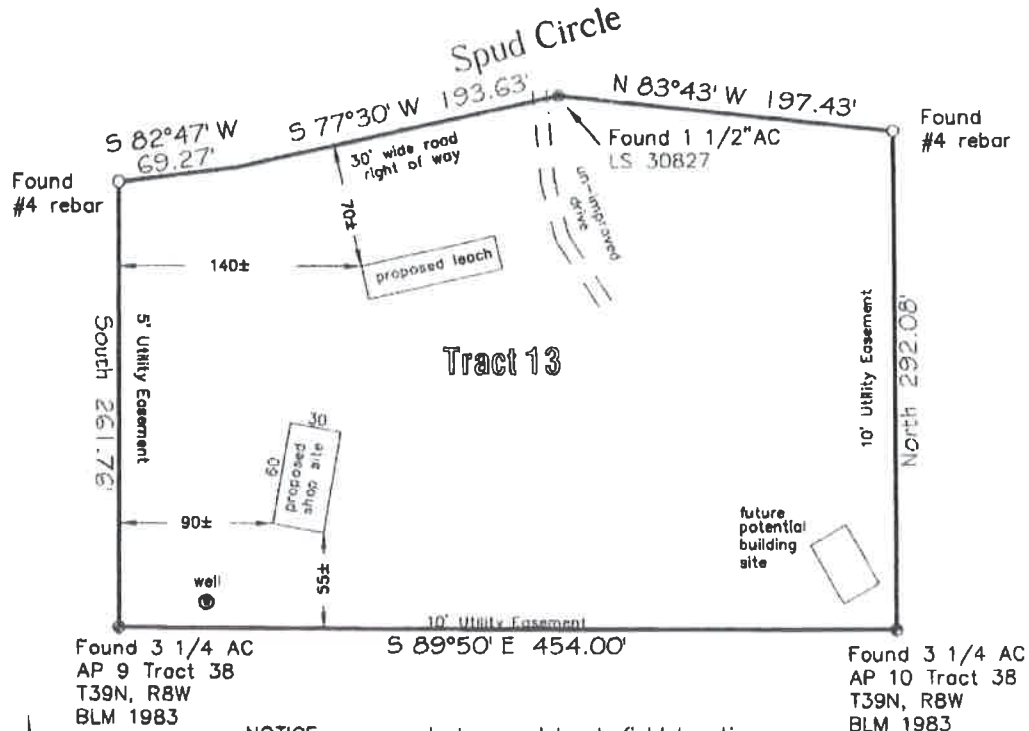
f.k.a.

## Ernst Engineering Company, Inc.

Frank Gibbons, LS, AET

Gary Watkins, LS

P.O. Box 3178  
2139 Main Avenue  
Durango, CO 81302  
PHONE (970)247-0851  
FAX (970)247-0853



NOTICE: proposed shop and leach field locations are based upon locations indicated by the client



ADDRESS: Spud Circle (un-assigned number)

DESCRIPTION: Tract 13, Know Your Neighbor Subdivision

The location of sub-surface features or utilities is unknown, Order placed and description supplied by Justin Robertson

### IMPROVEMENT LOCATION CERTIFICATE

I hereby certify that this improvement location certificate was prepared for Justin Robertson, that it is

NOT A LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLAT,

and that it is not to be relied upon for the establishment of fences, buildings, or other future improvement lines. I further certify that the improvements on the above described parcel on this date, August 31 2022, except utility connections, are entirely within the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises by improvements on any adjoining premises except as indicated, and that there is no apparent evidence or sign of any easement crossing or burdening any part of said parcel, except as noted.

Frank Gibbons, Colorado L.S. 23498



12 of 19  
EFT DATED DATE 9/1/21  
COUNTY La Plata  
REC NO. 1198512

**SPECIAL WARRANTY DEED**

**THIS DEED**, Made this 31st Day of August, 2021

Between DOROTHY E. HUFFMAN  
of the County of Marion and State of Indiana, grantor  
and JUSTIN ROBERTSON  
whose legal address is 157 Spud Circle, Durango, CO 81301  
of the County of La Plata and State of Colorado, grantee

State Document Fee  
Date: 9/1/21  
\$ 19.00

**WITNESSETH**, That the grantor for and in consideration of the sum of  
-----TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION-----  
the receipt and sufficiency of which is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents  
does grant, bargain, sell, convey and confirm, unto the grantee, their heirs and assigns forever, all the real property together  
with improvements, if any, situate, lying and being in the County of San Juan and State of Colorado described as follows:

**A Tract of land in the NE1/4SW1/4 of Section 7, Township 39 North, Range 8 West, N.M.P.M., being more particularly described as follows to-wit:**

- BEGINNING at a point whence the Southwest corner of said Section 7 bears South 51° 54' West, a distance of 2554.76 feet;**
- Thence South 261.76 feet;**
- " South 89° 50' East, a distance of 454.00 feet;**
- " North 292.08 feet;**
- " North 83° 43' West, a distance of 197.43 feet;**
- " South 77° 30' West, a distance of 193.63 feet;**
- " South 82° 47' West, a distance of 69.27 feet to the point of beginning.**

**The above described tract is also known as Tract 13 on the Survey Plat of Lime Creek Area "Know Your Neighbor" filed for record October 2, 1970 as Reception No. 109530.**

As known by street and number as: TBD County Road 1, Durango, CO 81301

**TOGETHER** with all and singular the hereditaments and appurtenances thereunto belonging, or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor, either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances

**TO HAVE AND TO HOLD** the said premises above bargained and described, with the appurtenances, unto the grantee, their heirs and assigns forever. The grantor, for himself, his heirs, personal representatives, successors does covenant, and agree that the grantor shall and will WARRANT AND FOREVER DEFEND the above bargained premises in the quiet and peaceable possession of the grantee, their heirs and assigns, against all and every person or persons lawfully claiming the whole or any part thereof, by, through or under the grantor, except: 2021 taxes due and payable in the year 2022. Subject to Statutory Exceptions as defined in CRS § 38-30-113(5).

The singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

**IN WITNESS WHEREOF**, the grantor has executed this deed on the date set forth above.

*[Handwritten signature]*  
DOROTHY E. HUFFMAN BY MICHAEL HERMAN AS ATTORNEY IN FACT

STATE OF COLORADO  
COUNTY OF Colorado BOULDER

The foregoing instrument was acknowledged before me this 31 Day of August 2021

By: MICHAEL HERMAN AS ATTORNEY IN FACT FOR DOROTHY E. HUFFMAN

San Juan County, Colorado

### Application for Improvement Permit

		APPROVAL CHECKLIST		Initial	Date
Applicant	Name	Justin Robertson			
	Address	157 Spud Circle, Durango CO 81301			
Owner		970-749-5878	Phone		
	Name	Justin Robertson			
	Address	Same as Above			
Contractor			Phone		
	Name				
	Address				
Legal Description of Property:		Road System Relationship			
TBD County Road 1 Durango, CO 81301 Tract 13 Know Your Neighbor  Township N, Range W, Section		Zoning Compstibility			
		State Mining Permit			
		Owner Notification			
		Avalanche Hazard			
		Geologic Hazard			
		Floodplain Hazard			
		Wildfire Hazard			
		Mineral Resource Impact			
		Wildlife Impact			
		Historic Site Impact			
Nature of Improvement Planned:		Waterhed Gearance			
-Build 30x60 Shop/Residence -Install Septic to be Engineered -Run Water Line from Existing Well, to Include Cistern -Run Electric From Nearby Power Pole with Provisions for Future Solar -Develop Driveway/Access Road -Propane Tank (Location) TBD		County Building Inspector			
		Building Permit			
		State Electrical Inspector			
		Electrical Permit			
		San Juan Basin Health Unit			
		Sewage Disposal: Test			
		Design			
		Central Sewage Collection			
		State Division of Water Resources			
		Adequate Water Source			
Date Application Requested					
Date Submittled for Permit					
Date Permit Issued					
Date Permit Denied					
Reason for Denial		Well Permit			
		Central Water Distribution			
		U.S. Forest Service/BLM			
		Access Approval			
		State Division of Highways			
Receipt		FEE PAYMENT			
		Assessmt	Date		
Application					
Building Permit					
Subdivision/PUD					
Hearing Notice					
		Driveway Permit			
		Subdivision Variance			
		Subdivision Approval			
		PUD Approval			

# RECEIPT

7/19/2022

**San Juan County**

**County Treasurer: Deanna Jaramillo**

Date: 7/19/2022  
 Station: 1  
 Cashier: 1  
 Receipt: 2277

Paid By: JUSTIN ROBERTSON  
 Description: IMPROVEMENT PERMIT  
 System: Cash Receipting  
 Reference: 159 SPUD CIRCLE

**Payment Method:**

Cash: \$0.00  
 Checks: \$840.00  
 Credit Card: \$0.00  
 Wire: \$0.00  
 Amount Tendered: \$840.00  
 Change Returned: \$0.00  
 Total Paid: \$840.00

Wire No:  
 Card Type: Account Number:  
 Expiration Date:

Check No	Name	Amount
1069	JUSTIN ROBERTSON	\$840.00

Receipt	Trans. Code	Fund	Ledger	Description	Operator	Amount
2277	GenRct	(010)COUNTY GENERAL FUND	0100010000	CASH ACCOUNT	D	\$840.00
2277	GenRct	(010)COUNTY GENERAL FUND	0100041804	LAND USE FEES - IMPROVEM	C	\$840.00

\_\_\_\_\_  
 Signature



### FEES / RECEIPT

This receipt is not a permit. Do not begin construction or repairs until a permit is signed and issued.

Monday, August 15, 2022

Permit #: **WWP2022-0414**

Permit Type: **CONSTRUCTION**

Address:

Parcel: **50917310000013-S**

#### PRIMARY CONTACT - PROP OWNER

JUSTIN ROBERTSON  
157 SPUD CIR  
DURANGO, CO 81301  
(970) 749-5878

#### FEE SUMMARY

DATE	DESCRIPTION	FEE AMOUNT	PAID	BALANCE DUE
08/15/2022	New OWTS Permit (Construction)	\$1,023.00	(\$1,023.00)	\$0.00
<b>TOTAL DUE</b>		<b>\$1,023.00</b>	<b>(\$1,023.00)</b>	<b>\$0.00</b>

#### PAYMENT TRANSACTIONS

DATE	RECBPT #	METHOD	PAYEE	AMOUNT
08/15/2022	REC005194	CHECK - 1072	JUSTIN ROBERTSON	(\$1,023.00)
	COMMENT: 08/12/2022			
			New OWTS Permit (Construction)	(\$1,023.00)



# BOARD OF COUNTY COMMISSIONERS San Juan County

P.O. Box 466

Silverton, Colorado 81433

970-387-5671

## RELATIONSHIP OF PROPERTY TO COUNTY ROAD AND STATE HIGHWAY SYSTEMS

I, the undersigned, applicant engaged in the processing of Application for Improvement Permit No. TBD, San Juan County, Colorado, do hereby acknowledge the following facts:

1. The real property which is the subject of said application is on this date located approximately 206 ft from County Road No. 1, the nearest designated and publicly maintained county road.
2. Said County Road No. 1 is on this date maintained on a year-round basis by San Juan County.
3. The real property which is the subject of said application is on this date located approximately 1555 ft from Colorado State Highway No. 550, the nearest designated state or federal highway.
4. Said Colorado State Highway No. 550 is on this date maintained on a year-round basis by either San Juan County or the Colorado Division of Highways.
5. A Driveway Permit will be necessary for any private access or egress relating to said real property which intersects any designated Colorado State Highway or Federal Highway.

Signed and dated this 15 day of August, 2022.

ATTEST:

John Reber  
Applicant

Position:

SAN JUAN COUNTY, COLORADO  
DRIVEWAY AND ROAD ACCESS PERMIT

Improvement  
Permit No. TBD

Applicant: Justin Robertson  
157 Spud Circle  
Durango, Colorado 81301

Location of Proposed Driveway or Access on County Road No. N/A :  
Driveway access will be from established Know Your Neighbor subdivision road Spud Circle.

Description of Proposed Driveway or Access, including materials to be used:  
Driveway will be gravel similar to all driveways within the subdivision Know Your Neighbor.

Comment and Recommendations of County Road Supervisor:  
Per Louis Girodo this permit is not needed since the driveway to be constructed is not on a county road.

Terms and Conditions of Issuance of Permit (or reason for denial):  
\_\_\_\_\_  
\_\_\_\_\_

Permit Approved \_\_\_\_\_ or Denied \_\_\_\_\_. Date: \_\_\_\_\_

Land Use Administrator: \_\_\_\_\_

The following items are pending:

1. Forest Service Approval
2. Durango Fire Protection District Approval

Main House W24'xL48'xH30'



Shop Apartment W30'xL60'xH30'



## STAFF REPORT FOR THE BOARD OF COUNTY COMMISSIONERS

### PROPOSED HAWN CABIN, LOG CABIN LODGE

**REPORT DATE:** October 8, 2022

**MEETING DATE:** October 12, 2022

**FROM:** Lisa Adair PE

**Application:** Sketch Plan, County Improvement Permit Application, Proposed Hawn Cabin and Associated Improvements, Log Cabin Lode USMS No. 19335, County Road 14, near Red Mountain Pass, San Juan County, Colorado.

**Applicants/Owners:** Applicant/Owner Jordan Hawn, co-owner Clayton Rundquist, co-owner Chris Forrest.

**Proposed Improvements:** Proposed improvements include: a cabin, shed, water well, septic system, grading, buried propane tank, solar panels, minimal exterior lighting, woodstove, propane backup generator, landline phone, water cistern in basement.

**Location and Access:** The Log Cabin Lode is accessible via an existing new driveway on County Road 14 (between Highway 550 and the Saint Paul Lodge). The new driveway was installed a few years ago by the previous property owner Mark Iuppenlatz.

**Site History:** In 2017, the County approved a proposed cabin at this site, which was never built. That County permit was issued to Mark Iuppenlatz, who sold this mining claim, and County permits are non-transferrable.

**SUMMARY:** The application and proposed improvements appear to comply with the Master Plan and the County Zoning and Land Use Regulations. The Planning Department staff and the Planning Commission recommends conditional approval of this application, for the proposed Hawn Cabin on the Log Cabin Lode, County Road 14, with the conditions of approval at the end of this staff report.

**Application:** The application documents were received at the Courthouse in June, August, and September. The application appears to be adequately complete. A copy of the application is attached for your review. An electronic version is posted on the County website.

**Comparison to the Master Plan:** The County Zoning and Land Use Regulations are posted on the County website. The regulations state: *All applications for review under this Chapter will be examined initially to determine whether the proposal is consistent with the County's Master Plan.* The 2010 Town/County Master Plan is also posted on the Town and County websites. The Master Plan states: *Private property rights are respected in San Juan County. The mountain landscapes retain their character. The backcountry outside of Silverton in the county is a predominantly natural landscape with visible mining history and pockets of developed recreation. Impacts of residential and commercial development on natural assets are mitigated. Where residential development occurs on mining claims, it is designed to cluster structures in focused growth areas and/or build them in low-visibility places outside of environmentally sensitive areas, leaving visible ridgelines and other scenic resources undeveloped and minimizing impacts on the environment.* The proposed improvements appear to comply with the intent of the Master Plan.

**Comparison to the County Regulations:** The County Zoning and Land Use Regulations state: *If consistent with the Master Plan, all applications will be reviewed to determine whether, based upon the objective facts contained within the record before the reviewing body:*  
(a) *The proposal will have any adverse impact on public health, safety, morals or welfare.*

## STAFF REPORT FOR BOCC, HAWN CABIN ON THE LOG CABIN LODGE, OCTOBER 8, 2022.

The proposed improvements are not expected to have a significant adverse impact on health, safety, morals, or welfare.

*(b) Adequate potable **water** is available or can be developed to safely support the proposed use, including fire control and suppression.*

Water will be provided by a proposed on-site water well. The well water should be tested and if necessary the water should be treated to improve the currently-unknown water quality. Fire water storage and fire truck access/suppression should be incorporated into the site layout and water system design.

*(c) Adequate **sewage** disposal can be provided to support the proposed use.*

Sewage disposal will be provided by a proposed septic system. I believe the State requires a minimum of four feet of vertical separation between bedrock and the bottom of septic components. All County Permits are contingent upon final approval of the septic system by the San Juan Basin Public Health Department.

*(d) The proposed use will have any adverse effect on public or private **property** in the vicinity of the development.*

The proposed improvements are not expected to have a significant adverse impact on nearby public or private property.

*(e) The proposed use will have any adverse effect on **scenic values, historic sites or structures, air or water or environmental quality, wildlife (including habitat, food sources, migration routes, hunting, etc.), erosion or other geological condition.***

The proposed improvements are not expected to have a significant adverse impact on scenic values, historic sites/structures, environmental quality, wildlife, erosion, or geological conditions. The 2016 photos contained within the attached application indicate that the structures are not expected to be visible, except possibly from afar on Black Bear Pass. At this time there are no known historic structures/relics on the site.

*(f) Adequate road **access** exists or can be developed to ensure access appropriate to the use, including access for emergency services. "Adequate access" shall require proof that any access is either a public San Juan County road or state highway or else a private road or other access which meets the following minimum standards: (i) have adequate water bars, bar ditches, culverts and other drainage improvements to prevent erosion of the road which might interfere with access; and (ii) be subject either to (a) **deed(s) granting access across all private property the access traverses** from the parcel being improved to the nearest public San Juan County road or state highway (in which event the applicant also shall demonstrate the existence of a perpetual agreement governing the use and maintenance of such private road across private property) or (b) one or more valid road permits across any federal or state property lying between the parcel being improved and the nearest public San Juan County road or state highway. If access is via a private road, the applicant also shall either prove that an existing access permit exists for the road issued by San Juan County (if the private road intersects a County road) or by CDOT ... or else shall apply for and obtain an access permit for the private road from the relevant agency.*

A new driveway, from County Road 14 to the proposed building envelope, was constructed a few years ago. The applicant and Planning Department recently requested comments on any necessary driveway maintenance or perhaps a driveway culvert that might be needed, from the County Road & Bridge Department Supervisor Louie Girodo. The recently prepared County Driveway Permit Application form (in the attached application) states that a proposed driveway culvert will be installed. The applicant and excavator/contractor should have a pre-construction site visit with Louie Girodo to see if the new driveway needs any maintenance or culvert. The new existing driveway appears to cross the Portland Lode as well as the Wilcox Lode. There is an easement deed in the application from Darwin Flaugh on the Wilcox Lode, to allow access in perpetuity for the Log Cabin Lode owners. The applicant should contact former Log Cabin Lode & Portland Lode owner Mark

## STAFF REPORT FOR BOCC, HAWN CABIN ON THE LOG CABIN LODGE, OCTOBER 8, 2022.

Ippenlatz, to see if there is an existing access easement deed already written for the portion of the new driveway that appears to cross the Portland Lode to access the Log Cabin Lode.

*(g) Adequate road access exists or can be developed to ensure access appropriate to the use, including access for emergency services.*

This site is located close to plowed, year round adequate access via Highway 550, compared to the typical remote backcountry access for most mining claims. However Red Mountain Pass on Highway 550 near this site closes at times, due to avalanche hazard, sometimes for several consecutive days. County Road 14 is usually driveable until Thanksgiving and it is not currently snowplowed. During winter County Road 14 and the Log Cabin Lode are accessible on foot and by snowmobile from Highway 550. Overall this project site has relatively good access for emergency services, though sometimes could be inaccessible due to Highway closure. The owners have used the County's Relationship to State Highways form (attached) to acknowledge that they are aware the County does not plow County Road 14, and that it is maintained only on a "seasonal" basis. All County Improvement Permit applicants are required to acknowledge that "...emergency services may not be available in a timely manner, and may not be available at all."

*(h) Adequate utilities are or can be made available for the proposed use, unless deemed unnecessary or not practical.*

The site design includes adequate proposed utilities, including as a septic system, water well, and landline phone. Trenching across the County Road may be needed for the proposed landline phone, and if so that should be discussed with County Road & Bridge Supervisor Louie Girodo.

*(i) Adequate emergency services exist to serve the proposed use, unless deemed unnecessary or not practical.*

Approval of the proposed improvements (proposed single family residential land use) is not expected to overburden the existing local emergency services agencies.

*(j) There are natural hazards which may adversely affect the site or the proposed use of the site ...*

The adopted County hazard maps, for geological hazards and avalanche risk, show that the proposed improvements are located outside of any known avalanche area, and in a geological area of CSA which I believe indicates colluvial slope accelerated (colluvial slope is a slope acted upon or deposited by gravity, rather than alluvial which is water-deposited). In my experience CST appears to be the most typical geological area for proposed cabins, whereas CSA is less common, and could indicate some movement ("accelerated" such as potential landslide, soil creep, etc.). Development on a mining claim noted as either CST (or the less common CSA) in this area at this time does not usually require a special geology expert to prepare a site specific geohazards investigation report, or develop proposed mitigation. However the applicants should be made aware that there could be a potential at the site for slope creep, landslide, etc., since the area is noted as CSA. The applicants are encouraged to obtain further information from a geologic expert, prior to site construction, who could provide a site specific evaluation, and could recommend any suggested mitigation, for design purposes. Given the dense tree cover in the vicinity of the project site, and increasingly prevalent beetle kill in this County, the highest potential natural hazard risk at this site is expected to be fire-related. That could involve a structure fire causing a wildfire, a wildfire causing a structure fire, or the relatively high tourist usage at Red Mountain Pass unexpectedly leading to a human caused fire. The Applicants should consider incorporating ways to store extra water in an accessible location for fire suppression, and keep the possibly increasing fire danger in mind, during design and construction. The County encourages removal of any beetlekill dead trees and that may help reduce fire hazard. All applicants are required to utilize the Colorado Firewise guidelines for fire mitigation, and an annual fire hazard site evaluation.



## **STAFF REPORT FOR BOCC, HAWN CABIN ON THE LOG CABIN LODGE, OCTOBER 8, 2022.**

**Structure Square Footage Limits above 11,000 Feet Elevation:** Because the proposed building envelope appears to be at or above 11,000 feet elevation per survey datum NAVD 27, there is a limit on the maximum cabin “floor area” interior square footage (and the size of any outbuildings/sheds). The proposed improvements shall comply with the County Regulations. The County Zoning and Land Use Regulations (posted on the County website) provides the following specifics regarding the structure “floor area” (and shed limitations) above 11,000 feet elevation:

“All residential development located at or above 11,000 feet and below the alpine/tundra zone shall be limited to a maximum floor area of up to one thousand square feet. ... The source of elevation shall be based on the 1927 North American Vertical Datum ... The following elements are excluded from the Floor Area calculation:

(1) Porches, decks, and terraces that do not have roofs or floors above and are open to the sky:

- i. If such improvement is equal to or less thirty inches above grade and is two hundred fifty square feet or less;
- ii. If such improvement is more than thirty inches above grade or greater than two hundred fifty square feet, then it is calculated as Floor Area at fifty percent of the actual area.

(2) A single-story, detached accessory building, no greater than 200 square feet.

**FLOOR AREA:** Floor area means the sum of the horizontal areas of all floors in principal and accessory buildings on a site, as measured from the interior faces of the walls, and enclosed porches as measured by the interior limits thereof. Interior spaces with the potential to contain additional horizontal floors shall be measured from the finish floor elevation to the ceiling above, or if there is no floor above, to the underside of the roof assembly. Any part of a building whose interior height is fourteen feet or less shall be counted once for floor area purposes. Any part of a building whose interior height is greater than fourteen feet and less than or equal to twenty-three feet shall be counted twice for floor area ratio purposes, and any part of such building that has an interior height greater than twenty-three feet shall be counted three times. The following elements are excluded from the Floor Area calculation: a. Unroofed porches, decks, and terraces: 1. improvement is equal to or less than thirty inches above grade and is less than 250 square feet; 2. If such improvement is more than thirty inches above grade or greater than 250 square feet, the area is calculated as fifty percent of the actual floor area. b. A single detached accessory building, no greater than 200 square feet.”

**Adjacent Land Owners:** The adjacent land owners (within 1500 feet of the property boundaries) were notified by mail on September 1. No known opposition, comments, or inquiries were received to date.

**Application Fee:** The application includes a receipt from the County Treasurer dated August 31 for the \$840 County Improvement Permit Application Fee.

