

SAN JUAN COUNTY, COLORADO
BOARD OF COMMISSIONERS MEETING AGENDA

March 10, 2021

DUE TO THE COVID 19 EMERGENCY SAN JUAN COUNTY WILL CONDUCT ALL OF ITS PUBLIC MEETING VIRTUALLY UNTIL FURTHER NOTICE. THE INFORMATION NECESSARY TO CONNECT TO THIS PUBLIC MEETING IS LISTED BELOW

CALL TO ORDER: 8:30 A.M.

OLD BUSINESS:

Consider Bills and Authorize Warrants
BOCC Regular Meeting Minutes for February 24, 2021

APPOINTMENTS:

8:40 A.M. - Becky Joyce, Jim Donovan, DeAnne Gallegos – COVID 19 Updates
9:00 A.M. - Martha Johnson, Social Services
9:30 A.M. - Sandy Wagner – Installation of Information Signs
10:00 A.M. - Public Hearing – Blake Campbell, Improvement Permit to Construct an Accessory Dwelling Unit Cabin on a 38 Acre Parcel Near Lime Creek Road.
10:30 A.M. - Julie Sams – Application to Amend the Existing Subdivision Plat, Lot 1 Cole Ranch Subdivision

1:30 P.M. - Commissioner Board Training

CORRESPONDENCE:

Ty Churchwell – Support for Good Samaritan Legislation
Nico Foster – Minnie Gulch
Jack Rudder, Colorado Board of Veteran Affairs

NEW BUSINESS:

Region 9 2020 Performance Report
Sales Tax Update
Public Comment
Commissioner and Staff Reports

OTHER:

ADJOURN: Next Regular Meeting – 6:30 PM, Wednesday March 24, 2021

Join Zoom Meeting

<https://zoom.us/j/92136473203>

Meeting ID: 921 3647 3203

One tap mobile

+16699006833,,92136473203# US (San Jose)

+12532158782,,92136473203# US (Tacoma)

Dial by your location

+1 669 900 6833 US (San Jose)

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+1 346 248 7799 US (Houston)

+1 646 876 9923 US (New York)

+1 301 715 8592 US (Germantown)

+1 312 626 6799 US (Chicago)

Meeting ID: 921 3647 3203

SAN JUAN COUNTY BOARD OF COMMISSIONER MERT MARCH 10, 2021
AND THE FOLLOWING BILLS WERE APPROVED FOR PAYMENT.

22690	REPLACED CHECK # 22574		
22691	MAISEL EXCAVATION, LLC	HOSPITAL COAL	977.50
22692	SAN JUAN SERVICES	CORONER-GIFT FUEL	78.17
22693	SW CO COUNCIL OF GOV	2021 DUES-CONTRIB	3691.00
22694	MAISEL EXCAVATION, LLC	HOSPITAL COAL	920.00
22695	CENTURY LINK	SHERIFFS BILL	428.86
22696	CENTURY LINK	SHERIFFS BILL	77.40
22697	VOID		
22698	ADVANCED ALGORITHM	YEARLY HOSTING	175.00
22699	AMAZON CAPITAL	PAST DUE (ASSESSOR)	15.58
22700	SAN JUAN FIRE AUTHORITY	REIMB FIRE DEPT	3678.26
22701	CITIZENS STATE BANK	AS-TREA PAYMENT	4428.91
22702	SAUL'S CREEK ENGINEERING	11 MONTH PAYMENT	550.00
22703	STATE OF COLORADO DPA	REG-TITLE-REN	29.40
22704	STATE OF COLORADO DPA	REG-TITLE-REN	17.27
22705	PICKLE BARREL	2 CHRISTMAS GIFTS	50.00
22706	DR JOEL, INC	TREAS COMP FIX	47.50
22707	DIGITCOM ELECTRONICS	SHERIFFS BILL	1298.73
22708	SAN JUAN AUTHORITY	REIMB MEZADINE	3391.96
DD	ABIGAIL H. ARMISTEAD	SHERIFF DEPUTY WAGES	3539.18
DD	ANTHONY D. EDWARDS	COMMUNIATIONS WAGES	2289.14
DD	ARTHUR J. DONOVAN	EPD WAGES	4450.56
DD	AUSTIN P. LASHLEY	COMMISSIONERS WAGES	2208.91
DD	BRANDI BLAKLEY	NURSE ASSISTANT WAGES	3330.77
DD	BRUCE T. CONRAD	SHERIFF WAGES	3892.37
DD	CELINA SCHREIBER	SHOVELING	184.70
DD	COLIN P. TROWER	CUSTODIAN-SHOVEL WAGES	1190.43
DD	DEANNA M. JARAMILLO	TREASURES WAGES	3289.16
DD	ERNEST F. KUHLMAN	COMMISSIONERS WAGES	1986.91
DD	HEATHER A. MACDOUGALL	DEPUTY AD-AS-TR WAGES	2182.67
DD	JOHN A. JACOBS	SHERIFF DEPUTY WAGES	1352.33
DD	JON L. GULLION	SHERIFF DEPUTY WAGES	744.48
DD	KERI METZLER	CORONER WAGES	899.32
DD	KIMBERLY A. BUCK	ASSESSOR WAGES	3316.84
DD	KRISTINA L. RHOADES	SOCIAL SERVICE WAGES	2056.92
DD	LADONNA L. JARAMILLO	COUNTY CLERK WAGES	3305.71
DD	LOIS MACKENZIE	NURSE ASSISTANT WAGES	718.18
DD	REBECCA B. JOYCE	COUNTY NURSE WAGES	3562.57
DD	REBECCA J. RHOADES	CUSTODIAN WAGES	881.34
DD	STEPHEN W. LOWRANCE	UNDERSHERIFF WAGES	3885.73
22709	EVELYN V. ARCHULETA	DEPUTY CO CLERK WAGES	1523.91
22710	FRED W. CANFIELD	SHOVELING	381.47
22711	VOID		
22712	SCOTT L. FETCHENHIER	COMMISSIONERS WAGES	2029.91