**Legal Notice:** The Legal Notice is attached and was published in the local weekly newspaper dated Sept. 29.

**Sketch Plan and the 3 Step Review Process:** This application is considered a “Sketch Plan,” which is step one of three steps described in the County Regulations: Sketch Plan, Preliminary Plan, Final Plan. That indicates County applicants should typically expect the review process to include three submittals and six meetings. Considering that this site was once fairly recently reviewed and approved by the County, in approximately 2017, for the Proposed Iuppenlitz Cabin, which was never constructed, the Board of County Commissioners may decide to recommend an abbreviated review process, for this specific site. The main purpose of this particular review is that County permits are non-transferrable.

**County Remediation Ordinance:** County Ordinance 2020-01 is posted on the Assessor webpage on the County website. It contains an “Inventory,” which is a list of mining claims for which Colorado Department of Public Health and Environment (CDPHE) clearance is required, prior to any County Planning/Building permit application being processed. The Inventory lists claims that have existing and/or proposed mine remediation. County Staff is required to check the Inventory when processing any permit application and I did not see the Log Cabin Lode listed on the Inventory of the County Ordinance 2020-01. I believe the Kohler Tunnel is somewhat nearby.

## STAFF REPORT FOR BOCC, HAWN CABIN ON THE LOG CABIN LODGE, OCTOBER 8, 2022.

**Planning Commission Review:** On September 20 the Planning Commission recommend conditional approval, of this application. They discussed emphasizing condition of approval number 5 which is related to adequate screening. I believe the motion was unanimously approved to recommend conditional approval with the conditions of approval as written. A letter from the Planning Commission Secretary has been requested.

**Staff Recommendation:** Finding that the Sketch Plan County Improvement Permit Application for the Proposed Hawn Cabin and associated improvements on the Log Cabin Lode appears to be adequately complete, and that the proposed improvements generally comply with the Master Plan and the County Regulations, I suggest you may **conditionally approve this application, with the following conditions of approval.**

**Conditions of Approval:** Here are suggested Conditions of Approval for the Proposed Hawn Cabin and associated improvements on the Log Cabin Lode.

1. Compliance with all **State and Federal** regulations is required as a condition of this County permit. If regulations differ, then the most stringent shall apply. Failure to comply with State and Federal regulations shall void this County permit.
2. All County Improvement Permits are contingent on the San Juan Basin Public Health Department final approval of the **septic** system.
3. San Juan County requires **reseeding** of any disturbed soil ground surface with certified weed free native seed, in accordance with the specifics in the San Juan County Zoning and Land Use Regulations.
4. San Juan County has “dark sky” **lighting** requirements. Exterior/visible lighting on this site shall comply with the applicable San Juan County Zoning and Land Use Regulations.
5. The proposed improvements shall be adequately **screened** from view, in general compliance with the County’s adopted screening requirements. Although not anticipated, if the proposed structures or improvements are determined to be unacceptably visible from County Road 14, Highway 550, or other nearby public roads and trails, then tree planting shall be required (with final determination made by the County Commissioners).
6. The Applicants and proposed improvements shall comply with all applicable San Juan County Zoning and Land Use **Regulations**. Violation of the San Juan County Zoning and Land Use Regulations may cause this permit to be void. If requirements differ, the most stringent shall apply. In particular all applicants are required to carefully review the Regulations in Section **4-110**, to assure compliance.
7. This approval is for the proposed single family residential land use, and does not allow for the use of the structures as a **Vacation Rental**, which would require further County review.
8. Use of a wildfire mitigation consultant from the Four Corners region is encouraged, to create a defensible space and **fire mitigation** recommendations, to reduce the overall hazards, of a forest fire causing structure fire, and to reduce the hazards of a structure fire causing a forest fire. A wildfire mitigation consultant can be utilized to assist with items including but not limited to: defensible space, dead standing/brush/tree thinning, placement/sizing of cisterns, any fire suppression system, availability of water, placement of propane and combustibles, selection of heat sources, woodstoves, fire resistant building materials, fire truck access/turnaround.

## STAFF REPORT FOR BOCC, HAWN CABIN ON THE LOG CABIN LODGE, OCTOBER 8, 2022.

9. On site burning of cut tree limbs and brush requires notification of the Sheriff and Fire Departments prior to the controlled burn. Water and tools shall be readily available directly adjacent to the fire during any controlled burn, and there shall be no unsupervised campfires or burn piles. Burning is not permitted during a County Fire Ban, and Fire Bans have variable additional requirements (regarding chainsaws, spark arresters, campfires, grills, etc.) The Sheriff and Fire Department shall have the right to prevent a landowner and contractor from burning, if weather conditions are expected to be dry or windy. Additionally, all required permits, including but not limited to San Juan Basin Health Department and/or CDPHE air quality permits, shall be obtained by the Applicants prior to any **controlled burns**.
10. Immediately prior to any tree clearing, grading, and/or foundation excavation occurring within 30 feet of any of the project site property lines, the **property lines** shall be roped off using survey flagging or caution tape. The survey flagging that is marking the closest property line shall be clearly understandable in the field, for measuring and to prevent soil, rocks, tree clearing, and heavy equipment from trespassing onto any adjacent lands.
11. **Building materials** shall meet the requirements of the San Juan County Zoning and Land Use Regulations including natural colors and non-reflective materials. The building materials shall consist of natural materials matching the surrounding natural terrain/vegetation/rock. The Applicants are encouraged to consider the possibility of overall future increasing fire hazard in this County, and encouraged to utilize as much fire-proof and fire-resistant building materials as possible.
12. The County Regulations require that **woodstoves** are EPA-approved. The Applicants are encouraged to utilize the Fire Inspector and/or Fire Chief to review plans before construction, and visit the site at the time of structure Certificate of Occupancy, to check chimneys, spark arrester caps, woodstove, heat source clearance from walls, smoke alarms, fire extinguishers, egress, fire water/cistern(s), and overall fire safety of the structures and the site.
13. As a condition of all County permits, the Applicants/Owners shall acknowledge that **emergency services** may not be available in a timely manner, and may not be available at all.
14. A "**bear proof trash**" solid waste storage system is required, and refuse utility billing is required upon construction commencement, which is arranged through the Town.
15. Any on-site existing public **trails** shall remain open to public access.
16. The applicant is encouraged to consult with a **geologic** expert regarding the CSA (colluvial slope accelerated) geological designation, for a site specific evaluation and design recommendations.
17. Prior to equipment mobilization, the Applicant and excavator/contractor shall contact the County Road & Bridge Dept. Supervisor, to request a pre-construction site visit, to receive any necessary required proposed **maintenance or culvert** specifications, for the new existing driveway on County Road 14. If the proposed land line will be trenched across County Road 14 that work shall be done in accordance with the requirements of the Road & Brg. Supervisor and Planning Dept. which may include road closure and/or traffic control and/or neighbor notification.

**STAFF REPORT FOR BOCC, HAWN CABIN ON THE LOG CABIN LODGE, OCTOBER 8, 2022.**

18. No **historic** objects are expected. However, if any historic objects are encountered during construction, the construction shall temporarily cease, and recommendations of the County Historic Impact Review Committee shall be obtained and followed.
19. The owner shall submit building plans to the Building Department, and shall also include a text/numerical tabulation of the total Floor Area, to demonstrate compliance with the **limit of 1,000 square feet**, as more fully described/defined in the County Zoning and Land Use Regulations.
20. The proposed **shed** structure shall also comply with the requirements of the County Zoning and Land Use Regulations as described for sites above 11,000 feet elevation (per NAVD 27).
21. The owners shall obtain and file a copy of the **easement** deed for the portion of the new driveway that appears to cross the Portland Lode.
22. Alongside Highway 550, the Log Cabin Lode property owners shall minimize the number of **parked vehicles** which are associated with this property.

SAN JUAN COUNTY



PO Box 466, Silverton CO 81433

September 1, 2022

Dear Property Owner:

The Planning Department of San Juan County Colorado has received two applications, and you have been identified as an Adjacent Land Owner. A property you own is located within 1500 feet of the project site indicated below. You are under no obligation to reply to this letter, or take any action.

County Improvement Permit Application, Proposed Cabin & Associated Improvements, **LOG CABIN LODGE** USMS No. 19335, located on County Road 14, near Red Mountain Pass, in San Juan County, Colorado; Owners/Applicants Jordan Hawn, Chris Forrest, Clayton Rundquist of Durango.

County Improvement Permit Application, Proposed Accessory Dwelling Unit (ADU) & Associated Improvements. **TRACT 13 KNOW YOUR NEIGHBOR SUBDIVISION**, located on Spud Circle, near Lime Creek Road (County Road 1 & US Forest Service Road 591), in San Juan County, Colorado; Owner/Applicant Justin Robertson of Know Your Neighbor Subdivision/Durango.

If you are interested in these applications, you may view the application documents on the "San Juan County Colorado" government website. These applications are being posted on the County website under the following tabs: County Government – Building & Planning – Proposed Additions/Applications.

This application will be reviewed by the San Juan Regional Planning Commission on the night of Tuesday September 20, 2022. The meeting is open to the public, occurring in-person at the County Courthouse, and also via free Zoom software (Zoom Meeting ID Number 921 3647 3203).

Adjacent Land Owners and Citizens may submit written and/or verbal comments regarding these applications, before and/or during the meeting. Comments before the meeting can be sent to the Planning Department using the contact information below (emailed or written comments are preferred because those are printed for the Commissioners).

The Planning Commission is an advisory board which makes a recommendation. After the Planning Commission meeting, these applications will be reviewed by the Board of County Commissioners at a later date. The final decision to approve or deny each County application is decided by a vote of the Board of County Commissioners.

Please contact me if you have questions.

Thank you,

Lisa M. Adair PE

Planning Department  
San Juan County Colorado

Email address (preferred method of contact): [planner@sanjuancolorado.us](mailto:planner@sanjuancolorado.us)

Mail comments to: San Juan County, PO Box 466, Silverton, CO 81433.

Hand-deliver comments to: San Juan County Courthouse, 1557 Greene Street, in Silverton.

Personal cell phone number: (970) 946-2217.

## **PUBLIC HEARINGS**

Notice is hereby given to the members of the general public that the San Juan County Colorado Board of County Commissioners will hold two Public Hearings at the San Juan County Courthouse, 1557 Greene Street, Silverton, Colorado, on Wednesday, October 12, 2022, in person and via Zoom to receive public comments on the following two County Improvement Permit Applications:

10:00 AM - Proposed Accessory Dwelling Unit (ADU) and associated improvements, Tract 13, Know Your Neighbor Subdivision, 159 Spud Circle, near Lime Creek Road, San Juan County, CO. The purpose of the application submitted by property owner Justin Robertson is to request approval of a proposed accessory dwelling unit.

10:20 AM - Proposed Cabin and associated improvements, Log Cabin Lode USMS No. 19335, County Road 14, near Red Mountain Pass, San Juan County, CO. The purpose of the application submitted by property owners Jordan Hawn et al is to request approval of the proposed residential use of a mining claim.

Notice is further given that all persons may present oral/written testimony regarding these two applications prior to/during the Public Hearings. Comments may be sent by email to [planner@sanjuancolorado.us](mailto:planner@sanjuancolorado.us), by mail to San Juan County, PO Box 466, Silverton CO 81433, or hand-delivered to the County Courthouse. The Zoom Meeting ID Number for County meetings is 921 3647 3203. Interested persons may contact the Planning Department with any questions/comments about these two applications.

Published in the Silverton Standard & Miner: Sept. 29, 2022.

**San Juan Regional  
Planning Commission**  
SAN JUAN COUNTY      TOWN OF SILVERTON  
Silverton, Colorado 81433  
P.O. Box 223

September 20, 2022

Board of County Commissioners  
San Juan County  
Silverton, CO 81433

Members of the Commission:

RE:    County Improvement Permit Application  
       Sketch Plan  
       Proposed Hawn Cabin  
       Log Cabin Lode, CR 14,  
       Near Red Mtn Pass, San Juan County

At the regular meeting of the San Juan Regional Planning Commission on September 20, 2022, members of that Commission held a meeting to discuss the Proposed County Improvement Permit Application for the Proposed Hawn Cabin. The application includes proposed improvements which include a cabin, shed, water well, septic system, grading, buried propane tank, solar panels, minimal exterior lighting, woodstove, propane backup generator, landline phone, and water cistern in basement.

After considerable discussion and background of the project, questions and presentations from the County Planner, Lisa Adair, and the applicant, the Planning Commission voted unanimously to recommend to the San Juan County Commissioners that you approve the proposed County Improvement Permit Application as submitted with the 22 proposed conditions of approval.

Thank you for considering this recommendation.

Sincerely,  
The Planning Commission Members and  
James Weller  
Chairman

# Application for Improvement Permit

		APPROVAL CHECKLIST		Initial	Date
Applicant	Name	Jordan Hawn			
	Address	569 E. 7th Street			
		Durango CO 81301	Phone 303-526-5230		
Owner	Name	Same as above			
	Address				
		303	Phone 5230		
Contractor	Name	Mark Shenk			
	Address				
		970	Phone 759-0663		
Legal Description of Property:		Land Use Administrator			
Log Cabin, Mineral Survey No. 19335		Ownership of Surface			
Red mtn Mining District		Ownership of Minerals			
Township N, Range W, Section		Vicinity Map			
Nature of Improvement Planned:		Certified Survey Plat			
- 1000' sqft cabin		Monumentation			
- 10x20' shed		Basic Plan Map			
- septic system		Plans and Drawings			
- propane tank		Road System Relationship			
- Solar Panel		Zoning Compatibility			
- Driveway + Parking Area <del>XXXXXXXXXXXX</del>		State Mining Permit			
Land Use Zone:		Owner Notification			
Applicant Signature		Avalanche Hazard			
Date Application Requested		Geologic Hazard			
Date Submitted for Permit		Floodplain Hazard			
Date Permit Issued		Wildfire Hazard			
Date Permit Denied		Mineral Resource Impact			
Reason for Denial		Wildlife Impact			
Receipt		Historic Site Impact			
FEE PAYMENT		Watershed Clearance			
Amount	Date	County Building Inspector			
Application		Building Permit			
Building Permit		State Electrical Inspector			
Subdivision/PUD		Electrical Permit			
Hearing Notice		San Juan Basin Health Unit			
		Sewage Disposal: Test			
		Design			
		Central Sewage Collection			
		State Division of Water Resources			
		Adequate Water Source			
		Well Permit			
		Central Water Distribution			
		U.S. Forest Service/BLM			
		Access Approval			
		State Division of Highways			
		Driveway Permit			
		Subdivision Variance			
		Sub Division Approval			
		PUD Approval			



Application for Improvement

Sketch Plan Submittal

Proposed "CJC Ski Hut"

Log Cabin Claim USMS #19335

Red Mountain Pass – County Road 14

San Juan County, Colorado

**Applicants:**

Clayton Rundquist

633 East 3<sup>rd</sup> Ave

Durango CO 81301

970-946-3453

Chris Forrest

314 Jenkins Ranch Road

Durango CO 81301

970-946-6977

Jordan Hawn

569 East 7<sup>th</sup> Street

Durango CO 81301

303-506-5230

Date Submittal Date – June 6<sup>th</sup> 2022



Building Permit Application

Address of Job Site: County Rd 14 TBD - Log Cabin - MS #19335

Class of Work:

NEW [checked] ADDITION [ ] ALTERATIONS [ ] REPAIR [ ] MOVE [ ] OTHER [ ]

Property Owner: Jordan Hawn / Chris Forrest / Clayton Rudy Phone: 303-506-5230

Mailing Address: PO BOX 25

City: Durango State: CO Zip Code: 81302

Email Address: jordan-hawn@yahoo.com

Contractor: ~~Mark Schenk~~ Mark Schenk - Alpine Ind. Phone: 979-759-0663

Legal Description:

LOT NO.(S): 19335 BLOCK: ZONE: (If Applicable) ADDITION:

Hazard: NONE [checked] FLOOD [ ] AVALANCHE [ ] SLOPE [ ]

Structural Information:

Req if NEW Structure: Survey Provided: YES [checked] NO [ ] Plot Plan Provided: YES [checked] NO [ ]

Designed By: LICENSE PE#

SQ.FT.: ~~1177~~ 950 HEIGHT: 26' TOTAL UNITS: 1 TOTAL ROOMS: 2

Describe All Work To Be Done:

[Empty box for describing work to be done]

Printed Name: CLAYTON RUDY / JORDAN HAWN / CHRIS FORREST

Signature: [Signatures] Date: 6-6-2022

(Staff Use ONLY)

Total Estimated Valuation of Work: \$ Estimated Permit Fee: \$ (Including Labor and Materials)

## Log Cabin Claim - Summary of proposed improvements

The proposed site is on the Log Cabin claim just up CR 18 and directly across the road from the Flaugh-Wilcox Claim cabin which is currently under construction. The site is a small bench/meadow upslope from the road. A short driveway will cross an area that was previously disturbed when the county road was built.

The cabin site is a small clearing that is protected by tall trees on all sides so it will be all but invisible except for one small location on Bear Creek trail on the West side of Highway 550 due to a small gap in the trees on the West side of the building site.

Because the proposed site is in an existing clearing no large or significant trees will need to be removed in order to construct the building.

The cabin will be at approximately 11,250' elevation and will have an exterior footprint of 25' by 41' and an interior ground level area of 950 SF. The cabin will have 2 bedrooms and one bathroom. The cabin will be built on a basement foundation partially recessed into the hillside to provide utility room and water storage space.

The cabin will be built using timber frame construction. Overall height measured from grade is 26'. Exterior finishes will be weathered barn wood, rusty metal, stone, and timbers and will be patterned after historical mining structures in the area. Roofing will be dark colored metal.

Electricity will be solar with a propane generator as back up. The primary heat source will be a high efficiency wood burning stove with a small propane heater in the basement as back up.

The only exterior lighting will be what is required by building code and will meet dark sky requirements. All interior lighting will be high efficiency LED.

Water source will be a well drilled on site by Valley Pump and Well of Montrose. 1000 gallon storage tanks in basement will provide storage capacity.

Cabin will have an engineered septic system designed by Engineer Mountain, LLC and approved by San Juan Basin Health.




Trash will be stored on a temporary basis in the garage and will leave with us.

The propane tank will be buried and there will be a land line telephone. Parking for two to three vehicles will be provided adjacent to the cabin in the existing clearing.

In summary we feel that this is an ideal site for a backcountry cabin. Due to the nature of the building site tucked into a natural clearing surrounded by tall evergreen trees the cabin will not be visible from CR 14 or Highway 550. As shown in the attached photos the story pole can't be seen except from a small section of the Bear Creek trail. In short, once complete, no one should even be aware there is a cabin at this location unless they are actually on the Log Cabin Claim.

Thank you for your consideration.

Sincerely,

 - Jordan Hawn  
 CHRIS FORRESI  
 CLAYTON RUNDQUIST

154089  
Page 1 of 1  
SAN JUAN COUNTY, COLORADO  
LADONNA L. JARAMILLO, RECORDER  
01-19-2022 11:48 AM Recording Fee \$13.00

State Documentary Fee  
\$14.25 01-19-2022

State Documentary Fee

**SPECIAL WARRANTY DEED**

Date: January 19, 2022

\$ 14.25

**THIS DEED**, Made this 19<sup>TH</sup> Day of January, 2022

Between RENAISSANCE HANDYMAN LLC, A COLORADO LIMITED LIABILITY COMPANY

of the County of Santa Fe and State of New Mexico, grantor

and JORDAN HAWN and CLAYTON RUNDQUIST and CHRISTOPHER FORREST

whose legal address is 569 East 7th Street  
Durango, CO 81301

of the County of La Plata and State of Colorado, grantee

**WITNESSETH**, That the grantor for and in consideration of the sum of  
-----TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION-----  
the receipt and sufficiency of which is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents  
does grant, bargain, sell, convey and confirm, unto the grantee, their heirs and assigns forever, not in tenancy in common but in  
joint tenancy, all the real property together with improvements, if any, situate, lying and being in the County of San Juan and  
State of Colorado described as follows:

Log Cabin, Mineral Survey No. 19335, Red Mountain Mining District, excluding any overlap with  
Wilcox, Mineral Survey No. 19335, County of San Juan, State of Colorado.

LESS AND EXCEPT that portion of the above named mining claim(s), if any, within overlapping senior  
mining claims, including but not limited to the Ben Butler Lode Mining Claim, Mineral Survey No.  
13733.

As known by street and number as: TBD County Road 14  
Silverton, CO 81433

**TOGETHER** with all and singular the hereditaments and appurtenances thereunto belonging, or in anywise appertaining,  
and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right,  
title, interest, claim and demand whatsoever of the grantor, either in law or equity, of, in and to the above bargained  
premises, with the hereditaments and appurtenances

**TO HAVE AND TO HOLD** the said premises above bargained and described, with the appurtenances, unto the  
grantee, their heirs and assigns forever. The grantor, for itself, its successors does covenant, and agree that the grantor shall  
and will WARRANT AND FOREVER DEFEND the above bargained premises in the quiet and peaceable possession of the grantee,  
their heirs and assigns, against all and every person or persons lawfully claiming the whole or any part thereof, by, through or  
under the grantor, except: 2022 taxes due and payable in the year 2023. Subject to Statutory Exceptions as  
defined in CRS § 38-30-113(5).

The singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all  
genders.

IN WITNESS WHEREOF, the grantor has executed this deed on the date set forth above.

RENAISSANCE HANDYMAN LLC, A COLORADO LIMITED LIABILITY COMPANY

BY: [Signature]  
ERIK R. KILL, MEMBER

STATE OF COLORADO  
COUNTY OF LA PLATA



SJ22105695

The foregoing instrument was acknowledged before me this 19<sup>TH</sup> Day of January, 2022

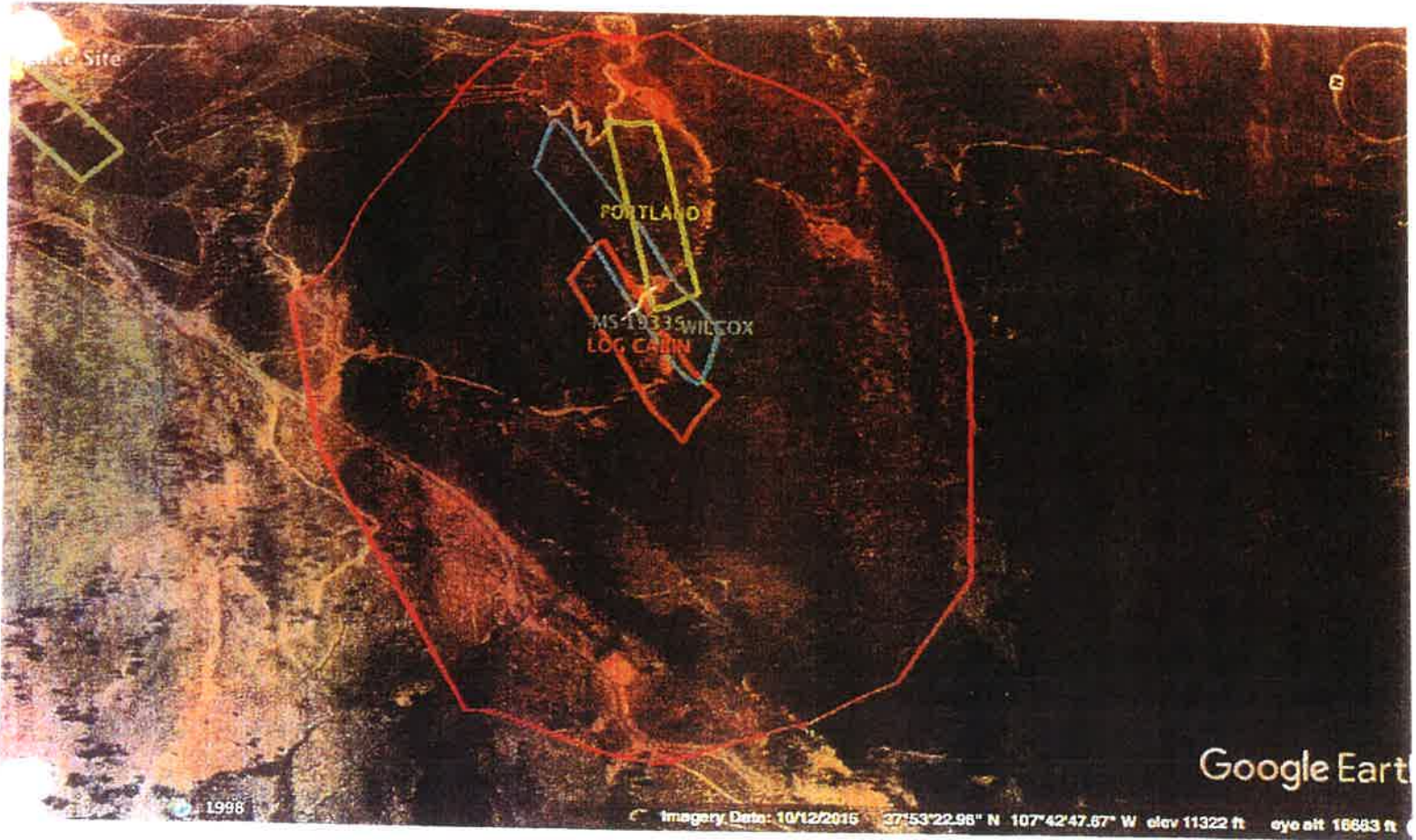
By: ERIK R. KILL, MEMBER OF RENAISSANCE HANDYMAN LLC, A COLORADO LIMITED LIABILITY  
COMPANY

My commission expires: July 21, 2025

Witness my hand and official seal

RENEE JO FRIEDENBERG  
NOTARY PUBLIC  
STATE OF COLORADO  
NOTARY ID 20174030807  
MY COMMISSION EXPIRES 07/21/2025

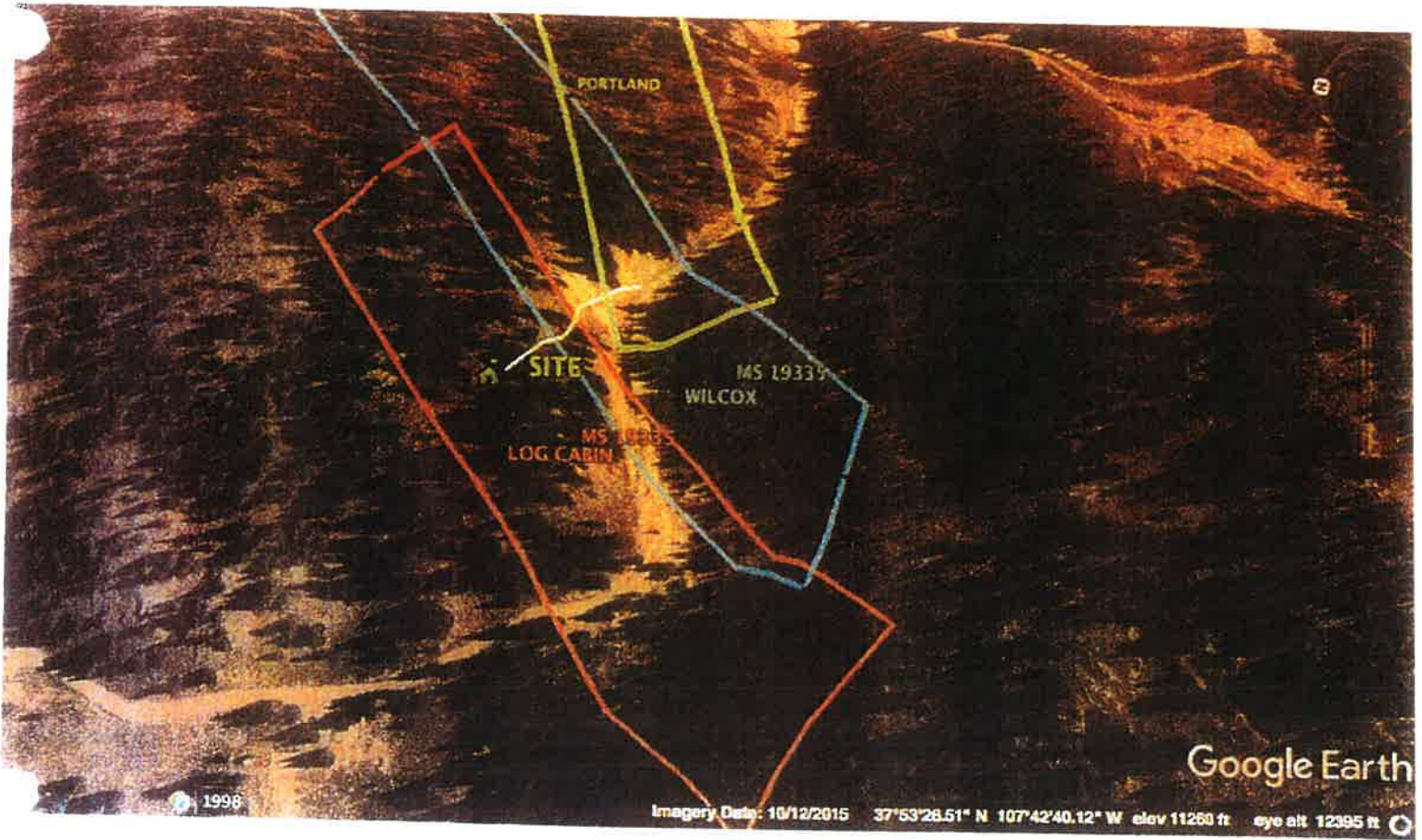
[Signature]  
Notary Public



Map showing 1500' from the Log Cabin Claim



LOG CABIN  
SITE LOCATION



Installed

- White Line is ~~boundary~~ boundary
- Cabin Site is indicated

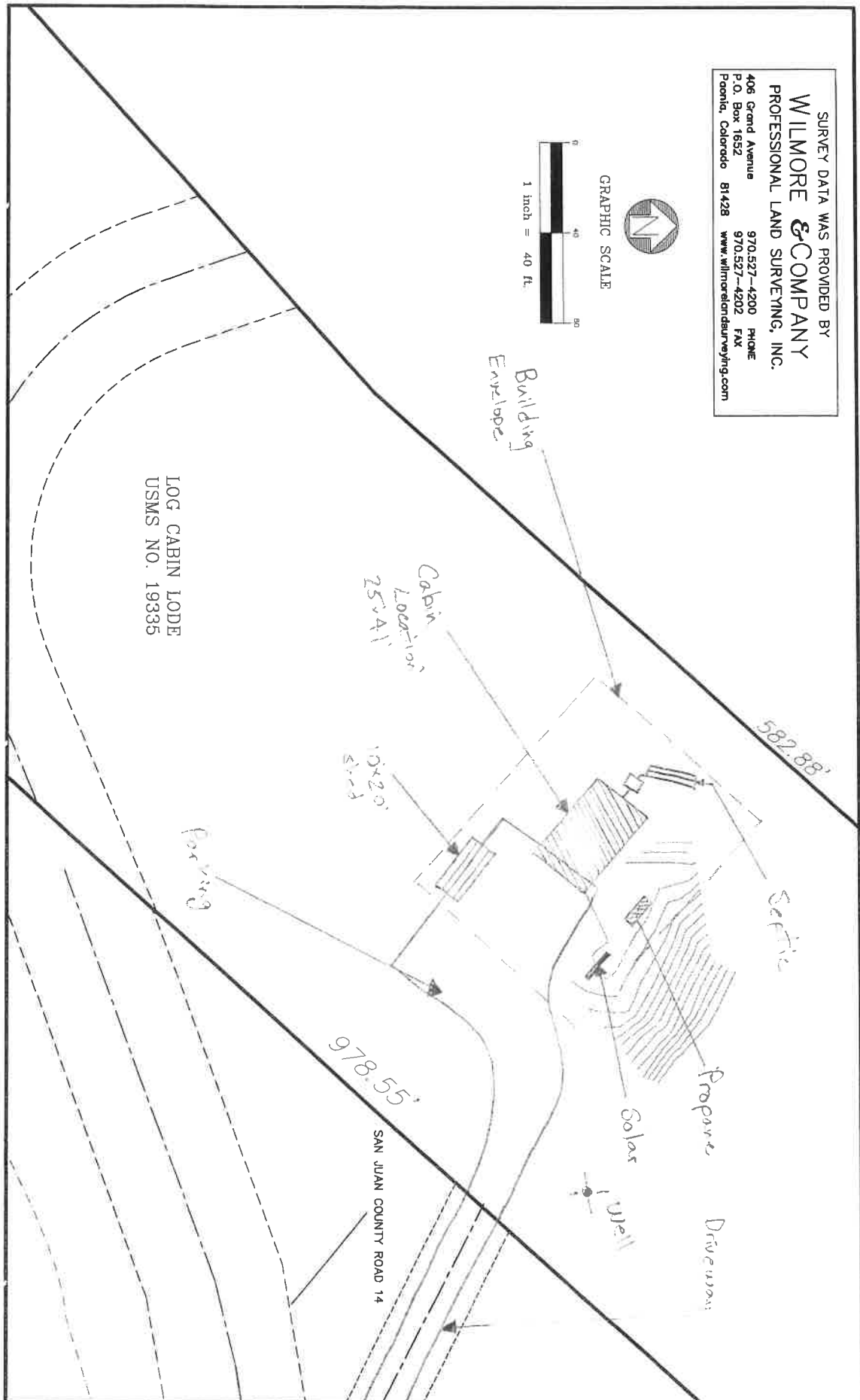
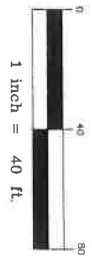




SURVEY DATA WAS PROVIDED BY  
**WILMORE & COMPANY**  
 PROFESSIONAL LAND SURVEYING, INC.  
 406 Grand Avenue      970.527-4200    PHONE  
 P.O. Box 1652          970.527-4202    FAX  
 Poncha, Colorado 81428    www.wilmorelandsurveying.com

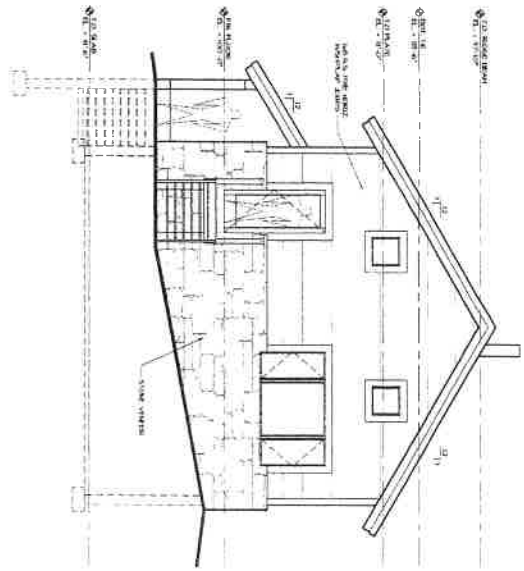


GRAPHIC SCALE

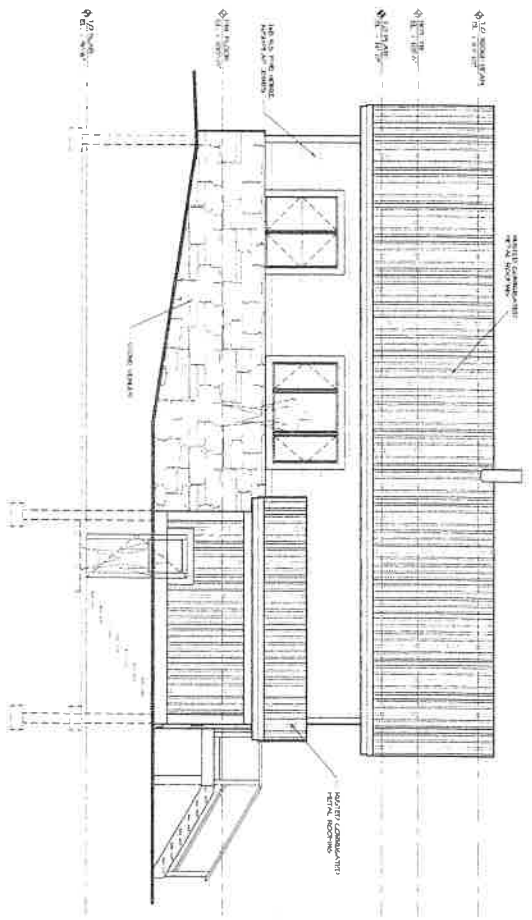


OF SHEET	DATE	2022 SITE PLAN
	DRAWN BY	PROPOSED CABIN
	LAYOUT: SITE PLAN 2022	LOG CABIN LODGE USMS NO. 19335
	DWR: 2016-102/upperletzt Daykin.dwg	SAN JUAN COUNTY, COLORADO
LAST REVISED:		

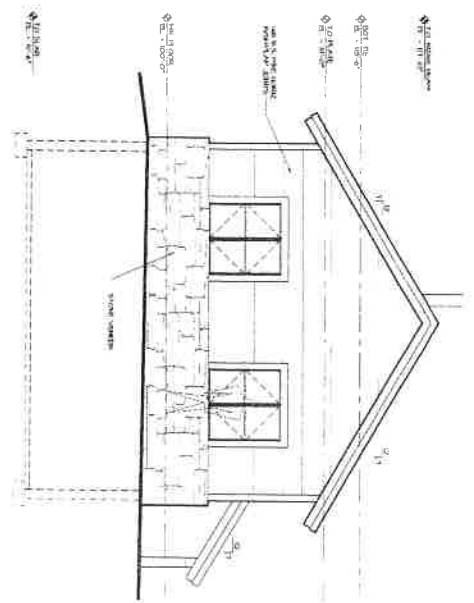




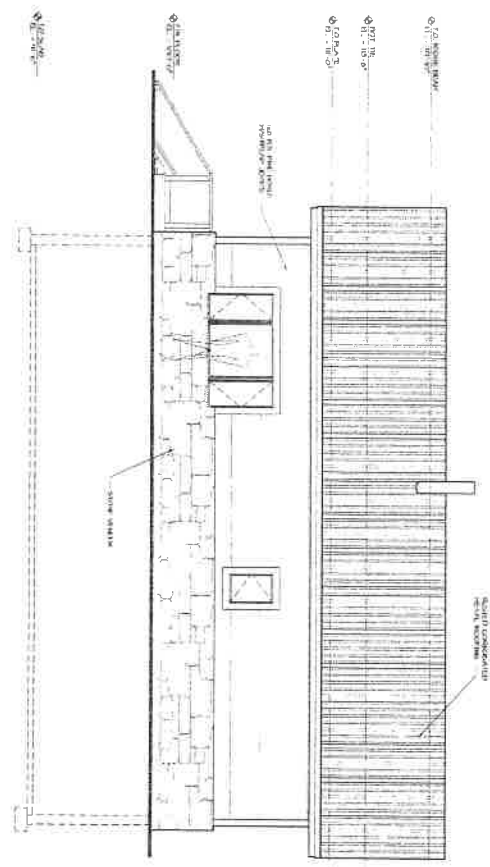
ELEVATION - FRONT  
SCALE: 1/8" = 1'-0"



ELEVATION - LEFT  
SCALE: 1/8" = 1'-0"



ELEVATION - REAR  
SCALE: 1/8" = 1'-0"



ELEVATION - RIGHT  
SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

PRELIMINARY ONLY

# Luppenplatz Ski Cabin

San Juan County, Colorado

**DESIGN**  
RESIDENTIAL  
ARCHITECTURE

1200 S. Durango  
Durango, CO 81301  
Tel: 970.246.1111  
Fax: 970.246.1112  
www.luppenplatz.com

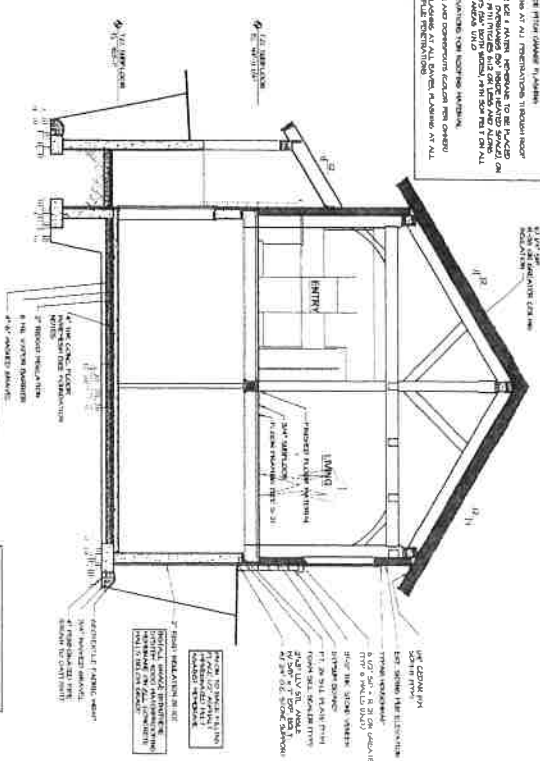
luppenplatz

A-2

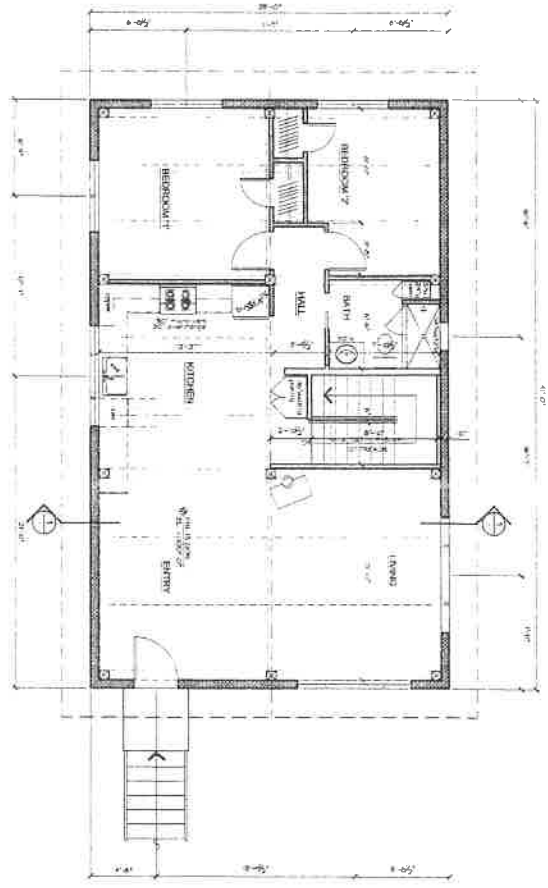
PLAN AND ELEVATIONS

This drawing is preliminary and is not intended for construction. It is subject to change without notice. The client is responsible for obtaining all necessary permits and approvals. The architect is not responsible for any errors or omissions in this drawing. The architect is not responsible for any construction or other work done in reliance on this drawing. The architect is not responsible for any construction or other work done in reliance on this drawing.

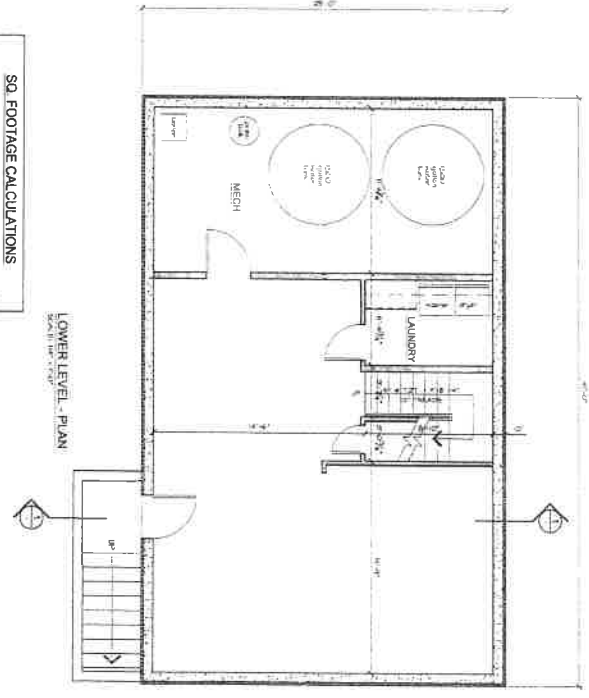
- ROOFING NOTES:**
1. 2" x 4" RICE PINE TRUSSING SYSTEM
  2. 1/2" x 8" RICE PINE TRUSSING SYSTEM
  3. 1/2" x 8" RICE PINE TRUSSING SYSTEM
  4. 1/2" x 8" RICE PINE TRUSSING SYSTEM
  5. 1/2" x 8" RICE PINE TRUSSING SYSTEM
  6. 1/2" x 8" RICE PINE TRUSSING SYSTEM
  7. 1/2" x 8" RICE PINE TRUSSING SYSTEM
  8. 1/2" x 8" RICE PINE TRUSSING SYSTEM
  9. 1/2" x 8" RICE PINE TRUSSING SYSTEM
  10. 1/2" x 8" RICE PINE TRUSSING SYSTEM



**NOTE:**  
FOUNDATION AND STRUCTURAL REQUIREMENTS SHOWN REFER TO SHEETS FOR LAYOUT & SIZES



MAIN LEVEL - PLAN  
Scale: 1/8" = 1'-0"



LOWER LEVEL - PLAN  
Scale: 1/8" = 1'-0"

**SO FOOTAGE CALCULATIONS**  
MAIN LEVEL: 1,200 SQ. FT.  
LOWER LEVEL: 1,200 SQ. FT.  
TOTAL: 2,400 SQ. FT.

NOT FOR CONSTRUCTION

PRELIMINARY ONLY

A-1  
PLAN AND ELEVATIONS

**NOTES:**  
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
2. FINISH FLOOR IS 1/2" ABOVE FINISH GRADE.  
3. FINISH GRADE IS 1/2" ABOVE FINISH GRADE.  
4. FINISH GRADE IS 1/2" ABOVE FINISH GRADE.  
5. FINISH GRADE IS 1/2" ABOVE FINISH GRADE.