22713	TOMMY WIPF	VETS OFFICER WAGES	69.24
22714	WILLIAM A. TOOKEY	ADMINISTRATOR WAGES	4545.99
22715	CITIZENS STATE BANK	FEDERAL TAXES WITHHELD	19379.22
22716	CITIZENS STATE BANK	STATE TAXES WITHHELD	3132.00
22717	GREAT-WEST LIFE	FEB 21 GROUP RETIREMENT	6481.78
22718	CITIZENS STATE BANK	FEB 21 H S A SAVINGS	1450.00
22719	VOID		
22720	KANSAS CITY LIFE	DENTAL & LIFE INSURANCE	1054.56
22721	AMWINS GROUP	VISION INSURANCE	170.97
22722	AFLAC	INDIVIDUAL INSURANCE	177.10
22723	SILVERTON SNOWMOBILE	RENEWING MEMBERSHIP	100.00
22724	AXXIS AUDIO	BI-YEARLY HOSPITAL BILL	179.70
22725	JUAN RAMIREZ	CUSTODIAN WAGES	554.10
22726	MAISEL EXCAVATION, LLC	HOSPITAL COAL	920.00
22727	CITIZENS STATE BANK	FEB 21 PAYMENT	5558.98
22728	CITIZENS STATE BANK	FEDERAL TAXES WITHHELD	223.06
22729	CITIZENS STATE BANK	STATE TAXES WITHHELD	25.00
22730	ERNEST F. KUHLMAN	REIMB SUPPLEMENTAL	192.50
22731	PUEBLO CO INFORMATION	TREASURERS BILL	744.00
22732	JANN SMITH	AUTOPSY ASSISTANT	100.00
22733	SILVERTON AMBULANCE	FEB MONTHLY PYMT	38333.33
22734	SILVERTON AMBULANCE	SALES TAX PAYMENT	7200.00
22735	DR JOEL, INC	COMPUTER FIX	930.88
22736	SILVER SAN JUAN	FIX VAPORIZER	507.50
22737	COMPUTER INFO CONCEPT	AS-TREA PAYMENT	17050.00
22738	KLINKE & LEW CONTRACT	COURTROOM WORK	20450.00
22739	CENTURY LINK	SHERIFFS BILL	149.62
22740	ROCKY MOUNTAIN HEALTH	MEDICAL INSURANCE	16869.73
22741	COLO STATE PATROL	DISPATCHING 7-1-20/6-30-21	18453.00
22742	VISA	BILLS	2800.94
22743	WEX BANK	SHERIFF FUEL	980.60
22744	HEART SAFE LA PLATA	SHERIFFS BILL	670.00
22745	CALPHO	NURSES BILL	468.00
22746	VAXCARE	NURSES BILL	85.57
22747	ROBERT GARDINER	FEB 21 ADMIN PAY	280.00
22748	CAMERON CROWELL	FEB 21 COVID TESTING	401.70
22749	RYAN COPENHAGEN	FEB 21 COVID TESTING	374.92
22750	FRANCIE LEE	FEB 21 COVID CLEANING	382.00
22751	MASTER'S TOUCH, LLC	ASSESSOR & TREAS BILL	1508.49
22752	SILVERTON HARDWARE	SUPPLIES	652.12
22753	MOMTROSE PRINTING	CHECKS	220.00
22754	SAN MIGUEL POWER	BILLS	4187.29
22755	SILVERTON GROCERY	CUST-NURSE SUPPLIES	46.39
22756	SILVERTON LP GAS	CH-FD FILL UPS	5103.80
22757	CENTURY LINK	SHERIFFS BILL	77.40
22758	SANI SERV, LLC	TOILET ON RED MOUNTAIN	160.00
22759	POLICE & SHERIFF PRESS	SHERIFFS BILL	39.15