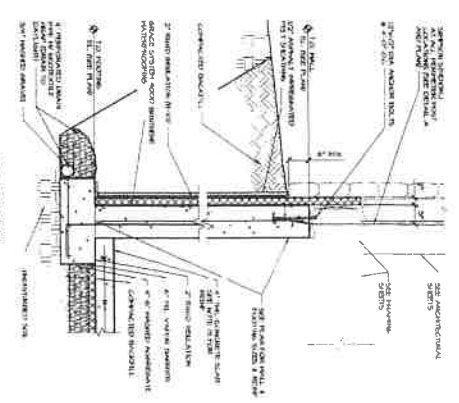
**DATE:** 10/11/2011  
**BY:** J. L. LUPPENLATZ  
**SCALE:** 1/8" = 1'-0"

**luppenlatz Ski Cabin**  
San Juan County, Colorado

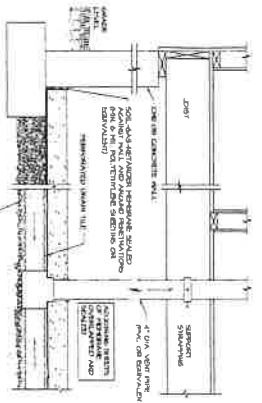
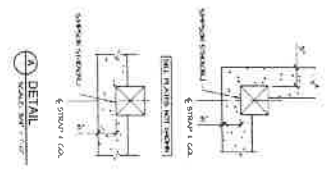
**DESIGN**  
RESIDENTIAL ARCHITECTURE  
1000 N. 1000 E.  
PO BOX 1111  
CORTADO, CO 81406  
www.luppenlatz.com

luppenlatz





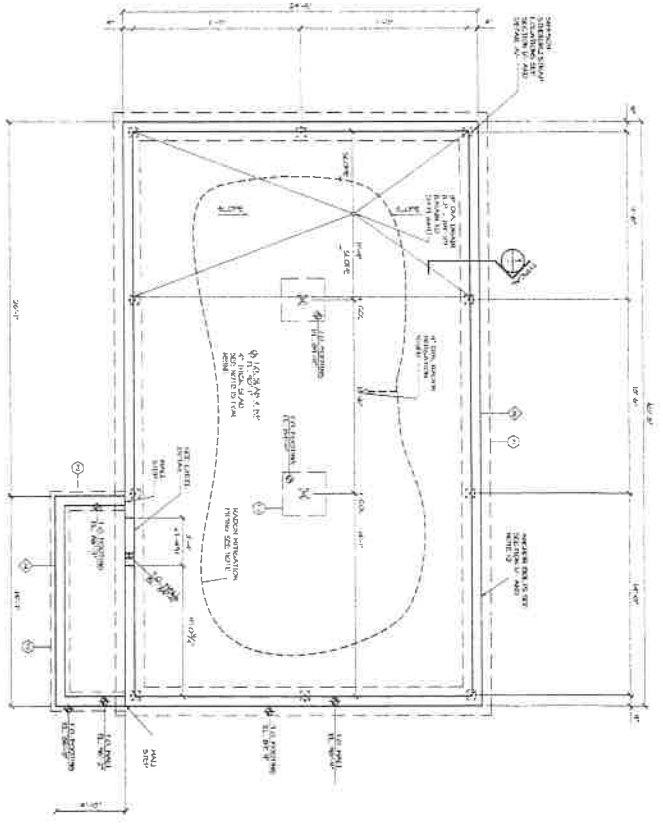
**NOTE:**  
STRUCTURAL BRACING MEMBERS AND  
ANCHORING ELEMENTS ARE SHOWN  
ON ARCHITECTURAL SHEETS FOR MORE  
INFORMATION



**SUB-SLAB DEPRESSURIZATION CONTROL SYSTEM**

GENERAL NOTES	REINFORCEMENT
1. ALL REINFORCING BARS SHALL BE #4 OR #5 UNLESS OTHERWISE NOTED.	1. ALL REINFORCING BARS SHALL BE #4 OR #5 UNLESS OTHERWISE NOTED.
2. ALL REINFORCING BARS SHALL BE EPOXY COATED UNLESS OTHERWISE NOTED.	2. ALL REINFORCING BARS SHALL BE EPOXY COATED UNLESS OTHERWISE NOTED.
3. ALL REINFORCING BARS SHALL BE WELDED TOGETHER UNLESS OTHERWISE NOTED.	3. ALL REINFORCING BARS SHALL BE WELDED TOGETHER UNLESS OTHERWISE NOTED.
4. ALL REINFORCING BARS SHALL BE DEVELOPED UNLESS OTHERWISE NOTED.	4. ALL REINFORCING BARS SHALL BE DEVELOPED UNLESS OTHERWISE NOTED.
5. ALL REINFORCING BARS SHALL BE PROTECTED UNLESS OTHERWISE NOTED.	5. ALL REINFORCING BARS SHALL BE PROTECTED UNLESS OTHERWISE NOTED.

- GENERAL NOTES:**
1. CONCRETE SHALL BE PLACED UNDER CONDITIONS AND PRACTICES WHICH WILL BE APPROVED BY THE ENGINEER. THE MIXTURE SHALL BE PROVED BY TESTS TO BE SATISFACTORY TO THE ENGINEER. THE MIXTURE SHALL BE PLACED IN A MANNER WHICH WILL BE APPROVED BY THE ENGINEER. THE MIXTURE SHALL BE PLACED IN A MANNER WHICH WILL BE APPROVED BY THE ENGINEER.
  2. CONCRETE SHALL BE PLACED IN A MANNER WHICH WILL BE APPROVED BY THE ENGINEER. THE MIXTURE SHALL BE PROVED BY TESTS TO BE SATISFACTORY TO THE ENGINEER. THE MIXTURE SHALL BE PLACED IN A MANNER WHICH WILL BE APPROVED BY THE ENGINEER.
  3. CONCRETE SHALL BE PLACED IN A MANNER WHICH WILL BE APPROVED BY THE ENGINEER. THE MIXTURE SHALL BE PROVED BY TESTS TO BE SATISFACTORY TO THE ENGINEER. THE MIXTURE SHALL BE PLACED IN A MANNER WHICH WILL BE APPROVED BY THE ENGINEER.
  4. CONCRETE SHALL BE PLACED IN A MANNER WHICH WILL BE APPROVED BY THE ENGINEER. THE MIXTURE SHALL BE PROVED BY TESTS TO BE SATISFACTORY TO THE ENGINEER. THE MIXTURE SHALL BE PLACED IN A MANNER WHICH WILL BE APPROVED BY THE ENGINEER.
  5. CONCRETE SHALL BE PLACED IN A MANNER WHICH WILL BE APPROVED BY THE ENGINEER. THE MIXTURE SHALL BE PROVED BY TESTS TO BE SATISFACTORY TO THE ENGINEER. THE MIXTURE SHALL BE PLACED IN A MANNER WHICH WILL BE APPROVED BY THE ENGINEER.



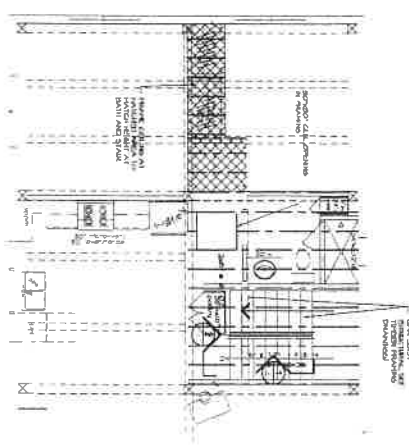
**FOUNDATION PLAN**

GENERAL NOTES	REINFORCEMENT
1. ALL REINFORCING BARS SHALL BE #4 OR #5 UNLESS OTHERWISE NOTED.	1. ALL REINFORCING BARS SHALL BE #4 OR #5 UNLESS OTHERWISE NOTED.
2. ALL REINFORCING BARS SHALL BE EPOXY COATED UNLESS OTHERWISE NOTED.	2. ALL REINFORCING BARS SHALL BE EPOXY COATED UNLESS OTHERWISE NOTED.
3. ALL REINFORCING BARS SHALL BE WELDED TOGETHER UNLESS OTHERWISE NOTED.	3. ALL REINFORCING BARS SHALL BE WELDED TOGETHER UNLESS OTHERWISE NOTED.
4. ALL REINFORCING BARS SHALL BE DEVELOPED UNLESS OTHERWISE NOTED.	4. ALL REINFORCING BARS SHALL BE DEVELOPED UNLESS OTHERWISE NOTED.
5. ALL REINFORCING BARS SHALL BE PROTECTED UNLESS OTHERWISE NOTED.	5. ALL REINFORCING BARS SHALL BE PROTECTED UNLESS OTHERWISE NOTED.

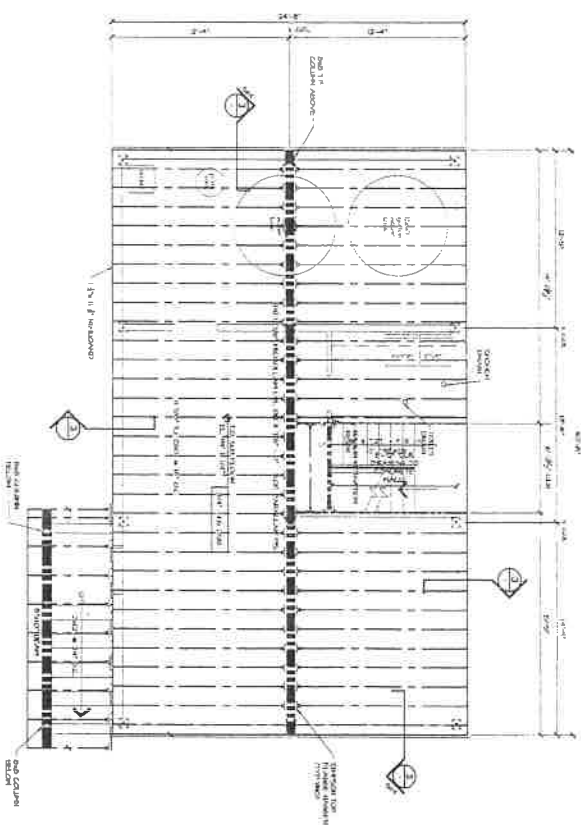
- DESIGN CRITERIA:**
1. ALL REINFORCING BARS SHALL BE #4 OR #5 UNLESS OTHERWISE NOTED.
  2. ALL REINFORCING BARS SHALL BE EPOXY COATED UNLESS OTHERWISE NOTED.
  3. ALL REINFORCING BARS SHALL BE WELDED TOGETHER UNLESS OTHERWISE NOTED.
  4. ALL REINFORCING BARS SHALL BE DEVELOPED UNLESS OTHERWISE NOTED.
  5. ALL REINFORCING BARS SHALL BE PROTECTED UNLESS OTHERWISE NOTED.

GENERAL NOTES	REINFORCEMENT
1. ALL REINFORCING BARS SHALL BE #4 OR #5 UNLESS OTHERWISE NOTED.	1. ALL REINFORCING BARS SHALL BE #4 OR #5 UNLESS OTHERWISE NOTED.
2. ALL REINFORCING BARS SHALL BE EPOXY COATED UNLESS OTHERWISE NOTED.	2. ALL REINFORCING BARS SHALL BE EPOXY COATED UNLESS OTHERWISE NOTED.
3. ALL REINFORCING BARS SHALL BE WELDED TOGETHER UNLESS OTHERWISE NOTED.	3. ALL REINFORCING BARS SHALL BE WELDED TOGETHER UNLESS OTHERWISE NOTED.
4. ALL REINFORCING BARS SHALL BE DEVELOPED UNLESS OTHERWISE NOTED.	4. ALL REINFORCING BARS SHALL BE DEVELOPED UNLESS OTHERWISE NOTED.
5. ALL REINFORCING BARS SHALL BE PROTECTED UNLESS OTHERWISE NOTED.	5. ALL REINFORCING BARS SHALL BE PROTECTED UNLESS OTHERWISE NOTED.

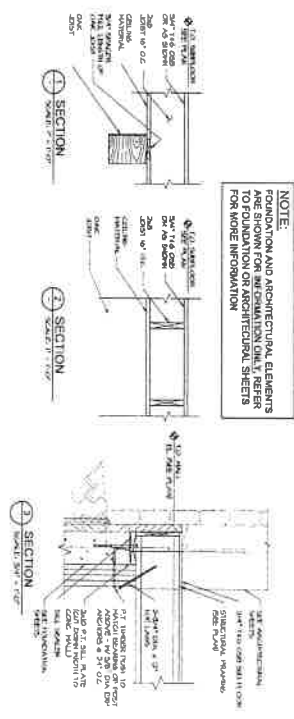
This is a preliminary drawing and is not to be used for construction. It is subject to change without notice. The engineer's seal and signature are required for all drawings. The engineer's seal and signature are required for all drawings.



FRAMING PLAN - CEILINGS



FRAMING PLAN - MAIN LEVEL FLOOR



NOTE:  
FOUNDATION AND ARCHITECTURAL ELEMENTS  
ARE SHOWN FOR INFORMATION ONLY. REFER  
TO FOUNDATION AND ARCHITECTURAL DETAILS  
FOR MORE INFORMATION.

NOTES:  
1. DOWEL LOCATIONS, SPACING AND ANCHORAGE ONLY.  
2. REFER TO FOUNDATION DETAILS FOR MORE INFORMATION.

**DESIGN GENERAL:**  
 STRUCTURAL SYSTEM: WOOD JOIST SYSTEM WITH 2x10 JOISTS @ 16" ON CENTER.  
 FLOORING: 3/4" TYPICAL GYPSUM BOARD OVER 1/2" TYPICAL INSULATION OVER JOISTS.  
 CEILING: 5/8" TYPICAL GYPSUM BOARD OVER JOISTS.  
 FINISHES: SEE ARCHITECTURAL DETAILS.

**STRUCTURAL NOTES:**  
 1. ALL JOISTS SHALL BE INSTALLED AT 16" ON CENTER.  
 2. ALL JOISTS SHALL BE SUPPORTED BY FOUNDATION WALLS OR PIERCEMENTS.  
 3. ALL JOISTS SHALL BE CUTTED OVER ALL WALLS AND PIERCEMENTS.  
 4. ALL JOISTS SHALL BE CUTTED OVER ALL WALLS AND PIERCEMENTS.  
 5. ALL JOISTS SHALL BE CUTTED OVER ALL WALLS AND PIERCEMENTS.  
 6. ALL JOISTS SHALL BE CUTTED OVER ALL WALLS AND PIERCEMENTS.  
 7. ALL JOISTS SHALL BE CUTTED OVER ALL WALLS AND PIERCEMENTS.  
 8. ALL JOISTS SHALL BE CUTTED OVER ALL WALLS AND PIERCEMENTS.  
 9. ALL JOISTS SHALL BE CUTTED OVER ALL WALLS AND PIERCEMENTS.  
 10. ALL JOISTS SHALL BE CUTTED OVER ALL WALLS AND PIERCEMENTS.

NOT FOR CONSTRUCTION

PRELIMINARY ONLY

S2

FLOOR AND CEILING  
FRAMING PLANS

Iuppenlatz Ski Cabin  
San Juan County, Colorado

DESIGN  
ARCHITECTURE  
ENGINEERING  
PLANNING  
CONSULTANTS

Iuppenlatz



Looking west from the road to cabin



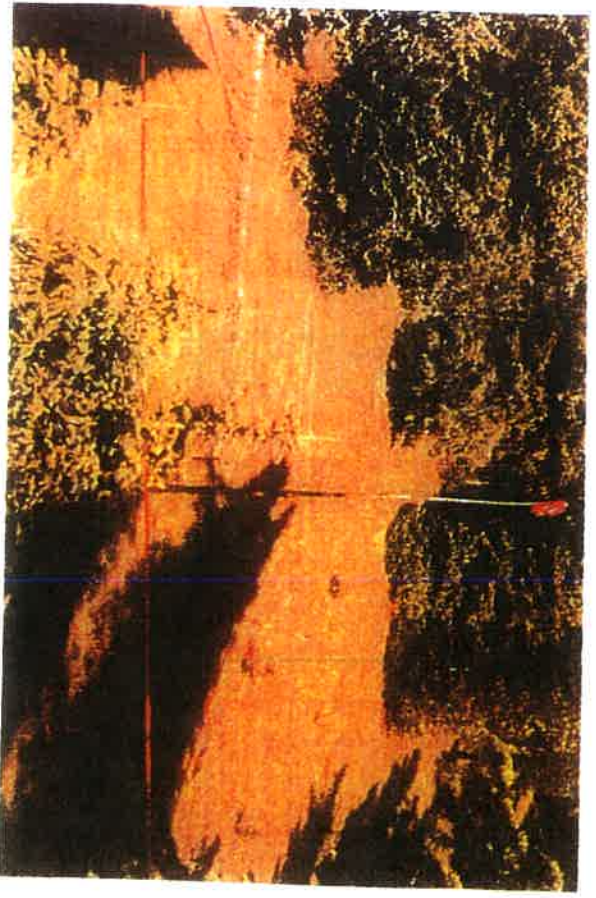
Looking west from the road to cabin



Looking west from the road to cabin



Looking west from the road to cabin





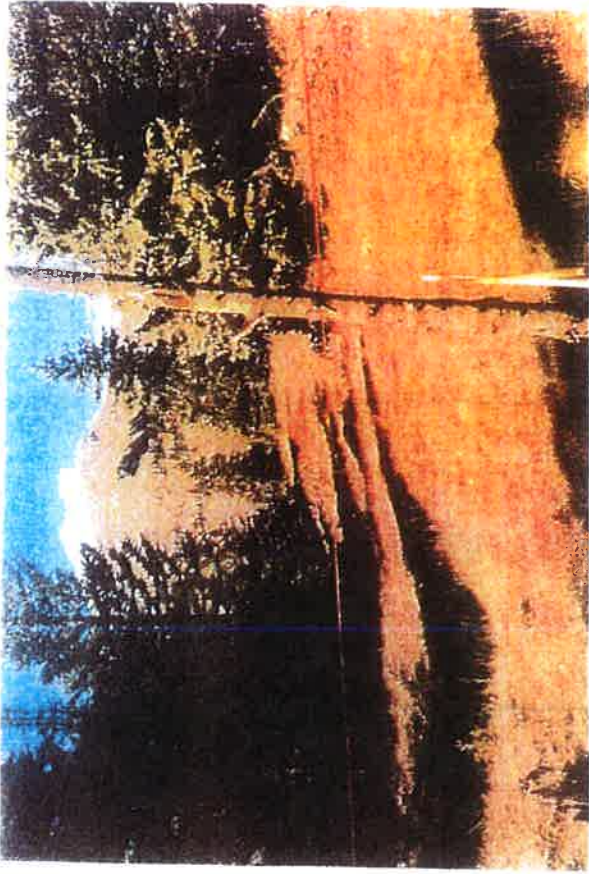


LOOKING UP DRIVEWAY  
 + LOOKING UP



LOOKING UP DRIVEWAY  
 + LOOKING UP

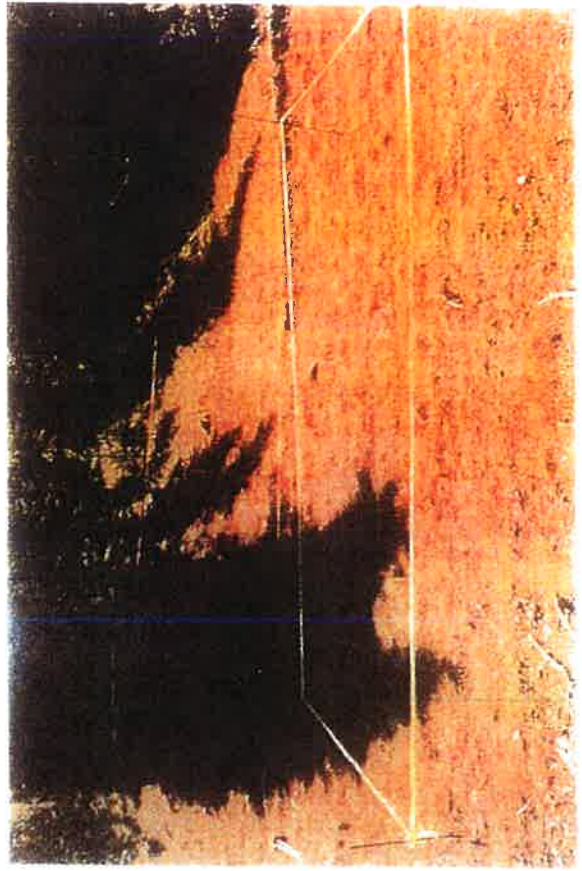




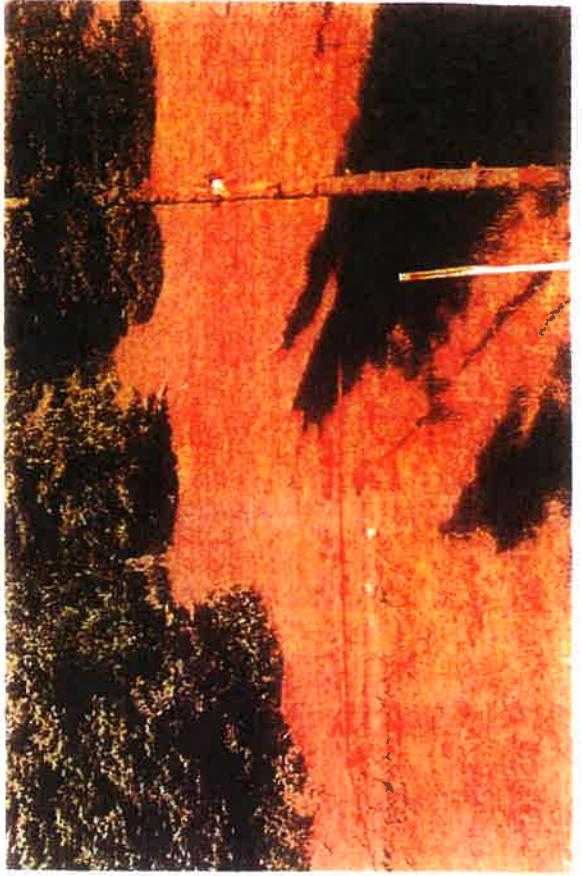
Looking down a trail in Tamarack Hills, California



Looking down a trail in Tamarack Hills, California

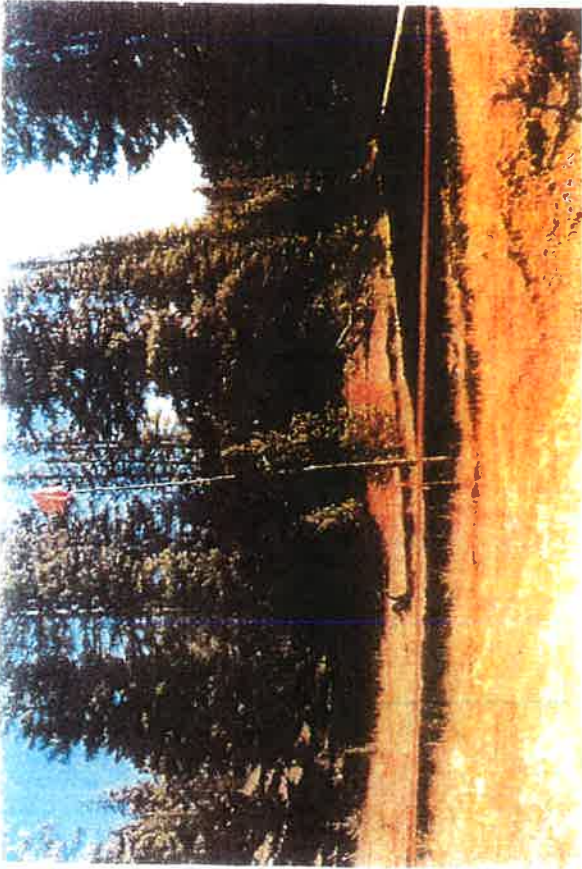


Looking down a trail in Tamarack Hills, California



Looking down a trail in Tamarack Hills, California

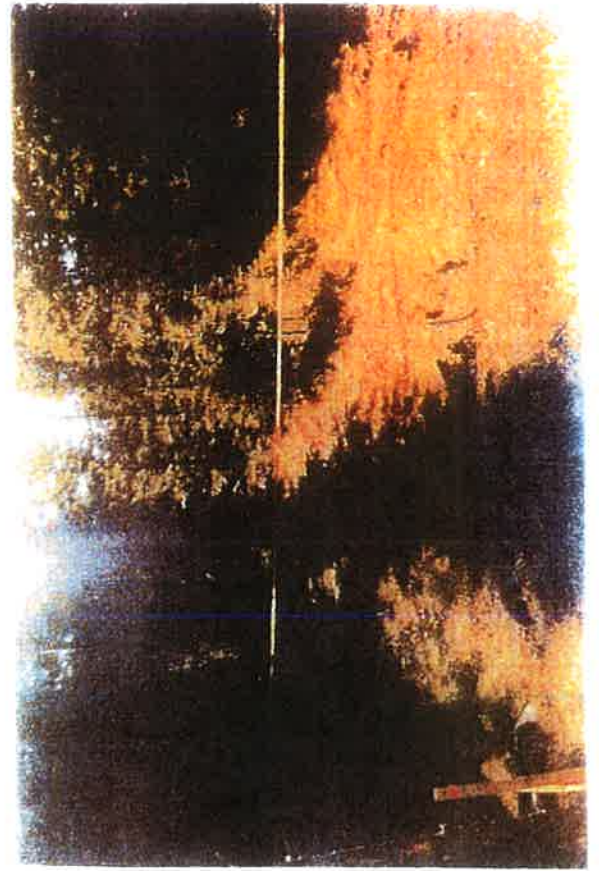




A rocky road through a forest



A rocky road through a forest

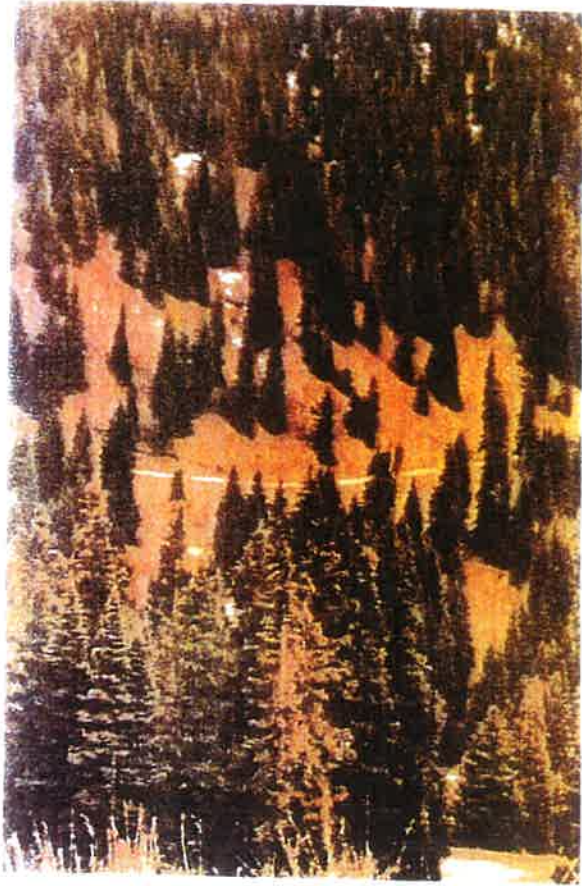


A rocky road through a forest

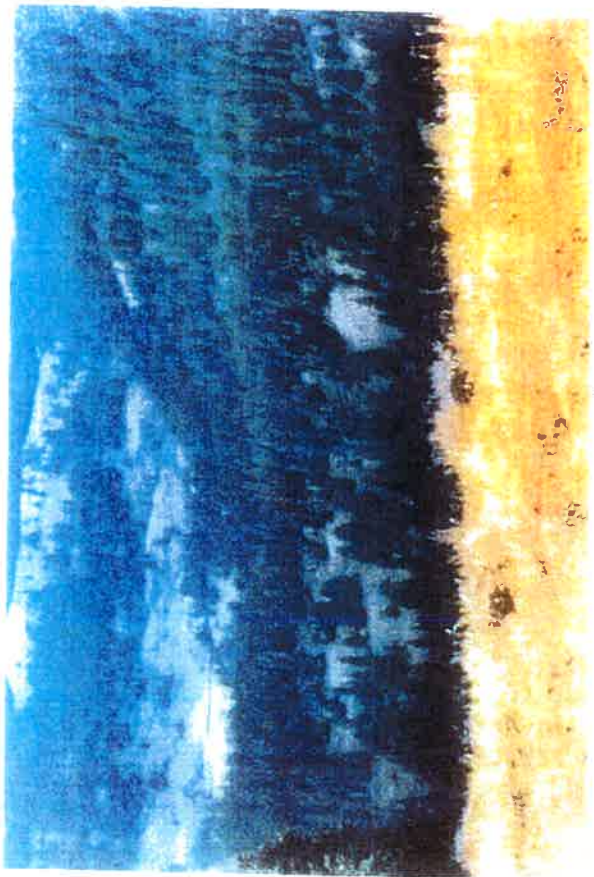


A rocky road through a forest





Looking AT CABINS from Black Bear Pass

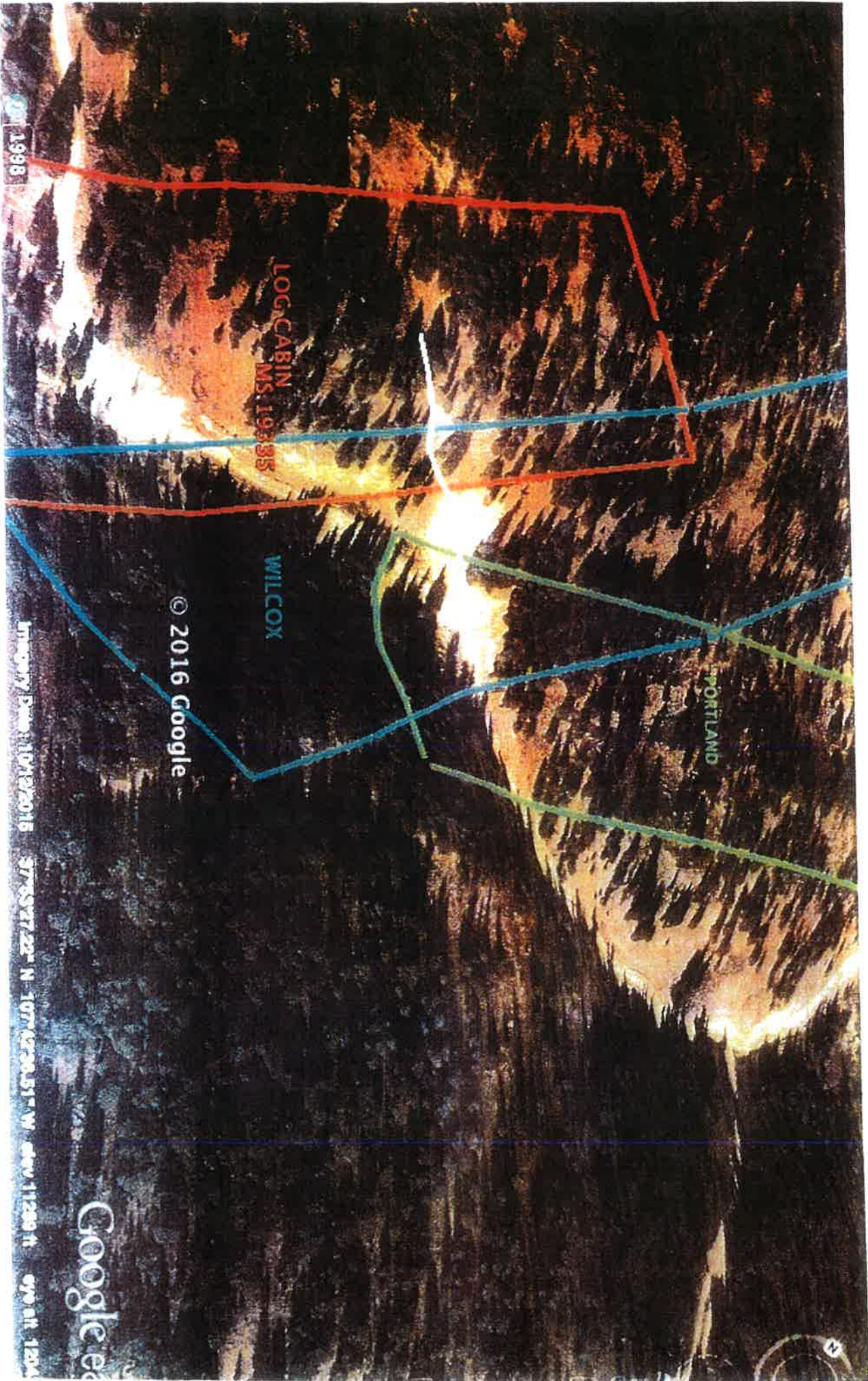


Looking AT CABINS AT MOUNTAIN R 14



Looking AT CABINS AT MOUNTAIN R 14





07 1998

LOG CABIN  
MS. 19935

WILCOX

PORTLAND

© 2016 Google

Google e

Imagery Date: 10/14/2015 37°53'27.22" N 107°42'30.51" W elev: 11280 ft eye alt: 1204





Jupentatz Residence  
House and Shed  
Looking West

Account #  
N2823  
Parcel #47770140040116  
PARISI JULL ANNETTE LT  
&; STACK ENTERPRISES LLC  
**Mailing Address**  
3938 E SALINAS ST  
PHOENIX AZ 85044-3859

**Situs address**  
COUNTY ROAD 14,  
SILVERTON, CO 81433

Account #  
N1963  
Parcel #47770140040112  
  
ELLIOTT ROBERTA &  
WHITE ANNA J  
  
6212 W KEIM DR  
GLENDALE AZ 85301-5012

**Situs address**  
COUNTY ROAD 14,  
SILVERTON, CO 81433

Account #  
N2823  
Parcel# 47770140040116

PARISI JULL ANNETTE LT  
&; STACK ENTERPRISES LLC  
**Mailing Address**  
3938 E SALINAS ST  
PHOENIX AZ 85044-3859

**Situs address**  
COUNTY ROAD 14  
SILVERTON, CO 81433

Account #  
N1959  
Parcel #47770140040004

SW WATER  
CONSERVATION  
DISTRICT  
**Mailing Address**  
842 E 2ND AVE DURANGO  
CO 81301  
**Situs Address**  
COUNTY ROAD 14,  
SILVERTON, CO 81433

Account#  
N1960  
Parcel #47770140040007

YEOWELL ANDREW D  
**Mailing Address**  
929 COUNTY ROAD 12  
RIDGWAY CO 81432  
**Situs Address**  
929 OURAY COUNTY

Account #  
N1960  
Parcel # 4777140040007  
YEOWELL ANDREW D

**Mailing Address**  
929 COUNTY ROAD 12  
RIDGWAY CO 81432

**Situs address**  
929 OURAY COUNTY  
ROAD 12, OURAY, CO 81427

Account #  
N1971  
Parcel #47770140040115  
CAPTAIN MINING LLC;  
C/ODEMUTH ERIC  
18492 HWY 550 RIDGWAY  
CO 81432-9654

**Situs address**  
COUNTY ROAD 14,  
SILVERTON, CO 81433

Account #  
N1957  
Parcel#47770140040002

VAUGHAN JAMES  
HAGGAR & JESSIE  
**Mailing Address**  
177 CHESTER CT  
RIDGWAY CO 81432-8732

**Situs address**  
COUNTY ROAD 14,  
SILVERTON, CO 81433

Account #  
N1990  
Parcel #47770230040015

GUILLORY GERALD  
ANTHONY ET AL; c/oJUD  
J GUILLORY ST  
**Mailing Address**  
4250 W PRIEN LK RD  
LAKE CHARLES LA  
70605-3942  
**Situs Address**  
COUNTY ROAD 13,  
SILVERTON, CO 81433

Account#  
N2010  
Parcel #47770240040006

BAUMGARTNER/  
OSIRIS GOLD INC; SIAL EXPLORATION INC/  
CARIBOU RESOURCES  
**Mailing Address**  
4155 E JEWELL AVE STE  
1001 DENVER CO 80232-4514

ROAD 12, OURAY, CO 81427

Account #  
N2823  
Parcel #47770140040116

PARISI JULL ANNETTE LT  
&; STACK ENTERPRISES LLC

**Mailing Address**  
3938 E SALINAS ST  
PHOENIX AZ 85044-3859

**Situs Address**  
COUNTY ROAD 14,  
SILVERTON, CO 81433

Account #  
N1963  
Parcel #47770140040012

ELLIOTT ROBERTA &  
WHITE ANNA J  
**Mailing Address**  
6212 W KEIM DR  
GLENDALE AZ 85301-5012

**Situs Address**  
Total Acres  
SILVERTON, CO 81433

**Situs Address**  
SILVERTON, CO 81433

Account #  
N2812  
Parcel #47770130040021

ORANS MARY  
**Mailing Address**  
8839 COUNTY ROAD 250  
DURANGO CO 81301-8628  
DURANGO CO 81301-

**Situs Address**  
459 RED MOUNTAIN 3  
ROAD, OURAY, CO 81427

Account #  
N1980  
Parcel #47770230040005

GREENFIELD ENVIRONMENTAL  
MULTISTATE TRUST LLC;  
GALUSHA, HIGGINS & GALUSHA

**Mailing Address**  
PO BOX 1189 HELENA MT  
59624-1189

**Situs Address**  
SILVERTON, CO 81433





Avalanche Hazard Map



Geologic Hazard Map





Fire Hazard Map



Overall Hazard Map

COLORADO DIVISION OF WATER RESOURCES  
 DEPARTMENT OF NATURAL RESOURCES  
 1313 SHERMAN ST., Ste 821, DENVER, CO 80203  
 Main: (303) 866-3581 [dwrpermits@state.co.us](mailto:dwrpermits@state.co.us)

Office Use Only Form GWS-44 (7/2012)

**RESIDENTIAL** Note: Also use this form to apply for livestock watering  
**Water Well Permit Application**  
 Review form instructions prior to completing form.  
 Hand completed forms must be completed in black or blue ink or typed.

**1. Applicant Information**

Name(s)  
 Mark Iuppenlatz/ Maddeline Mining, LLC  
 Mailing address  
 3416 Main, #B3  
 City Durango State CO Zip code 81301  
 Telephone (w/area code) 505-258-6079 E-mail markiuppenlatz@gmail.com

- 2. Type Of Application (check applicable boxes)**
- Construct new well
  - Replace existing well
  - Use existing well
  - Change or increase use
  - Change source (aquifer)
  - Reapplication (expired permit)
  - Rooftop precip collection
  - Other:

**3. Refer To (if applicable)**

Well permit # \_\_\_\_\_ Water Court case # \_\_\_\_\_  
 Designated Basin Determination # \_\_\_\_\_ Well name or # \_\_\_\_\_

**4. Location Of Proposed Well (Important! See Instructions)**

County San Juan  
 Section \_\_\_\_\_ Township \_\_\_\_\_ 1/4 of the \_\_\_\_\_  
 Range \_\_\_\_\_ E or W Principal Meridian \_\_\_\_\_  
 Distance of well from section lines (section lines are typically not property lines)  
 Ft. from \_\_\_\_\_ N \_\_\_\_\_ S \_\_\_\_\_ E \_\_\_\_\_ W \_\_\_\_\_  
 For replacement wells only -- distance and direction from old well to new well  
 feet \_\_\_\_\_ Direction \_\_\_\_\_  
 Well location address (Include City, State, Zip) \_\_\_\_\_  
 Check if well address is same as in Item 1.  
 Log Cabin Claim, CR14 1/4 mile East of HWY 550, Red Mtn Pa

**Optional:** GPS well location information in UTM format. GPS unit settings are as follows.  
 Format must be UTM  
 Zone 12 or  Zone 13  
 Units must be Meters  
 Datum must be NAD83  
 Unit must be set to true north  
 Was GPS unit checked for above?  YES  
 Easting: 261617  
 Northing: 4197254  
 Remember to set Datum to NAD83

**5. Parcel On Which Well Will Be Located (You must attach a current deed for the subject parcel)**

- A. You must check and complete one of the following:
- Subdivision: Name \_\_\_\_\_  
 Lot \_\_\_\_\_ Block \_\_\_\_\_ Filing/Unit \_\_\_\_\_
  - County exemption (attach copy of county approval & survey)  
 Name/# \_\_\_\_\_ Lot # \_\_\_\_\_
  - Parcel less than 35 acres, not in a subdivision attach a deed with metes & bounds description recorded prior to June 1, 1972, and current deed
  - Mining claim (attach copy of deed or survey) Name/#: Log Cabin
  - Square 40 acre parcel as described in Item 4
  - Parcel of 35 or more acres (attach metes & bounds description or survey)
  - Other: (attach metes & bounds description or survey)

B. # of acres in parcel 6.63 C. Are you the owner of this parcel?  
 YES  NO

D. Will this be the only well on this parcel?  YES  NO (if no - list other wells)

E. State Parcel ID# (optional):

**6. Use Of Well (check applicable boxes)**

- See instructions to determine use(s) for which you may qualify
- A. Ordinary household use in one single-family dwelling (no outside use)
  - B. Ordinary household use in 1 to 3 single-family dwellings:  
 Number of dwellings: \_\_\_\_\_  
 Home garden/lawn irrigation, not to exceed one acre:  
 area irrigated \_\_\_\_\_ sq. ft.  acre
  - Domestic animal watering - (non-commercial)
  - C. Livestock watering (on farm/ranch/range/pasture)

**7. Well Data (proposed)**

Maximum pumping rate <b>15</b>	gpm	Annual amount to be withdrawn <b>.3</b>	acre-feet
Total depth <b>300</b>	feet	Aquifer	

**8. Water Supplier**

Is this parcel within boundaries of a water service area?  YES  NO  
 If yes, provide name of supplier:

**9. Type Of Sewage System**

- Septic tank / absorption leach field
- Central system: District name: \_\_\_\_\_
- Vault: Location sewage to be hauled to: \_\_\_\_\_
- Other (explain) \_\_\_\_\_

**10. Proposed Well Driller License #(optional): 1434**

**11. Sign or Enter Name of Applicant(s) or Authorized Agent**  
 The making of false statements herein constitutes perjury in the second degree, which is punishable as a class 1 misdemeanor pursuant to C.R.S. 24-4-104 (13)(a). I have read the statements herein, know the contents thereof and state that they are true to my knowledge.  
 Sign or enter name(s) of person(s) submitting application \_\_\_\_\_ Date (mm/dd/yyyy) 04/22/2017  
 If signing print name and title  
 Mark Iuppenlatz, Member-Manager

**Office Use Only**

USGS map name	DWR map no.	Surface elev.
Receipt area only		
AQUAMAP		
WE		
WR		
CWCB		
TOPO		
MYLAR		
SB5	DIV _____	WD _____ BA _____ MD _____



Form No. GWS-11 08/2016	<b>COLORADO DIVISION OF WATER RESOURCES</b> <b>DEPARTMENT OF NATURAL RESOURCES</b> 1313 Sherman St., Ste 821, Denver CO 80203 (303) 866-3581 <a href="mailto:dwrpermitsonline@state.co.us">dwrpermitsonline@state.co.us</a>	For Office Use Only
<b>CHANGE IN OWNER NAME/MAILING ADDRESS</b>		
PRIOR TO COMPLETING THIS FORM, SEE INSTRUCTIONS ON REVERSE SIDE INCOMPLETE, POOR QUALITY, OR ILLEGIBLE FORMS CANNOT BE PROCESSED AND WILL BE RETURNED		
Name, address and phone number of person claiming ownership of the well permit:		
Name(s): <u>JORDAN HAWN &amp; CLAYTON RUNDQUIST &amp; CHRISTOPHER FORREST</u>		
Mailing Address: <u>324 JENKINS RANCH ROAD</u>		
City, St. Zip: <u>DURANGO, CO 81301</u>		
Phone: <u>(303) 506-5230</u> Email: <u>jordan_hawn@yahoo.com</u>		
Well Permit Number: <u>317731</u> Receipt Number: <u>10002278</u> Case Number (optional): _____		
WELL LOCATION: County: <u>SAN JUAN</u> Well Name or # (optional): _____		
TBD COUNTY ROAD 14		CO      81433
Street Address at Well Location		City      State      Zip
<input type="checkbox"/> Check if well address is same as owner's mailing address		
SW <u>1/4</u> of the SE <u>1/4</u> , Sec. <u>14</u> , Township <u>42.0</u> <input checked="" type="checkbox"/> N. or <input type="checkbox"/> S., Range <u>8.0</u> <input type="checkbox"/> E. or <input checked="" type="checkbox"/> W., <u>N</u> P.M.		
Distance from Section Lines: _____ Ft. from <input type="checkbox"/> N. or <input type="checkbox"/> S. Line, _____ Ft. from <input type="checkbox"/> E. or <input checked="" type="checkbox"/> W. Line.		
Subdivision Name (if applicable): _____, Lot _____, Block _____, Filing/Unit _____		
NOTE: If changing/correcting the permitted location of a well, use Form No. GWS-42.		
I (we) claim and say that I am (we are) the owner(s) of the well permit described above, know the contents of the statements made herein, and state that they are true to my (our) knowledge. This filing is made pursuant to C.R.S. 37-90-143.		
Signature(s) of the New Owner <u>JORDAN HAWN</u> <u>CLAYTON RUNDQUIST</u> <u>CHRISTOPHER FORREST</u>	Please print the Signer's Name & Title <u>JORDAN HAWN</u> <u>CLAYTON RUNDQUIST</u> <u>CHRISTOPHER FORREST</u>	Date _____ _____ <u>1/14/2022</u>
It is the responsibility of the new owner of this well permit to complete and sign this form. If an agent is signing or entering information, please see instructions. Please allow 4 to 6 weeks for processing of this form. Thereafter, you can view or print the accepted document at: <a href="http://www.dwr.state.co.us/WellPermitSearch">http://www.dwr.state.co.us/WellPermitSearch</a>		
Signature of DWR staff indicates acceptance as a Change in Owner Name and/or Mailing Address.		
For Staff Use Only		
Staff Signature _____		Date _____

SAN JUAN COUNTY, COLORADO  
DRIVEWAY AND ROAD ACCESS PERMIT

Improvement  
Permit No. \_\_\_\_\_

Applicant: Jordan Hawn  
Clayton Rundquist  
Chris Forrest

Location of Proposed Driveway or Access on County Road No. 14 :  
Approx. 1/4 mile off Hwy 500 on  
the top of Red Mountain Pass see attached

Description of Proposed Driveway or Access, including materials to be used:  
Driveway will exit CR 14 to the left  
with modest grade uphill. A plastic culvert  
will ~~has~~ been installed per county road supervisor  
specifications, driveway material is native dirt.

Comment and Recommendations of County Road Supervisor:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Terms and Conditions of Issuance of Permit (or reason for denial):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Permit Approved \_\_\_\_\_ or Denied \_\_\_\_\_ . Date: 8/26/22