22760 CO DEPT OF REVENUE	2020 STATE TAXES OWED	128.00
22761 FORETHOUGHT.NET	BILLS	757.91
22762 PUEBLO CO INFORMATION	TREAS MARCH 21 BILL	744.00
22763 COLIN TROWER	FEB 21 HOSPITAL CLEANING	120.00
22764 IMAGE NET CONSULTING	SHERIFFS PRINTER USAGE	105.48
22765 SAN JUAN SERVICES	CORONER FUEL	24.00
22766 CODY BRAFORD CONST	PLOWING ANVIL APPTS	356.25
22767 LA PLATA DETENTION	FEBRUARY JAIL BILL	585.00
22768 VERIZON	SHERIFFS BILL	128.70
22769 TOWN OF SILVERTON	W/S THRE 02-28-21	4381.46
22770 VISA	COMMUNICATIONS-SOC SER	427.39
22771 APPRAISAL INSTITUTE	CONTRIBUTION	570.00
22772 DENNIS R. GOLBRICHT	FEB 21 SERVICES	3744.00
22773 MAISEL EXCAVATION, LLC	HOSPITAL -COURTH COAL	1817.00
22774 SJ FIREAUTHORITY	REIMB BILLS	6771.69
22775 SW HOUSING SOLUTIONS	CDBG GRANT REIMB	29717.30
22776 SIDWELL	ASSESSORS GIS 100.00%	1150.80
22777 SILVERTON RESTORATION	SJC COURTROOM INFRAST	6177.00
TOTAL GENERAL		314205.66

ROAD

6537	SAN JUAN SERVICES	FUEL	3752.23
DD	DAVID L. ANDREWS	ROAD FOREMAN WAGES	3594.48
DD	LOUIS K. GIRODO	ROAD OVERSEER WAGES	4413.31
DD	MICHAEL C. MAXFIELD	ROAD OPERATOR WAGES	3467.81
6538	CITIZENS STATE BANK	FEDERAL TAXES WITHHELD	4231.08
6539	CITIZENS STATE BANK	STATE TAXES WITHHELD	654.00
6540	GREAT-WEST LIFE	FEBRUARY GROUP RETIREMENT	946.08
6541	CITIZENS STATE BANK	FEBRUARY H S A SAVINGS	200.00
6542	ROCKY MT HEALTH	MEDICAL INSURANCE	2441.58
6543	KANSAS CITY LIFE	DENTAL & LIFE INSURANCE	248.20
6544	AMWINS GROUP	VISION INSURANCE	38.03
6545	AFLAC	INDIVIDUAL INSURANCE	62.01
6546	CORE MOUNTAIN ENT	AVALANCHE REDUCTION	1433.80
6547	MIDDLETON AUTO	MOUNT-BALANCE & DISPOSE	146.00
6548	BLOWN AWAY	SNOW REMOVAL 1-16/2-15 21	1350.00
6549	VISA	BILL	59.99
6550	SILVERTON HARDWARE	BILL	236.63
6551	SILVERTON LP GAS	TANK FILL UPS	1366.80
6552	ALSCO INDUSTRIAL	BILL	69.00
5663	LAWSON PRODUCTS	SUPPLIES	265.76
6554	FOUR CORNERS WELDING	KOX-MAC	45.00
6555	SAN JUAN SERVICES	FEB 21 FUEL	2062.26
6556	TOWN OF SILVERTON	W/S THRU 02-28-2021	566.01
6557	SAN MIGUEL POWER	BILLS	288.39
	TOTAL ROAD		31938.45