Land Use Administrator: \_\_\_\_\_

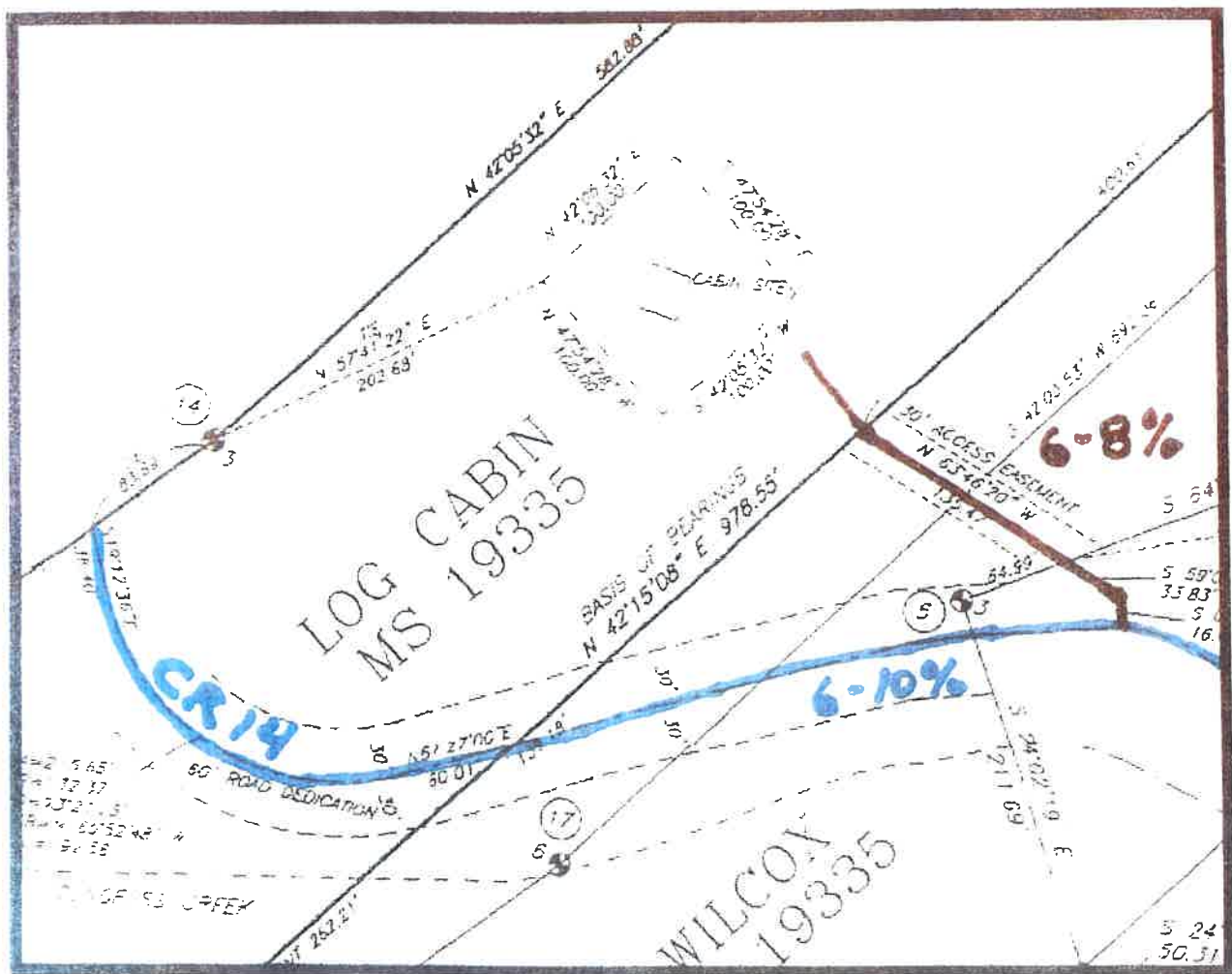
### LOG CABIN DRIVEWAY SKETCH

~Proposed Driveway 

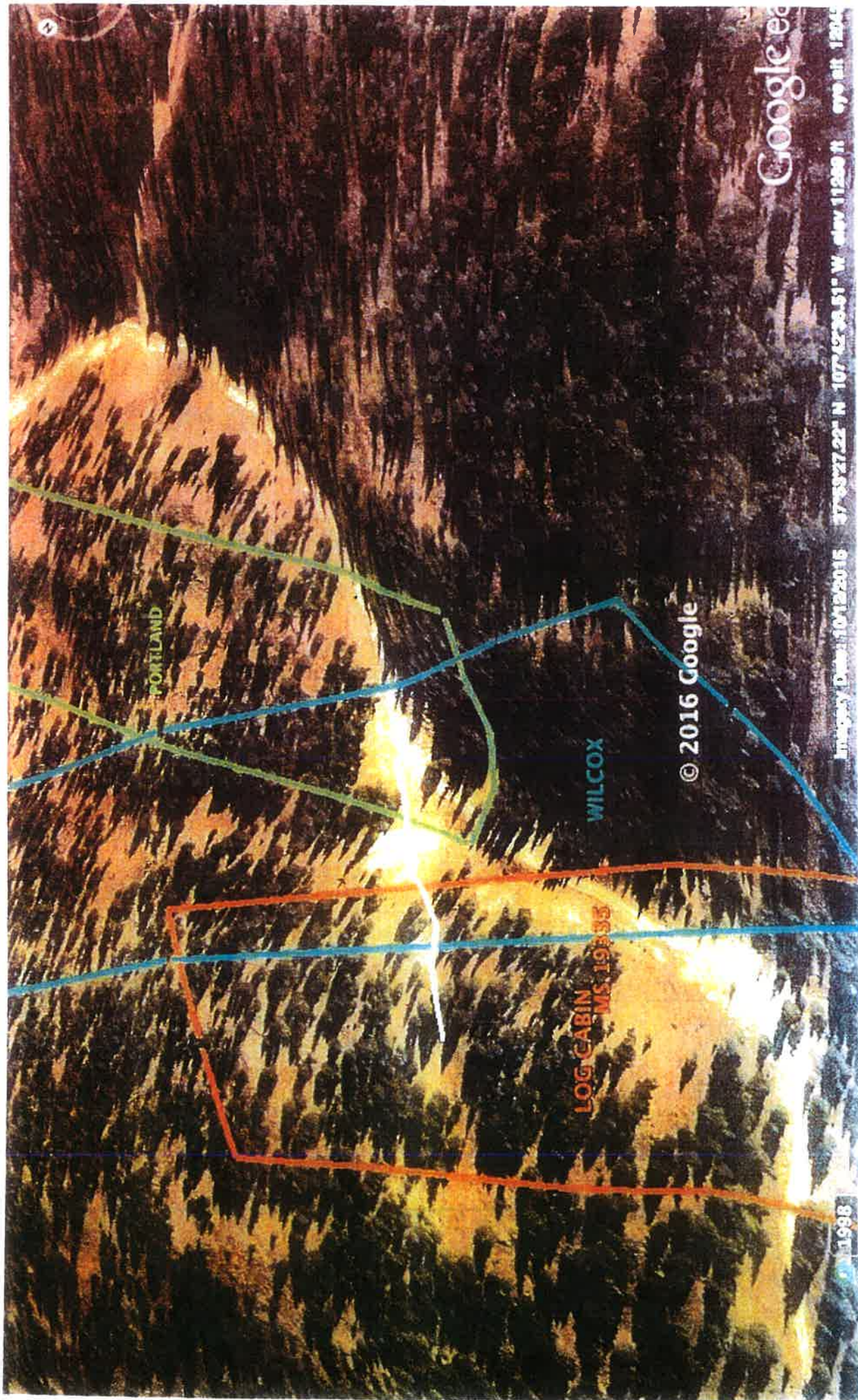
~Driveway grade 6 - 8%, CR 14 grade is 6 - 10 %

~Driveway grade will not be any steeper than CR 14 access road

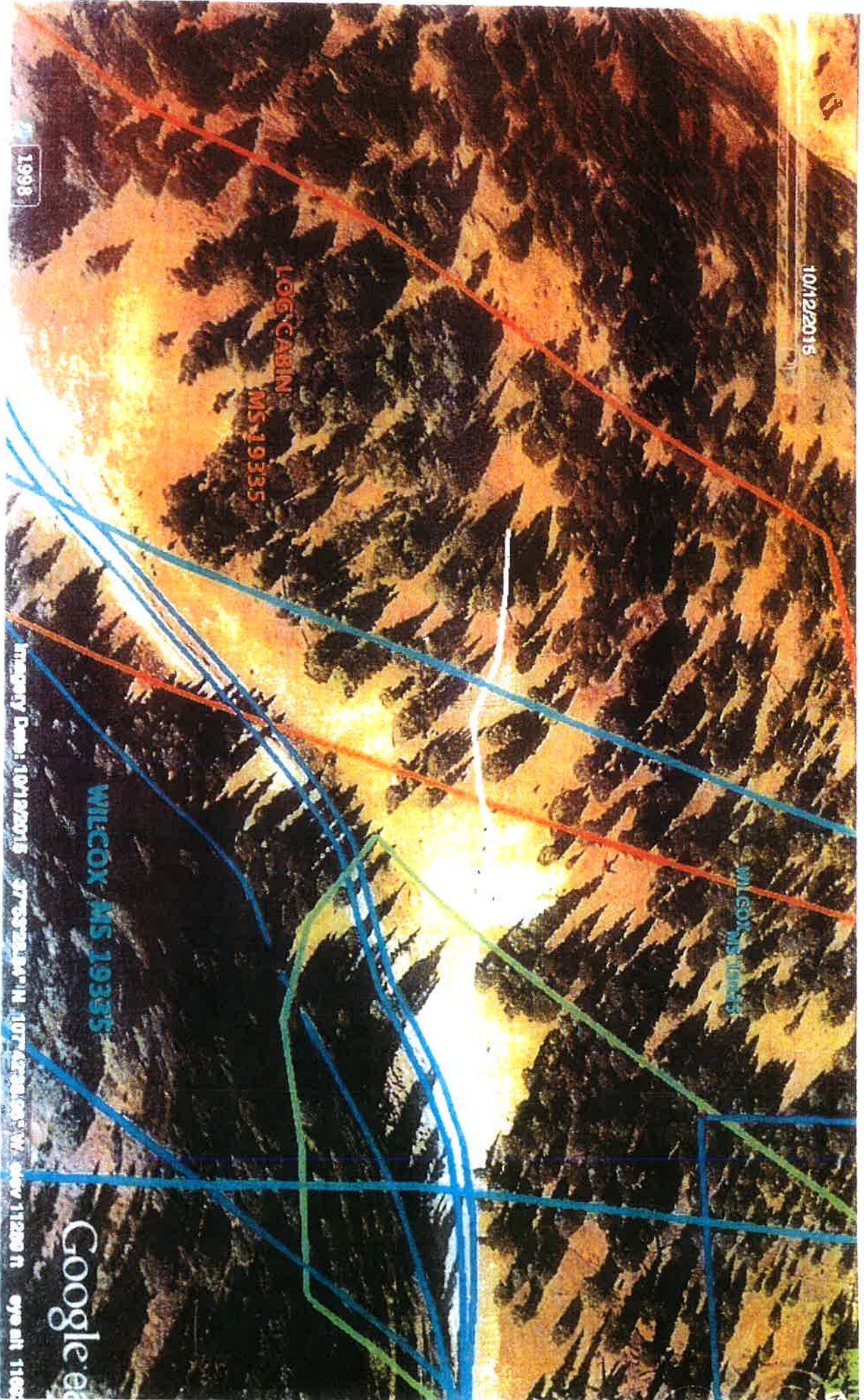
~Driveway cut is across a previous cut from County Road so no new area will be disturbed on hill. Erosion control fence will be installed prior to work to minimize erosion and the area will be stabilized and reseeded following the work to leave it in better condition than it currently











1998

LOG CABIN  
MS 19335

WILCOX MS 19335

WILCOX MS 19335

10/12/2015

Image Date: 10/12/2015 37°05'22.14"N 107°45'31.05"W elev 11280 ft eye alt 11600

Google Earth



RECORDED  
Page 1 of 4  
SAN JUAN COUNTY, COLORADO  
LACORNA L. SARAVILOS, RECORDER  
02-13-2017 09:17 AM Recording Fee 428.00

EASEMENT AGREEMENT

This EASEMENT AGREEMENT ("Agreement") is entered into as of the date of the last Party to sign below, between Flaugh Family Trust (collectively, "Grantor"); and Maddaline Mining, LLC ("Grantee") (collectively, the "Parties").

A. Grantee is the owner of the following patented mining claim located in the Red Mountain Mining District, San Juan County, Colorado ("Grantee property"):

The LOG CABIN lode mining claim Mineral Survey No. 19335, Red Mountain Mining District, County of San Juan, State of Colorado.

B. Grantor is the owner of the following patented mining claim located in the Red Mountain Mining District, San Juan County, Colorado ("Grantor property"):

The WILCOX Lode Mining Claim, Mineral Survey No. 19335, less and except overlap with the LOG CABIN lode mining claim Mineral Survey No. 19355, Red Mountain Mining District, County of San Juan, State of Colorado.

In consideration for the mutual promises contained in this document and other good and valuable consideration, the sufficiency of which is hereby acknowledged, the following grants, agreements, covenants, and restrictions are made:

1. Grant. Grantor grants to Grantee, and its successors, heirs and assigns a non-exclusive easement for pedestrian, ski, bicycle, and snow machine access, as well as construction and maintenance of a road, not more than 30 feet in width in the location described in Exhibit A to this Agreement, and vehicular access on said road following its construction. Any access road shall be constructed at the sole expense of Grantee.

2. Maintenance of the access road. The Parties agree and stipulate that any maintenance or improvements to any road constructed pursuant to this Easement, that is desired by either Party, shall be the responsibility of that Party and there shall be no right of contribution with respect to the costs of any such maintenance or improvements.

3. Construction. This Easement shall be liberally construed to further the purpose of providing access to the Grantee property.

4. Running with the Land. This Easement shall burden and shall run with the land described. This Easement shall be binding upon any successors in interest to Grantor. This Agreement may be recorded in the office of the San Juan County Clerk and Recorder.

5. Authority. The persons signing on behalf of the Parties each represent that they have complete authority to bind the entities on whose behalf they execute this Agreement.

GRANTOR:

Flaugh Family Trust

Darwin Flaugh - Trustee  
By: Darwin Flaugh, Trustee

STATE OF Colorado )  
County of La Plata ) ss.

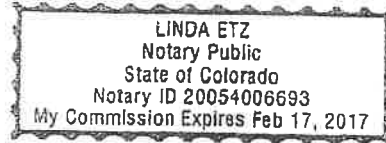
Before me this 27<sup>th</sup> day of January, 2017, personally appeared Darwin Flaugh as Trustee of the Flaugh Family Trust, who acknowledged the foregoing instrument.

Witness my hand and seal.

SEAL

My commission expires: 2/17/2017

Linda Etz  
Notary Public



GRANTEE:

Maddaline Mining, LLC



Mark Ippenlätz, Managing Member

STATE OF California )  
County of La Plata ) ss.

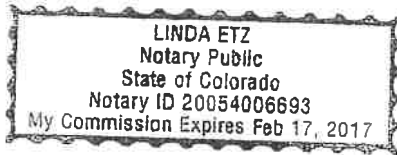
Before me this 7<sup>th</sup> day of February, 2017, personally appeared Mark Ippenlätz, as Managing Member of Maddaline Mining, LLC, who acknowledged the foregoing instrument.

Witness my hand and seal.

SEAL

  
Notary Public

My commission expires: 2/17/2017



**Exhibit A**

A non-exclusive access easement for ingress and egress being 30 feet in width and being 15 feet on each side of centerline being located within the Wilcox Lode MS 19335 located within Section 14, Township 42 North, Range 8 West of the New Mexico Principal Meridian.

Beginning at a point on the Northwesterly line of the Portland Lode MS 7151 from whence the USMM Carbon Lake bears N.75°09'47"E. 1275.89 feet and from whence corner number 3 of said Portland Lode MS 7151 bears S.64°00'34"W. 64.99 feet; thence along the centerline of said access easement N. 63°46'20"W. 135.47 feet more or less to the Northwesterly line of the Wilcox Lode MS 19335 from whence corner number 3 of said Wilcox Lode MS 19335 bears N.42°15'08"E. 400.61 feet, being the Point Of Terminus.

County of San Juan,  
State of Colorado.

BOARD OF COUNTY COMMISSIONERS  
San Juan County

P.O. Box 466

Silverton, Colorado 81433

303-387-5671

RELATIONSHIP OF PROPERTY TO COUNTY ROAD AND STATE HIGHWAY SYSTEMS


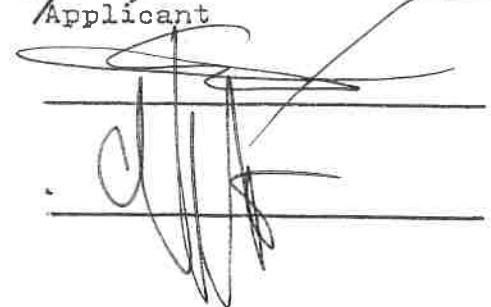
I, the undersigned, applicant engaged in the processing of Application for Improvement Permit No. \_\_\_\_\_, San Juan County, Colorado, do hereby acknowledge the following facts:

1. The real property which is the subject of said application is on this date located approximately on ~~from~~ County Road No. 14, the nearest designated and publicly maintained county road.
2. Said County Road No. 14 is on this date maintained on a Seasonal basis by San Juan County.
3. The real property which is the subject of said application is on this date located approximately 1/4 mile from Colorado State Highway No. 550, the nearest designated state or federal highway.
4. Said Colorado State Highway No. 550 is on this date maintained on a year-round basis by either San Juan County or the Colorado Division of Highways.
5. A Driveway Permit will be necessary for any private access or egress relating to said real property which intersects any designated Colorado State Highway or Federal Highway.

Signed and dated this 26<sup>th</sup> day of August, 2022.

ATTEST:

Position:

  
 \_\_\_\_\_  
 Applicant  
  
 \_\_\_\_\_  
 \_\_\_\_\_





# SAN JUAN BASIN public health

Permit # \_\_\_\_\_

Year \_\_\_\_\_

## APPLICATION to Construct, Alter, or Repair an On-site Wastewater Treatment System

Owner: CLAYTON RUDOLPH Phone: 970-946-3453

Site address: TBD CR 14

Assessor's parcel # MS # 19335 Subdivision: \_\_\_\_\_ Lot#: \_\_\_\_\_

Lot size: 6.43 (acres) # of Dwellings: 1 # of Bedrooms: 2 Water supply: well

**I acknowledge:** (1) This application does not guarantee that an On-site Wastewater Treatment System ("OWTS") can be installed or a building permit issued; (2) The issuance of the OWTS permit does not imply any warranty by San Juan Basin Public Health as to the operation of the OWTS; (3) The OWTS must be constructed in accordance with the San Juan Basin Public Health On-site Wastewater Treatment System Regulations; and (4) The owner of the property assumes the responsibility and liability for the proper maintenance of the OWTS.

Date: 7-27-22 Owner's signature: \_\_\_\_\_

Owner's mailing address: claytonr@gmail.com

Owner's email address: 633 E 3rd Ave Durango CO 81301

### [DEPARTMENT USE ONLY]

Permit fee: \$ 1023 Payment type: card Rec'd by: Natasha Adams Date: 7-29-22

Site Evaluation LTAR: \_\_\_\_\_ Limiting Zone: \_\_\_\_\_ Depth: \_\_\_\_\_

PERMIT to \_\_\_\_\_ an On-site Wastewater Treatment System

Septic tank(s): \_\_\_\_\_ Design flow: \_\_\_\_\_ (gal/day) Distribution: Gravity or Pressure siphon pump

Soil treatment area: \_\_\_\_\_

### Design Specifications and Comments:

### Authorization to begin Construction

Permit must be signed by EHS BEFORE construction begins

\_\_\_\_\_  
Environmental Health Specialist Date

**Final Inspection** The above system has been inspected and found to comply with the above requirements.

\_\_\_\_\_  
System Installed by (name, company, phone)

\_\_\_\_\_  
Environmental Health Specialist Date

\_\_\_\_\_  
System Designed by (name, company, phone)

---

San Juan Basin Public Health

281 Sawyer Dr

Durango, CO 81303

970-247-5702

---

[www.sjbpublichealth.org](http://www.sjbpublichealth.org)

Today's Date 7/29/2022

.....  
Payment Receipt  
.....

**Payment Date**      7/29/2022

**Payment Amt**      \$1,023.00    Card

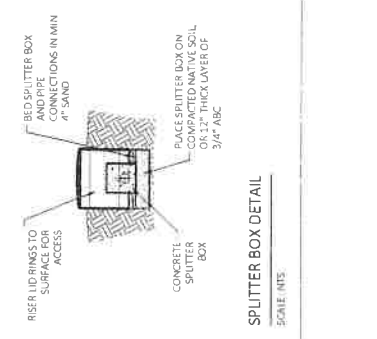
**Program**          WA OWTS-Permits-4350

**Check Number**

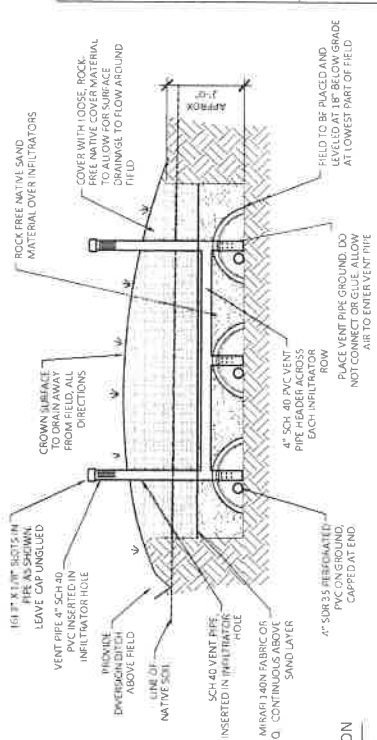
TBD Cr 14



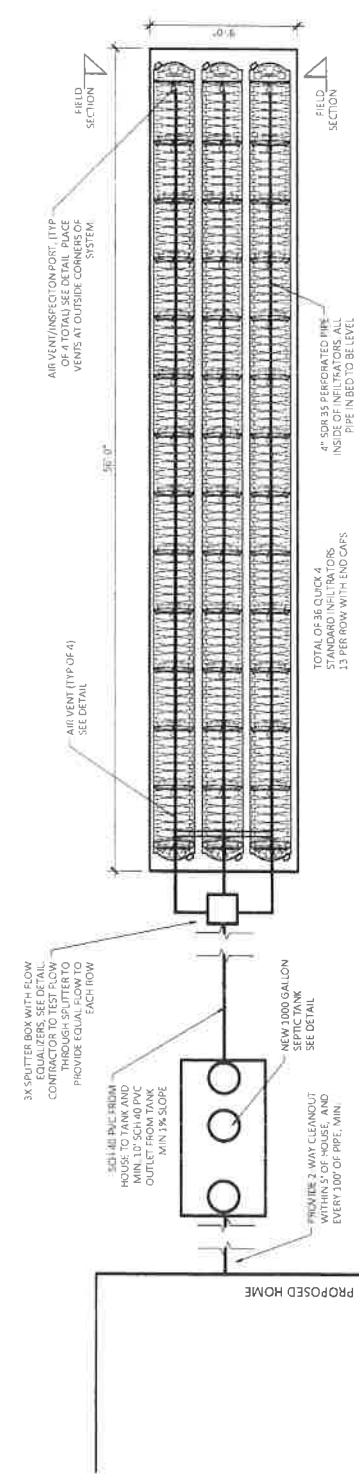




SEPTIC FIELD SECTION  
SCALE: 1/4" = 1'-0"



SPLITTER BOX DETAIL  
SCALE: NTS



NOTE:  
CONTRACTOR TO INSTALL PIPING AND SCHEDULE AN INSPECTION WITH THE ENGINEER PRIOR TO INSTALLING THE INFILTRATOR LINTS.  
\*\*FOR STARTING DEPTH, SEE NOTE ON SECTION

SEPTIC FIELD PLAN  
SCALE: 1/8" = 1'-0"

530 Main Ave., Ste D4  
Durango, CO 81301  
970-946-5147  
www.summitengs.com

PROJECT:	941-22-01
DATE:	08-05-22
REV NO:	0
REV DATE:	NA
NOTE:	CONCEPTUAL
DRAFT:	PRELIMINARY

RUNDQUIST SEPTIC DESIGN  
TBD CR 14, SILVERTON CO 81433  
SIBH PERMIT #2022-0390

**Staff Report for: SILVERTON/SAN JUAN Planning Commission**  
**Application for Improvement Permit -**

“Sketch Plan Submittal” for Log Cabin Claim, submitted by Mark & Andrea Iuppenlatz for construction of a Ski Cabin, near Red Mountain Pass, County Road 14.

Meeting - May 16, 2017

By: Mark Reavis, Planning Director/Land Use Administrator

Project: Log Cabin Claim - Ski Cabin

**Public Meeting - Sketch Plan Application Review**

Parcel: Log Cabin Claim USMS #19335, Red Mountain Pass - County Road 14

Applicant/ Owner: Mark & Andrea Iuppenlatz, Maddeline Mining, LLC, 3416 Main, #B3, Durango, CO 81301

The submission has been adequately prepared by the applicant with the assistance of a professional engineer. The contents of the submission covers, but is not limited to: the application for Improvement Permit, Warranty Deed, Adjacent Land Owner Map, List of Adjacent Land Owner, Survey Plat, Project Plans (Vicinity map, sketch, topo, avalanche, geo hazard), easement agreement. A Project Narrative, Septic System Permit, Avalanche & Geo (maps), Access info & driveway, Scenic Evaluation and Cumulative Development effect are also included. *A site visit was conducted by staff via snowmobile with applicant and builder present.*

**Executive Summary**

The applicant has fully addressed applicability requirements and any adverse scenic impacts associated with the cabins development. The Planning Director/Land Use Administrator concurs with the utilization of the proposed small meadow site as it conforms to various benefits and meeting mandated requirements. The design and material selection for the cabin reflects land use compatible design aspects. The site is not visible from highway 550 or any back country roadway or any typically utilized trail and the exposure is only partially visible from across the valley from Bear Creek Trail.

I recommend approval of the Sketch Plan and to allow the applicant to move forward with the additional required review and approval processes. Sketch Plan approval will allow the applicant to proceed with further design development of the cabin's construction plans and the preparation for further reviews and approvals.

# PLANNING COMMISSION AGENDA

TUESDAY MAY 16, 2017 AT 7:00 PM  
IN COMMISSIONERS ROOM AT SAN JUAN COUNTY COURTHOUSE

1. Roll Call of Members
2. Minutes: March 21, 2017
3. REPLAT – Lot 9 of the POWERHOUSE P.U.D. –San Juan County Historical Society
4. IMPROVEMENT PERMIT: Log Cabin Claim USMS #19335 Sketch Plan, Mark & Andrea Luppenlatz
5. RANCH PLACER, LLC. – USMS #14601 Animas Mining District “Glamour Camping”
6. ANVIL MOUNTAIN SUBDIVISION – Review Covenants
7. Other
8. Adjourn

### Check list of requirements and comments:

- Contact information has been provided.
- Ownership of Surface - YES
- Ownership of Minerals - YES to 500'
- Vicinity Map - YES
- Certified Survey Plat - YES
- Monumentation - YES
- Basic Plan Map & Plans and Drawings - YES
- Road System Relationship - YES
- Zoning Compatibility - YES
- State Mining Permit - NO
- Adjacent Owner Notification - list and notification - YES and no responses.
- Hazard Maps - Avalanche, Geo - Yes, Flood Plain - NA
- Hazard Map, Wildfire - YES - Adjacent
- Historic Site Impact - NA
- Watershed - Yes control provisions at driveway
- Sewage - perk test passed, permit applied, design initiated
- Water - apparent availability, well permit required.
- Utilities/power are self-contained off grid.
- USFS/ BLM - NA
- Driveway permit - applied for - approval pending
- Applicable land use Zone requirements and elevation are noted in the submission and in compliance.
- Emergency services are relatively accessible via the county road and commonly utilized snowmobile route in winter.