GENERAL	314205.66
ROAD	31938.45
TOTAL ALL FUNDS	346144.11

WERE ALLOWED SETTLEMENT IN FULL BY ORDER OF SAN JUAN COUNTY COMMISSIONERS.

SCOTT L. FETCHENHIER, CHAIRMAN

ERNEST F. KUHLMAN, COMMISSIONER

AUSTIN LASHLEY, COMMISSIONER

LADONNA L. JARAMILLO, CLERK

SAN JUAN COUNTY BOARD OF COMMISSIONERS
REGULAR MEETING WEDNESDAY, FEBRUARY 24, 2021
AT 6:30 P.M.

Call to Order: The meeting was called to order by Chairman Scott Fetchenhier. Present were Commissioners Ernest Kuhlman, Austin Lashley, County Attorney Dennis Golbricht, Planning Director Lisa Adair and Administrator William Tookey.

Commissioner Kuhlman moved to approve the minutes of February 10, 2021 as presented. Commissioner Lashley seconded the motion. The motion passed unanimous.

Katherine Jenkins, Christina Proggess and other EPA staff were present to provide the Commissioners with an update on the Bonita Peak Mining District. The BLM, Forest Service and CDPHE also provided updates.

Jimbo Buickerood of the San Juan Citizens Alliance was present to provide the Commissioners with an update on their objection to the Minnie Gulch portion of the BLM Travel Management Plan. The BLM Interior Board of Land Appeal has made a determination that San Juan County does not have standing to object to the Plan.

Commissioner Lashley moved to approve the Highway Users Tax Fund Certification as presented. Commissioner Kuhlman seconded the motion. The motion passed unanimous.

Commissioner Kuhlman moved to approve the Memorandum of Understanding with San Juan Development Association for the REDI Grant with the removal of paragraphs 5 and 13 from the submitted document. Commissioner Lashley seconded the motion. The motion passed unanimous.

Commissioner Lashley moved to approve the Memorandum of Understanding with Mountain Studies Institute for the REDI Grant with the removal of paragraphs 5 and 13 from the submitted document. Commissioner Kuhlman seconded the motion. The motion passed unanimous.

The Commissioners were presented with proposed state legislation that would prohibit Commissioners from sitting on the Board of Health. It was the consensus of the Commissioners to oppose the legislation.

Commissioner Kuhlman moved that the Board go into Executive Session as authorized by C.R.S. 24-6-402(4)(b) for the purpose of conferring with our attorney for the purposes of receiving legal advice related to ongoing litigation.

County Attorney Golbricht stated that his opinion was that the matter constitutes client attorney privileged communications and therefore no recordings or minutes will be kept.

The Board began the Executive Session at 8:45 P.M.

At 9:07 P.M. The Commissioners reconvened their regular meeting.

Having no further business, the meeting adjourned at 9:12 P.M.

Scott Fetchenhier, Chairman

Ladonna L. Jaramillo, County Clerk



Willy Tookey <admin@sanjuancolorado.us>

SJCPH Weekly update 3_2_21

2 messages

SJC CO Office of Emergency Management <pio@sanjuancolorado.us>

Tue, Mar 2, 2021 at 9:36 AM

Reply-To: pio@sanjuancolorado.us

To: administrator@sanjuancolorado.us



San Juan County, Colorado 3/2/2021

Silverton Colo: End of last week Governor Polis announced that 90% of frontline healthcare workers who have stepped up to treat their fellow Coloradans have received both doses of the vaccine. Nearly all residents and staff in long-term care facilities across the state have been vaccinated. The state expects the program to be complete and for these individuals to be fully vaccinated in the next 10 days. Colorado's efforts to move into Phase 1B3 of the vaccine prioritization plan, which now includes current agriculture and grocery store workers, Coloradans aged 60 and older, and Coloradans aged 16-59 with two or more comorbidities. Phase 1B3 will begin on Friday March 5th.