- The intent of the Master Plan has been addressed in the submission.
- Though there are adjacent claims and adjacent cabin being developed design and placement of these have been addressed and the cumulative impacts are negligible.
- Expert assistance has been sought in the preparation of the submission and for particular components.

*NOTE: Confirmation that property taxes are current is required throughout the review process.*

**Remaining Issues:** *Any remaining issues, which have been reviewed and considered minor, can be addressed in the upcoming reviews and hearings.*

**Staff Recommendation: Approve Sketch Plan**

# Fund Status Report

San Juan County

## Report Selection Criteria:

Selected Fund Type: ALL  
 Include Encumbrances? NO  
 Include Pri Yr Liabilities? NO  
 Printed in Alpha by Fund Name? NO

Fiscal Year: 2022  
 From Period: 9  
 To Period: 9

From Date: 9/1/2022  
 Thru Date: 9/30/2022  
 Option: Period

### Selected Funds :

	Beginning Balance	Receipts	Disbursements	Transfers	Ending Balance
<b>General Fund (01)</b>					
010 - COUNTY GENERAL FUND	\$445,965.28	\$353,688.57	(\$494,398.63)	\$0.00	\$305,255.22
020 - COUNTY ROAD & BRIDGE	\$431,916.27	\$34,899.31	(\$38,829.61)	\$0.00	\$427,985.97
030 - CONTINGENT FUND	\$54,554.94	\$0.00	\$0.00	\$0.00	\$54,554.94
035 - AMENDMENT 1-EMERGENCY FUN	\$30,000.00	\$0.00	\$0.00	\$0.00	\$30,000.00
040 - SOCIAL SERVICE FUND	\$73,341.31	\$8,802.89	(\$4,821.34)	\$0.00	\$77,322.86
045 - AFFORDABLE HOUSING FUND	\$386,529.88	\$11,031.37	\$0.00	\$0.00	\$397,561.25
050 - CONSERVATION TRUST	\$11,236.83	\$257.64	\$0.00	\$0.00	\$11,494.47
051 - LODGING TAX FUND	\$395,173.01	\$718.26	\$0.00	\$0.00	\$395,891.27
052 - TOURISM BOARD FUND	(\$5,102.26)	\$20,000.08	(\$1,596.40)	\$0.00	\$13,301.42
055 - NOXIOUS WEED FUND	\$1,988.18	\$0.00	\$0.00	\$0.00	\$1,988.18
060 - TOWN OF SILVERTON	\$9,236.76	\$13,380.66	(\$12,010.39)	\$0.00	\$10,607.03
070 - DURANGO FIRE PROTECTION DIS	(\$2,382.83)	\$5,229.98	(\$5,229.98)	\$0.00	(\$2,382.83)
080 - SOUTHWEST WATER CONSERVAT	\$59.60	\$1,099.82	(\$1,099.82)	\$0.00	\$59.60
090 - ADVERTISING FEES	\$10,178.40	\$0.00	\$0.00	\$0.00	\$10,178.40
100 - REDEMPTION	\$312.30	\$381.01	(\$381.01)	\$0.00	\$312.30
110 - SCHOOL GENERAL	(\$8,203.11)	\$34,562.15	(\$34,562.15)	\$0.00	(\$8,203.11)
116 - SCHOOL BOND	\$0.00	\$4,053.46	(\$4,053.46)	\$0.00	\$0.00
200 - SPECIAL ASSESSMENTS	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
210 - 911 AUTHORITY	\$53,042.14	\$3,055.13	(\$2,418.44)	\$0.00	\$53,678.83
220 - TREASURER'S FEES	\$18,038.05	\$0.00	\$0.00	\$0.00	\$18,038.05
230 - ASSESSOR'S PENALTY	\$5,548.41	\$0.00	\$0.00	\$0.00	\$5,548.41
240 - TREASURER'S DEEDS/FORECLOS	\$11,636.71	\$408.50	(\$375.00)	\$0.00	\$11,670.21
250 - CLERK TECHNOLOGY FEES	\$4,656.40	\$64.00	\$0.00	\$0.00	\$4,720.40
260 - ADMIN FEE	\$2,698.42	\$0.00	\$0.00	\$0.00	\$2,698.42
270 - PEAK INVESTMENTS	\$32,870.52	(\$11.18)	\$0.00	\$0.00	\$32,859.34
280 - ABATEMENTS	(\$2,333.91)	\$0.00	\$0.00	\$0.00	(\$2,333.91)
300 - ESCROW-AMBULANCE	\$72,428.07	\$39.48	\$0.00	\$0.00	\$72,467.55

Operator: djaramillo

10/7/2022 11:17:50 AM

Page 1 of 2

Report ID: GLLT85a

# Fund Status Report

San Juan County

## Report Selection Criteria:

Selected Fund Type: ALL  
 Include Encumbrances? NO  
 Include Pri Yr Liabilities? NO  
 Printed in Alpha by Fund Name? NO  
 Fiscal Year: 2022  
 From Date: 9/1/2022  
 From Period: 9  
 Thru Date: 9/30/2022  
 To Period: 9  
 Option: Period

## Selected Funds :

	Beginning Balance	Receipts	Disbursements	Transfers	Ending Balance
350 - ESCROW-COMPUTER EQUIP	\$4,113.33	\$7.93	\$0.00	\$0.00	\$4,121.26
360 - ASSESSOR/TREASURER ESCROW	\$3,190.64	\$11.18	\$0.00	\$0.00	\$3,201.82
400 - ESCROW-GRAVEL	\$144,578.89	\$17.85	\$0.00	\$0.00	\$144,596.74
410 - COUNTY BARN ESCROW	\$45,842.95	\$82.74	\$0.00	\$0.00	\$45,925.69
420 - ROAD EQUIP PURCHASE ESCROW	\$28,397.91	\$88.51	\$0.00	\$0.00	\$28,486.42
430 - LOST 4-WHEELERS ESCROW	\$3,915.62	\$5.95	\$0.00	\$0.00	\$3,921.57
440 - SEARCH & RESCUE ESCROW	\$10,000.00	\$0.00	\$0.00	\$0.00	\$10,000.00
450 - COURTHOUSE ESCROW	\$47,834.90	\$844.05	\$0.00	\$0.00	\$48,678.95
460 - MSI ESCROW	\$71,264.93	\$423.92	\$0.00	\$0.00	\$71,688.85
470 - EMERGENCY PREPAREDNESS	\$2,270.44	\$12.80	\$0.00	\$0.00	\$2,283.24
500 - HISTORICAL ARCHIVES ESCROW	\$361.30	\$3.79	\$0.00	\$0.00	\$365.09
550 - ASPHALT ESCROW	\$81,219.54	\$131.59	\$0.00	\$0.00	\$81,351.13
570 - FOREST RESERVE ESCROW	\$125,648.18	\$0.00	\$0.00	\$0.00	\$125,648.18
590 - EMERGENCY SERVICES SALES TA	\$1,588,185.61	\$154,524.58	\$0.00	\$0.00	\$1,742,710.19
600 - FIRE TRUCK FUND	\$66,018.73	\$113.75	\$0.00	\$0.00	\$66,132.48
650 - LAND USE ESCROW	\$56,615.44	\$49.75	\$0.00	\$0.00	\$56,665.19
700 - WORKFORCE HOUSING ESCROW	\$2,721.48	\$27.58	\$0.00	\$0.00	\$2,749.06
750 - ESCROW-SHERIFF VEHICLE	\$33,627.56	\$12.98	\$0.00	\$0.00	\$33,640.54
800 - PUBLIC TRUSTEE	\$75.00	\$103.00	(\$88.00)	\$0.00	\$90.00
810 - SPECIFIC OWNERSHIP TAX	\$14,384.11	\$20,493.56	(\$14,384.12)	\$0.00	\$20,493.55
820 - TAX HOLDING FUND	\$97,397.84	\$45,101.18	(\$94,501.21)	\$0.00	\$47,997.81
900 - ADVANCED COLLECTIONS	\$1,100.00	\$0.00	\$0.00	\$0.00	\$1,100.00
950 - WEST SIDE SPECIAL IMP. DISTRICT	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
960 - HOSPITAL GRANT	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
* Fund Type Total *	\$4,462,153.77	\$713,717.82	(\$708,749.56)	\$0.00	\$4,467,122.03
* Report Total *	\$4,462,153.77	\$713,717.82	(\$708,749.56)	\$0.00	\$4,467,122.03

Operator: djaramillo

10/7/2022 11:17:51 AM

Report ID: GLLT85a

San Juan County

# Composition of Cash Balances and Investments

As Of: 9/30/2022 Including Account Details

	Net Bank Balance	Investments	Cash on Hand/ In Transit	Total
<i>Cash and Cash Items</i>				
Cash on Hand	\$0.00	\$0.00	\$200.00	\$200.00
<b>Cash on Hand:</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$200.00</b>	<b>\$200.00</b>
<i>Demand and Time Deposits</i>				
<b>Citizens State Bank</b>				
Tourism Fund Checking	\$13,423.81	\$0.00	\$0.00	\$13,423.81
Affordable Housing Checking	\$416,177.68	\$0.00	\$0.00	\$416,177.68
911 Authority Checking	\$54,022.90	\$0.00	\$0.00	\$54,022.90
General Checking	\$1,657,218.30	\$0.00	\$0.00	\$1,657,218.30
<b>Citizens State Bank:</b>	<b>\$2,140,842.69</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$2,140,842.69</b>

*Investment Pool*

		Net Bank Balance	Investments	Cash on Hand/ In Transit	Total
<b>Citizens State Bank</b>					
	100120367	\$0.00	\$1,021,381.67	\$0.00	\$1,021,381.67
	<b>Citizens State Bank:</b>	<b>\$0.00</b>	<b>\$1,021,381.67</b>	<b>\$0.00</b>	<b>\$1,021,381.67</b>
<b>COLOTRUST</b>					
	CO-01-0646-8001	\$0.00	\$1,010,597.43	\$0.00	\$1,010,597.43
	<b>COLOTRUST:</b>	<b>\$0.00</b>	<b>\$1,010,597.43</b>	<b>\$0.00</b>	<b>\$1,010,597.43</b>
<b>Sigma Financial Corporation</b>					
	GTR-041850	\$0.00	\$294,100.24	\$0.00	\$294,100.24
	<b>Sigma Financial Corporation:</b>	<b>\$0.00</b>	<b>\$294,100.24</b>	<b>\$0.00</b>	<b>\$294,100.24</b>
		<u>\$2,140,842.69</u>	<u>\$2,326,079.34</u>	<u>\$200.00</u>	<u>\$4,467,122.03</u>



2022 SALES TAX

	Town			County			Emergency Services		
	Local	Remote	Total	Local	Remote	Total	Local	Remote	Total
January	39,205.90	9,195.92	48,401.82	11,537.52	7,277.72	18,815.24	31,712.58	10,295.36	42,007.94
February	44,146.95	12,788.01	56,934.96	18,779.24	6,835.25	25,614.49	39,338.81	12,263.74	51,602.55
March	62,963.42	18,727.85	81,691.27	15,168.99	5,753.99	20,922.98	48,829.59	15,300.16	64,129.75
April	53,190.25	7,164.49	60,354.74	21,069.45	5,470.91	26,540.36	46,409.30	7,896.61	54,305.91
May	49,313.23	9,734.40	59,047.63	23,758.13	20,226.35	43,984.48	45,666.63	18,724.25	64,390.88
June	34,642.71	7,026.64	41,669.35	6,924.72	3,221.41	10,146.13	28,575.01	7,612.23	36,187.24
July	63,306.81	7,962.66	71,269.47	15,774.55	5,873.38	21,647.93	49,422.64	8,646.96	58,069.60
August	145,662.10	17,869.99	163,532.09	19,927.27	7,016.18	26,943.45	103,486.63	15,552.84	119,039.47
September	202,938.61	14,542.52	217,481.13	23,792.59	5,981.69	29,774.28	141,697.79	12,826.79	154,524.58
October	180,370.66	12,933.86	193,304.52	27,958.85	6,176.77	34,135.62	130,197.48	11,943.37	142,140.85
November			-			-			-
December			-			-			-
<b>Total</b>	<b>875,740.64</b>	<b>117,946.34</b>	<b>993,686.98</b>	<b>184,691.31</b>	<b>73,833.65</b>	<b>258,524.96</b>	<b>665,336.46</b>	<b>121,062.31</b>	<b>786,398.77</b>

### County Sales Tax

	2017	2018	2019	2020	2021	2022 % Change	5yr. Average
January	6,799.02	4,970.71	7,799.87	6,854.79	16,723.50	18,815.24	12.51%
February	15,080.08	13,859.09	12,885.86	22,860.78	19,987.28	25,634.49	28.25%
March	10,000.08	11,861.72	11,246.33	14,595.18	16,402.87	20,922.98	27.56%
April	11,323.27	10,399.61	8,857.05	15,280.29	15,820.09	26,540.36	67.76%
May	13,990.92	16,321.32	19,708.91	12,778.47	24,773.54	43,984.48	77.55%
June	7,552.19	4,601.13	5,827.74	9,946.40	17,549.36	10,146.13	-42.19%
July	7,682.30	5,985.49	6,206.92	17,737.22	13,668.65	21,647.93	58.38%
August	13,949.50	6,568.03	13,486.95	10,921.79	32,028.49	26,943.45	-15.88%
September	21,634.93	9,579.78	22,429.05	21,745.79	30,048.75	29,774.28	-0.91%
October	16,769.39	11,057.45	13,774.16	18,726.14	29,953.36	34,135.62	13.96%
November	4,182.80	11,187.78	15,070.58	17,785.19	29,182.27		64.08%
December	4,750.60	5,273.24	7,547.72	17,476.46	19,698.95		12.72%
<b>Total</b>	125,349.48	111,665.35	144,841.14	186,708.50	265,837.11	258,544.96	42.38%

Year to Date 124,781.68 95,204.33 122,222.84 151,446.85 216,955.89 258,544.96 19.17%

**Emergency Services Sales Tax**

	2017	2018	2019	2020	2021	2022 % Change	5-Year Ave.
January	5,622.78	5,693.58	22,652.17	22,081.29	35,673.96	0.18	25,621.79
February	10,692.95	9,500.78	20,193.73	38,888.47	40,698.37	0.27	32,176.78
March	7,037.70	8,924.66	28,148.22	30,899.33	39,142.28	0.64	34,248.85
April	8,265.99	22,040.87	52,719.27	32,992.58	39,017.29	0.39	40,215.18
May	11,429.96	23,915.42	32,415.46	28,328.62	53,200.16	0.21	40,450.11
June	6,362.70	13,364.73	17,201.80	20,323.77	38,209.24	(0.05)	25,057.36
July	12,960.82	36,977.68	35,279.36	29,408.23	54,965.11	0.06	42,940.00
August	29,968.07	54,297.30	74,723.11	62,795.11	139,369.81	(0.15)	90,044.96
September	45,477.85	100,795.88	126,269.99	120,650.92	164,773.79	(0.06)	133,403.03
October	33,384.56	82,850.46	103,635.85	108,852.60	139,222.51	0.02	115,340.45
November	39,818.53	88,859.04	101,380.60	107,416.93	136,598.38	0.27	94,814.70
December	14,380.35	34,697.06	45,399.97	63,130.77	93,550.49	0.48	50,231.73
<b>Total</b>	<b>225,402.27</b>	<b>481,917.46</b>	<b>660,019.53</b>	<b>665,768.62</b>	<b>974,421.39</b>	<b>0.46</b>	<b>601,505.85</b>
Year to Date	171,203.39	358,361.36	513,238.96	495,220.92	744,272.52	0.06	786,398.77

**Town Sales Tax**

	2017	2018	2019	2020	2021	2022 % Change	5-Year Ave.	
January	15,692.10	17,803.62	17,777.51	28,417.92	40,358.55	48,401.82	0.20	30,551.88
February	27,691.72	24,144.03	26,379.98	39,259.76	45,122.36	56,934.96	0.26	38,368.22
March	18,150.71	23,836.90	33,717.73	34,763.49	46,228.85	81,691.27	0.77	44,047.65
April	21,740.67	24,868.07	75,356.86	37,422.14	46,611.62	60,354.74	0.29	48,922.69
May	31,728.94	21,945.84	32,071.64	24,839.85	60,352.89	59,047.63	(0.02)	39,651.57
June	17,898.60	17,527.63	21,650.46	22,518.84	43,589.40	41,669.35	(0.04)	29,391.14
July	44,161.00	53,182.66	50,243.72	29,239.56	74,281.24	71,269.47	(0.04)	55,643.33
August	105,922.79	80,166.62	105,875.94	90,106.11	190,977.70	163,532.09	(0.14)	126,131.69
September	160,276.49	151,431.83	179,274.96	170,982.30	233,606.46	217,481.13	(0.07)	190,555.33
October	116,768.86	121,288.07	151,774.01	155,155.28	192,817.13	193,304.52	0.00	162,867.80
November	163,456.93	130,755.88	146,395.83	153,802.89	189,389.35		0.23	156,760.18
December	52,770.79	50,151.94	64,974.75	83,368.79	129,991.56		0.56	76,251.57
<b>TOTAL</b>	<b>776,259.60</b>	<b>717,103.10</b>	<b>905,493.39</b>	<b>869,876.93</b>	<b>1,293,327.11</b>	<b>993,686.98</b>	<b>0.49</b>	<b>912,412.03</b>

Year to Date

560,031.88

536,195.28

694,122.81

632,705.25

973,946.20

993,686.98

0.02

### Lodging Tax

	2017	2018	2019	2020	2021	2022 % Change	5 yr. Average
January	35.05	126.80	885.93	3,729.44	543.94	1,034.65	47.43%
February	10,406.98	8,318.23	10,816.00	14,088.47	20,282.97	17,982.00	-12.80%
March	786.00	3,097.25	145.07	454.00	660.00	11,775.69	94.40%
April	1,543.39	2,002.98	33.00	-	1,489.56	1,091.00	-36.53%
May	13,776.57	11,375.54	17,612.98	14,069.00	30,651.70	31,766.09	3.51%
June	1,094.30	1,356.34	952.07	300.40	1,007.32	1,525.85	33.98%
July	309.00	2,702.84	170.21	573.00	11,854.90	2,241.00	-429.00%
August	10,799.07	11,477.00	14,372.43	13,978.56	57,659.81	31,076.00	-85.54%
September	5,661.40	7,956.78	2,738.12	139.00	248.50	1,473.79	83.14%
October	2,632.10	666.79	2,848.73	780.48	1,346.59		72.53%
November	38,017.00	43,574.04	47,263.00	58,396.70	76,493.41		30.99%
December	2,839.96	2,029.95	1,790.37	1,918.52	3,364.85		75.39%
<b>Total</b>	<b>87,900.82</b>	<b>94,684.54</b>	<b>99,627.91</b>	<b>108,427.57</b>	<b>205,603.55</b>	<b>99,966.07</b>	<b>89.62%</b>

Year to Date      44,411.76      48,413.76      47,725.81      47,331.87      124,398.70      99,966.07      -24.44%

**County Sales Tax (month collected)**

	2017	2018	2019			2020			2021		
			Local	Remote	Total	Local	Remote	Total	Local	Remote	Total
January	10,000.08	11,861.72	11,205.30	41.21	11,246.51	10,788.33	3,806.85	14,595.18	12,774.47	3,628.40	16,402.87
February	11,323.27	10,399.61	8,772.61	84.44	8,857.05	10,870.13	4,410.17	15,280.30	12,943.71	2,876.38	15,820.09
March	13,990.92	16,321.32	19,310.39	398.52	19,708.91	9,542.34	3,236.13	12,778.47	20,077.43	4,696.12	24,773.55
April	7,552.19	4,601.13	5,675.84	151.91	5,827.75	6,642.00	3,304.40	9,946.40	12,099.99	5,449.37	17,549.36
May	7,682.30	5,985.49	5,876.94	325.95	6,202.89	14,961.72	2,775.50	17,737.22	7,456.19	6,212.46	13,668.65
June	13,949.50	6,568.03	12,825.21	661.74	13,486.95	8,411.36	2,510.43	10,921.79	24,129.22	7,899.27	32,028.49
July	21,634.93	9,579.78	21,568.05	861.00	22,429.05	17,395.28	4,350.51	21,745.79	21,822.70	8,226.05	30,048.75
August	16,769.39	11,057.45	12,723.74	1,050.42	13,774.16	14,702.81	4,023.33	18,726.14	23,443.66	6,509.70	29,953.36
September	(4,182.80)	11,187.78	14,041.68	1,028.90	15,070.58	13,563.83	4,221.36	17,785.19	22,816.57	6,365.70	29,182.27
October	4,750.60	5,273.24	6,721.34	825.95	7,547.29	13,816.59	3,659.87	17,476.46	14,263.13	5,435.83	19,698.96
November	4,970.71	7,799.87	5,930.45	924.35	6,854.80	13,790.50	2,933.00	16,723.50	11,537.52	7,277.72	18,815.24
December	13,859.09	12,885.86	13,632.71	9,228.08	22,860.79	15,682.24	4,317.03	19,999.27	18,779.24	6,835.25	25,614.49
<b>Total</b>	122,300.18	113,521.28	138,284.26	15,582.47	153,866.73	150,167.13	43,548.58	193,715.71	202,143.83	71,412.25	273,556.08



**Emergency Services Sales Tax (month collected)**

	2017	2018	2019			2020			2021		
			Local	Remote	Total	Local	Remote	Total	Local	Remote	Total
January	7,037.70	8,924.66	27,980.65	167.86	28,148.51	26,847.59	4,051.74	30,899.33	32,447.80	6,735.19	39,182.99
February	8,265.99	22,040.87	21,749.81	30,969.48	52,719.29	26,943.46	6,049.12	32,992.58	33,038.78	6,019.09	39,057.87
March	11,429.96	23,915.42	31,606.19	809.27	32,415.46	18,988.97	4,560.71	23,549.68	43,877.86	9,322.30	53,200.16
April	6,362.70	58,262.95	16,573.10	628.71	17,201.81	14,879.87	5,443.90	20,323.77	30,509.93	7,699.31	38,209.24
May	12,960.82	36,977.68	33,423.78	1,892.28	35,316.06	24,551.07	4,857.16	29,408.23	45,019.35	9,945.76	54,965.11
June	29,968.07	54,297.30	72,152.85	2,570.26	74,723.11	56,773.64	6,471.47	63,245.11	125,792.28	13,577.53	139,369.81
July	45,477.85	100,795.88	123,864.51	2,405.48	126,269.99	110,539.66	10,111.26	120,650.92	149,173.26	15,600.53	164,773.79
August	33,384.56	82,850.46	101,317.76	3,702.92	105,020.68	98,545.37	10,307.22	108,852.59	125,932.27	13,290.24	139,222.51
September	39,818.53	88,859.04	99,005.06	2,075.54	101,080.60	98,173.46	9,243.47	107,416.93	124,672.32	11,926.06	136,598.38
October	14,380.35	34,697.06	43,619.35	1,780.63	45,399.98	55,526.63	7,604.14	63,130.77	73,062.08	20,488.41	93,550.49
November	5,693.58	22,652.17	19,732.41	2,348.89	22,081.30	30,125.87	5,585.20	35,711.07	31,712.58	10,295.36	42,007.94
December	9,500.78	30,306.85	30,176.30	8,712.17	38,888.47	33,466.13	7,274.58	40,740.71	39,338.81	12,263.74	51,602.55
<b>Total</b>	<b>224,280.90</b>	<b>564,580.34</b>	<b>621,201.77</b>	<b>58,063.49</b>	<b>679,265.26</b>	<b>595,361.72</b>	<b>81,559.97</b>	<b>676,921.69</b>	<b>854,577.32</b>	<b>137,163.52</b>	<b>991,740.84</b>

**Town Sales Tax (month collected)**

	2017		2018		2019			2020			2021	
			Local	Remote	Total	Local	Remote	Total	Local	Remote	Total	
January	18,150.71	23,836.90	33,491.06	226.94	33,718.00	32,098.08	2,665.41	34,763.49	39,091.44	7,137.41	46,228.85	
February	21,740.67	24,868.07	25,970.59	49,386.28	75,356.87	32,169.42	5,252.72	37,422.14	39,866.84	6,744.78	46,611.62	
March	31,728.94	21,945.84	31,177.43	894.21	32,071.64	20,790.69	4,049.16	24,839.85	50,131.71	10,221.18	60,352.89	
April	17,898.60	17,527.63	20,798.07	852.39	21,650.46	17,127.14	5,391.71	22,518.85	36,719.07	6,870.33	43,589.40	
May	44,161.00	53,182.66	47,514.29	2,696.78	50,211.07	24,256.22	4,983.35	29,239.57	64,579.46	9,701.78	74,281.24	
June	105,922.79	80,166.62	102,431.94	3,444.00	105,875.94	82,279.01	7,827.11	90,106.12	177,151.51	13,826.19	190,977.70	
July	160,276.49	151,431.83	176,293.44	2,981.52	179,274.96	159,181.07	11,801.24	170,982.31	216,870.04	16,736.42	233,606.46	
August	116,768.86	121,288.07	149,121.51	2,652.50	151,774.01	142,713.83	12,441.45	155,155.28	178,061.07	14,756.06	192,817.13	
September	163,456.93	130,755.88	144,109.26	2,286.57	146,395.83	143,258.72	10,544.18	153,802.90	176,672.11	12,717.24	189,389.35	
October	52,770.79	50,151.94	62,956.32	2,018.43	64,974.75	74,881.79	8,487.00	83,368.79	102,643.80	27,347.76	129,991.56	
November	17,803.62	17,777.51	25,590.15	2,827.77	28,417.92	34,363.94	5,994.61	40,358.55	39,205.90	9,195.92	48,401.82	
December	24,144.03	26,379.98	34,571.00	4,688.76	39,259.76	37,811.41	7,310.95	45,122.36	44,146.95	12,788.01	56,934.96	
<b>TOTAL</b>	<b>774,823.44</b>	<b>719,312.94</b>	<b>854,025.06</b>	<b>74,956.15</b>	<b>928,981.21</b>	<b>800,931.32</b>	<b>86,748.89</b>	<b>887,680.21</b>	<b>1,165,139.90</b>	<b>148,043.08</b>	<b>1,313,182.98</b>	

## Memorandum of Understanding for Control of Confidential Data

Pursuant to § 29-2-106(4), C.R.S., and for the purpose of obtaining from the Colorado Department of Revenue ("Department"), confidential information concerning local sales taxes collected and administered by the Department on behalf of the city/county/special district (hereafter referred to as "Jurisdiction")

of San Juan County appoints

(Name) William A. Tookey (Title) County Administrator, an employee of the Jurisdiction, to receive this confidential information. The appointee, on behalf of the Jurisdiction and on his or her own behalf, hereby agrees as follows:

**A. Safeguarding Confidential Information:**

1. To store and maintain confidential information in a secure place, physically and/or electronically.
2. To keep adequate records of what confidential information is received and the disposition thereof.
3. To restrict access to such information to persons whose duties and responsibilities require such access, and to make certain that confidential information is not disclosed to unauthorized persons.
4. The information obtained pursuant to this agreement shall be used only for the purpose of administration and enforcement of the sales and/or use tax laws of the undersigned Jurisdiction of the State of Colorado
5. To keep confidential the Jurisdiction's sales tax account number, user ID and computer password(s) issued by the Department, and to immediately provide written notification to the Department of any change in person designated in this Memorandum and/or the need for a new password for any reason.
6. To keep confidential the monthly report Web site address and the Department's local government support email address.
7. To allow the Department to review the adequacy of the safeguard measures established hereunder.
8. It is understood and agreed that if any of these safeguards are violated, the Department may refuse to furnish any additional information concerning the status of vendor's accounts and/or impose additional or alternative safeguard procedures. It is understood and agreed that violators of confidentiality statutes may be subject to criminal prosecution and removal from office.

**B. Maintaining Accurate Records:**

1. The Jurisdiction shall take an active role in identifying retailers within the boundaries, including, but not limited to, reviewing monthly Department Site and Open or Closed Accounts reports to determine whether retailers are incorrectly excluded or included in Department reports and timely advising the Department of annexations or other changes in the jurisdiction involving retailers.
2. The Jurisdiction shall contact said retailers who are not correctly identified in Department Site and Open or Closed Accounts reports to determine whether such retailers should be included or excluded on monthly reports.
3. The Jurisdiction shall timely notify the Department of corrected information or unresolved issues concerning said retailers.
4. The information obtained pursuant to this agreement shall be used only for the purpose of administration and enforcement of the sales and/or use tax laws of the undersigned jurisdiction of the State of Colorado.

Municipality or County of <p style="text-align: center;">San Juan</p>	Date <p style="text-align: center;">October 12, 2022</p>
Jurisdiction Mailing Address <p style="text-align: center;">PO Box 466, Silverton, CO 81433</p>	Appointee Phone Number <p style="text-align: center;">970-387-5766</p>
Appointee Name** <p style="text-align: center;">William A. Tookey</p>	Title <p style="text-align: center;">County Administrator</p>
Appointee Signature	Appointee Email *** <p style="text-align: center;">sanjuancounty@frontier.net</p>
Name of Chief Administrative Officer or Designee* <p style="text-align: center;">Scott Fetchenhier</p>	Title <p style="text-align: center;">Chairman</p>
Chief Administrative Officer or Designee Signature	Chief Administrative Officer or Designee Email <p style="text-align: center;">sanjuancounty@frontier.net</p>
<b>Department of Revenue Approval</b>	
By	Title <p style="text-align: center;">Deputy Executive Director</p>

\* Signature of the chief administrative officer or his/her designee who has authority to enter into contractual agreements on behalf of the jurisdiction. The person signing should be someone other than the appointee.  
 \*\* I have read the Memorandum of Understanding on Control of Confidential Data as set forth above and I promise and agree to safeguard all confidential information received from the Department of Revenue under this agreement.  
 \*\*\* Notification of matters related to the Local Government Sales Tax Information System will be sent to this email address. The User ID and Password will also be sent to this email address.

## Memorandum of Understanding for Control of Confidential Data for State Retail Marijuana Sales Tax

Pursuant to §39-28.8-203 (1)(a)(IV) and §39-21-113 (4), C.R.S., each local government upon request and for the purpose of obtaining from the Colorado Department of Revenue (Department) confidential information concerning state retail marijuana sales taxes distributed to the local government by the Department, the local government of (municipality or county name) San Juan

Appoints (Name) William A. Tookey (Title) County Administrator

an employee of the local government, to receive this confidential information. The appointee, on behalf of the local government and on his or her own behalf, hereby agrees as follows:

**A. Safeguarding Confidential Information:**

1. To store and maintain confidential information in a secure place, physically and/or electronically.
2. To keep adequate records of what confidential information is received and the disposition thereof.
3. To restrict access to such information to persons whose duties and responsibilities require such access, and to make certain that confidential information is not disclosed to unauthorized persons.
4. The information obtained pursuant to this agreement shall be used only for the purpose of administration and distribution of the state retail marijuana retail sales tax distribution to the undersigned local government of the State of Colorado.
5. To NOT divulge or make known in any way, including but not limited to, publications such as budget documents or annual reports, any information which identifies or permits the identification of the amount of sales taxes collected or paid by an individual licensed vendor.
6. To keep confidential the local government's account number, user ID and computer password(s) issued by the Department, and to immediately provide written notification to the Department of any change in person designated in this Memorandum and/or the need for a new password for any reason.
7. To keep confidential the monthly report Web site address and the Department's local government support email address.
8. To allow the Department to review the adequacy of the safeguard measures established hereunder.
9. It is understood and agreed that if any of these safeguards are violated, the Department may refuse to furnish any additional information and/or may impose additional or alternative safeguard procedures. It is understood and agreed that violators of confidentiality statutes may be subject to criminal prosecution and removal from office.

**B Maintaining Accurate Records:**

1. The local government shall take an active role in identifying retailers within the boundaries, including, but not limited to, reviewing monthly Department reports to determine whether retailers are incorrectly excluded or included in Department reports and timely advising the Department of annexations or other changes in the jurisdiction involving retailers.
2. The local government shall contact said retailers who are not correctly identified in Department reports to determine whether such retailers should be included or excluded on monthly reports.
3. The local government shall timely notify the Department of corrected information or unresolved issues concerning said retailers.

Local Government <p style="text-align: center;"><b>San Juan County</b></p>	Date <p style="text-align: center;"><b>October 12, 2022</b></p>
Local Government Mailing Address <p style="text-align: center;">PO Box 466, Silverton, CO 81433</p>	Appointee Phone Number <p style="text-align: center;">970-387-5766W</p>
Appointee Name** <p style="text-align: center;"><b>William A. Tookey</b></p>	Title <p style="text-align: center;"><b>County Administrator</b></p>
Appointee Signature	Appointee Email*** <p style="text-align: center;"><b>sanjuancounty@frontier.net</b></p>
Name of Chief Administrative Officer or Designee* <p style="text-align: center;"><b>Scott Fetchenhier</b></p>	Title <p style="text-align: center;"><b>Chairmant</b></p>
Chief Administrative Officer or Designee Signature	Chief Administrative Officer or Designee Email <p style="text-align: center;"><b>sanjuancounty@frontier.net</b></p>
<b>Department of Revenue Approval</b>	
By	Title <p style="text-align: center;"><b>Deputy Executive Director</b></p>

\* Signature of the chief administrative officer or his/her designee who has authority to enter into contractual agreements on behalf of the local government. The person signing should be someone other than the appointee.  
 \*\* I have read the Memorandum of Understanding on Control of Confidential Data as set forth above and I promise and agree to safeguard all confidential information received from the Department of Revenue under this agreement.  
 \*\*\* Notification of matters related to the State Retail Marijuana Sales Tax Information System will be sent to this email address. The User ID and Password will also be sent to this email address.

Date: October 8, 2022.  
For: October 12 Board of County Commissioners Meeting.  
From: Planning Department.  
Regarding: Summary of Recent Planning Department Work.

SAN JUAN COUNTY



PO Box 466  
Silverton, CO 81433

The Planning Department has recently been working on these County applications:

- The County staff has continued working on the Improvement Permit for the Two Proposed 11-Unit Condo Buildings, on a parcel known as “Phase 1,” located at Cascade Village PUD, on Highway 550.
- Preparation of the legal notice/staff report/packets for the October 12 County Commissioners Public Hearing review of the Improvement Permit Application for the Proposed Hawn Cabin, Log Cabin Lode, County Road 14, near Red Mountain Pass.
- Preparation of the legal notice/staff report/packets for the October 12 County Commissioners Public Hearing review of an Improvement Permit Application for the Proposed Robertson Accessory Dwelling Unit (ADU), on Tract 13, Know Your Neighbor Subdivision, near Lime Creek Road.
- Review of two adjacent incomplete applications, specifically this week was working with the applicants to advise them to document their mutual access alignment, for three mining claims along the Animas River, accessed from 10th Street at the old railroad depot building. These two adjacent proposals involve reinstallation of a proposed fence and two gates, proposed rubble/debris cleanup, and some minor proposed ground surface grading/imported fill. Other issues that will need to be evaluated for these two adjacent proposals, after their mutual access alignment is documented, are avalanche, floodplain, and continued public trail access.
- The County staff is awaiting some additional documents regarding the continued Public Hearing for a Proposed Subdivision Plat Amendment, for proposed development of Lot 1 in the Cole Ranch Subdivision.
- The County Planning Dept. has been responding to questions by email/phone regarding various County properties:
  - the Anglo Saxon Placer “group” of 12 claims on CR 110, the Gladstone Girl Lode near CR 51,
  - the Army Corps of Engineers wetlands permitting for the Greyrock North parcel on Highway 550, the County requirements for potential subdivision/annexation of claims along the Town Boundary, the County requirements for a proposed bridge to access seven proposed cabins on unknown mining claim(s) located near Grassy Gulch on CR 110, and other miscellaneous mining claims.
- The BLM Recreation Department informed the Planning Dept. by email that there will be some proposed grading occurring as of last week on Molas Pass.
- The BLM AML staff sent an email about a BLM project occurring as of last week in Placer Gulch involving the Sunbank Mine, with equipment access crossing an area recently remediated by the EPA, and including proposed helicopter usage.
- Commissioners/citizens can contact me with any questions at “[planner@sanjuancolorado.us](mailto:planner@sanjuancolorado.us)”



# Bonita Peak Mining District Update

September 2022



COLORADO  
Department of Public  
Health & Environment



<http://www.epa.gov/superfund/bonita-peak>

## Site Updates

### Howardsville/Kittimac/Eureka Tailings Investigation

The EPA conducted investigative work at the Howardsville, Kittimac, and Eureka Tailings focus areas during the month of September. This work was designed to fill data gaps from the 2021 investigation. The EPA installed approximately 10 groundwater monitoring wells, developed existing low producing wells, and sampled and slug tested new and existing wells. The EPA also collected samples from well cuttings which will be tested over the winter for amenability to amendment and stabilization.



Well Installation at Howardsville.



View of North Star Mine from US-550.

### North Star

Reclamation of the beaver/wetland area and the area between the waste rock pile and the creek is complete. The top of the pile was graded, limestone crusher fines and clean fill were added, and the final grade was established. Rehabilitation of the conveyance channel and portal repair work were also completed in September. While conducting work at North Star, maintaining historic integrity remains a priority.

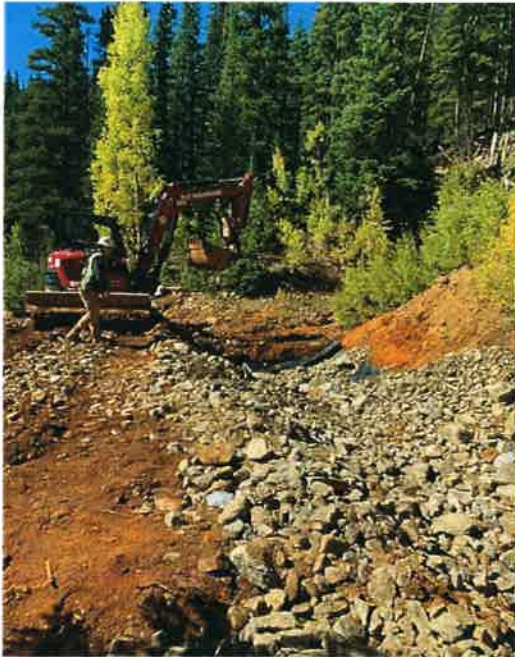


### Yukon Mine

The portal repair work at the Yukon Mine was completed during the week of September 19<sup>th</sup>.



Portal Repair Work at Yukon Mine



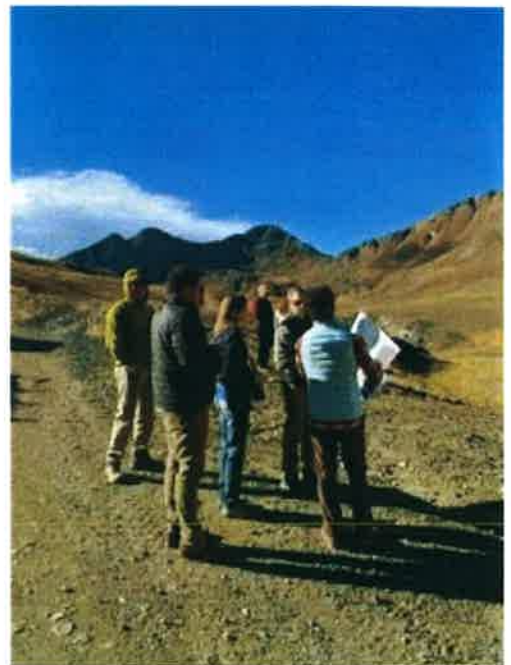
Re-sized and lined channel at Anglo Saxon

### Anglo Saxon

Upsizing of the conveyance channel was completed and mine impacted water was directed back into the improved channel.

### EPA Site Visit

The EPA team, including management from the Region 8 office, visited the Bonita Peak Mining District on September 27-28, 2022. The team met with members of the CAG, Silverton Planning Group, Silverton Town Board, and representatives from Senator Hickenlooper's and Senator Bennet's offices. The team also conducted a tour of several of the mine sites with CDPHE and BLM.



Representatives from EPA, CDPHE, and BLM discussing site activities at Lake Emma (Sep 28, 2022)





You have viewed 1 of 3 of your monthly page views for October. [Subscribe now.](#)

# Environmental Protection Agency assesses permanent mine waste repository



## Mayflower Tailings Impoundment offers large capacity for sludge created by water treatment

By Tyler Brown Herald Staff Writer

Tuesday, Oct 4, 2022 7:14 Updated Tuesday, Oct. 4, 2022 9:30



Machinery moves solids to dry them out in 2020 at the Gold King water treatment plant. (Jerry McBride/Durango Herald file)



Members of the Environmental Protection Agency Region 8 visited the Bonita Peak Mining District last week to evaluate remediation work and discuss future projects including a permanent waste repository for the mining district.

The original purpose of the visit was to show new EPA Region 8 Administrator KC Becker the Superfund sites in the mining district, however, she became sick before the trip and was unable to make the visit.

EPA Region 8 Superfund Project Manager Christina Progress said the goals for the Bonita Peak Mining Project are to improve water quality, minimize unplanned releases and stabilize source areas.

“By stabilizing source areas, we mean stabilizing them from erosion or mine waste,” she said.

Photo: Tom...





Sunnyside Gold Corp.'s four massive tailings piles along the Upper Animas River are about a mile northeast of Silverton and south of the old Mayflower Mill. The sources of metal loading in the Upper Animas remains a mystery for researchers, yet these piles of mine waste have long been held under suspicion. (Jerry McBride/Durango Herald file)



Progress discussed the current state of the Gold King Mine, which famously spilled toxic waste water into the Animas River watershed in 2015. She said since 2015, the EPA has been operating the Gladstone Water Inner Water Treatment Plant which has been treating the Gold King discharge.

The treatment plant removes metals in the mine that may impact the water. However, the treatment plant creates sludge and the plant is running out of space to manage it. Progress is evaluating the design of a long-term mine waste repository located at the Mayflower Mill tailings impoundment.

She said the community wanted the EPA to locate the waste repository in an area that has preexisting mine waste.

"The intent of the mine waste repository is a final resting place for any mine waste – both the sludge from the Gladstone Water Treatment Plant and any other mine waste through our other remediation efforts," Progress said.

Progress said the EPA hopes the repository will have enough capacity to last 100 years. Construction of the mine waste repository will start next summer.

In addition to remediation work, the EPA has been involved with ongoing litigation as a result of the Gold King Mine release. Recently, the EPA settled with Sunnyside Gold Corp. for \$90 million. The compensatory damages were divided among the EPA, U.S. Forest Service, Bureau of Land Management and the state of Colorado.

The EPA gained about \$35 million from the settlement and will use the funds for additional remediation work at Bonita Peak sites.

"This will allow us to fund the project for many years to come," Progress said.

The EPA also settled with the state of New Mexico and the Navajo Nation for around \$30 million each. Both had sued the EPA as a result of the Gold King Mine spill.

Progress said the EPA will also be conducting investigations of contamination in the Bonita Peak Mining District.



A bladder holds solids in 2020 at the Gold King water-treatment plant that have been collected from the water flowing out of the Gold King Mine. (Jerry McBride/Durango Herald file)



Next year, the EPA will investigate the Sunnyside Mine workings. The Sunnyside mine was a conglomerate of several mines that are a source of contamination in Cement Creek.

“We’re going to be drilling several wells to try and understand how water flows within those mine workings,” Progress said. “That will help us understand if we were to employ certain remedies like bulk heading, how that water would be held back or where the water might go.”

*tbrown@durangoherald.com*

You might also like



**History comes to life with new Montezuma County Heritage Museum**

Oct 4, 2022



**Monkeypox cases remain low in La Plata County**

Oct 4, 2022



**La Plata County resident dies with West Nile virus**

Oct 4, 2022

Reader Comments



Add a comment...

Facebook Comments Plugin



**News** [Local News](#) [Nation & World](#) [New Mexico](#) [Education](#)

You have viewed 1 of 3 of your monthly page views for October. [Subscribe now.](#)

# Centura Health closes urgent care center at Purgatory Resort



## Durango EMS crews anticipate increased call volume this winter

By Megan K. Olsen Herald Staff Writer

Friday, Sep 30, 2022 5:00 Updated Friday, Sep. 30, 2022 7:36



The slopes of Purgatory Resort reflect in the window of Mercy Hospital's urgent care center. Centura Health will no longer operate the urgent care center at Purgatory Resort. (Jerry McBride/Durango Herald)



Centura Health will no longer operate an urgent care center at Purgatory Resort, according to the resort's general manager.

David Rathbun declined to discuss details about the closure, but he said Purgatory will maintain a similar level of emergent care even without the urgent care.

“Although we are disappointed to lose such a strong and stable partner in Centura Mercy as the clinic and urgent care provider for North La Plata County, we will continue to maintain a similar level of emergent care for resort guests through our professional ski patrol team, Durango Fire Protection District’s Station 15 located 10 minutes from the resort base, and critical care air ambulance

Photo by Jerry McBride



A spokeswoman for Centura Health did not respond to a request for comment.



The urgent care center at Purgatory Resort sits closed Thursday. (Jerry McBride/Durango Herald)



A sign on the door of Mercy Hospital's Urgent Care at Purgatory Resort on Thursday says the facility is closed for the summer, but a ski resort official and EMS chief with Durango Fire Protection District say the clinic, operated by Centura Health, is closing permanently. (Jerry McBride/Durango Herald)



Mercy Urgent Care was staffed by nurse practitioners and emergency room nurses, with the support of emergency physicians at Mercy Hospital, according to [Purgatory's website](#). It offered digital X-rays and limited laboratory services.

Rathbun declined to release data about how often the clinic gets used and for what types of injuries or medical emergencies.

Scott Sholes, EMS chief at Durango Fire Protection District, said the clinic's closure could put a strain on EMS crews. DFPD has already begun discussing how to prepare for an influx of calls this winter.

"I'm very disappointed with this decision," Sholes said. "It looks like there's no plan to reopen, which certainly has the potential effect of increasing ambulance call volumes."

Purgatory is about as far north as Durango EMS services go, so it takes units out of service for longer periods of time, Sholes said. Basic EMS crews also don't have training in returning dislocated bones to their normal position, and transporting patients long distances with dislocated joints can add to the level of pain people

experience, he said.



“That’s a loss of care I don’t think anyone has considered,” he said.



The urgent care at Purgatory Resort sits closed Thursday. Centura Health will no longer operate the urgent care at Purgatory Resort, according to the resort and Durango Fire Protection District. (Jerry McBride/Durango Herald)



On a positive note, Centura Health’s departure from Purgatory Resort gives EMS crews more flexibility in deciding where to take patients once they are transported off the mountain and into Durango, Sholes said.

“We are now able to take orthopedic patients to Animas Surgical Hospital, which is way closer, instead of all the way over to Mercy Hospital because there will be no more provider-to-provider transfer,” he said. “So that’s something.”

*molsen@durangoherald.com*

You might also like



Microloans offer up to \$5,000 for eligible La Plata County renters

Oct 3, 2022



U.S. shift away from coal hits tribal community in New Mexico

Oct 2, 2022



October arrives with heavy rain showers; more expected this week

Oct 2, 2022

Reader Comments



Add a comment...



**Candace Ann**

Once again, Mercy continues to show their commitment to the health and safety of La Plata County residents and visitors. Not. Agree - at least they can take people to Animas Ortho.

Like · Reply · 1 · 3d



**Robert Evans**

Sounds like a great opportunity for Animas Orthopedic to re-open the clinic under a new shingle. More need for Orthopedics there no doubt.

Like · Reply · 2 · 2d



**Suzanne Evans**

Scott Sholes, you are the best. You are a rock star.

Like · Reply · 1h



**Suzanne Evans**

I guess everyone gets their karma. Enjoy yours MMC. You earned that karma.

Like · Reply · 1h

Facebook Comments Plugin