Governor Polis also announced that in late March Coloradans aged 50 and up will be able to get the vaccine, along with those in student-facing roles in higher education and other frontline workers, including restaurant and food service workers, bus drivers, U.S Postal Service workers, and manufacturing workers. The date of vaccinations for this group is set for late March, and dependent on vaccine supply.

Here is State of Colorado's web link to vaccine information: [COVID-19 vaccine | Colorado COVID-19 Updates](#)

San Juan County Colorado COVID 19 DATA:

San Juan County COVID-19 Data as of 3/1/21

Confirmed Positives to date: 42

Confirmed Outbreaks: 4 business & 2 social (no new)

COVID-19 Positives in last 7 days: 0 (no new cases in 5 weeks)

People tested in SJC in last 7 days: 27

Total People Tested since May 4, 2020: 1199

Total SJC vaccinations: 281

*This number includes SJC residents with two doses of Moderna.

SJCPH has reported Zero COVID-19 positive cases and no outbreaks for 5 weeks straight.

San Juan County is currently in YELLOW "Concern" on the Covid Dial Dashboard:
[COVID-19 dial dashboard](#) | [Colorado COVID-19 Updates](#)

There is a COVID-19 Community Survey available to our community. Please take time to fill out the survey so we can measure the financial, emotional and societal impacts on our community.

[COVID-19 Community Survey \(google.com\)](#) (ENGLISH)

[COVID-19 Community Survey \(google.com\)](#) (SPANISH)

COVID-19 Vaccines and Testing

COVID-19 vaccinations are generally scheduled for Tuesdays & Wednesdays 10am - 1pm at [1315 Snowden St., Silverton CO 81433](#)

Please use this appointment request form

Due to limited vaccine supplies, submitting the form does not guarantee you an appointment.

To request a COVID-19 test, call San Juan County Public Health: (970) 919-0130.

SJCPH continues to encourage people who are interested in receiving the vaccination and who are eligible to call public health at (970) 919-0130 or sign up online: [San Juan County Colorado Website](#).

Local pharmacies in surrounding counties are starting to carry vaccines for ages 60 and up.

COVID-19 TESTING AVAILABLE:

COVID-19 testing is available in Silverton Monday-Thursday 9am -10am daily. Call (970) 919-0130 or call/text 970-403-5237. Rapid antigen and PCR testing are available. All testing is funded through State grants.

The State of Colorado has created a comprehensive plan for vaccine rollout, and you can log on to [COVID-19 vaccine | Colorado COVID-19 Updates](#) to read about the plan. There is also a Frequently Asked Questions at [COVID-19 Vaccine frequently asked questions | Colorado COVID-19 Updates](#)

COVID-19 Vaccine Distribution Table

Phases

Eligibility starting March 5th 2021

Phase 1A

- Highest-risk health care workers and individuals:

- People who have direct contact with COVID-19 patients for 15 minutes or more over a 24-hour period.
- Long-term care facility staff and residents.

Phase 1B.1

- Coloradans age 70+, moderate-risk health care workers, and first responders:
- Health care workers with less direct contact with COVID-19 patients (e.g. home health, hospice, pharmacy, dental, etc.) and EMS.
- Firefighters, police, COVID-19 response personnel, correctional workers, and funeral services.
- People age 70 and older.

Phase 1B.

- Coloradans age 65-69, PK-12 educators and child care workers in licensed child care programs, and state government:
- Child care workers in licensed child care programs, teachers (full-time and substitutes), bus, food, counselors, administrative, safety, and other support services offered inside the school.
- Select members of the executive and judicial branches of state government (members of the legislative branch have already received access to the vaccine).
- People age 65-69.

Phase 1B.3

- People age 60 and older, frontline essential agricultural and grocery store workers, and people age 16-59 with two or more high-risk conditions:
- People age 60 and older.
- Frontline essential workers in grocery and agriculture: The intent of this classification is to prioritize current workers who cannot maintain physical distance from others at their place of employment, who work in close contact with many people, especially indoors, and in places with poor ventilation including meatpacking workers; grocery store workers; and agricultural processing workers.
- People age 16-59 with two or more of the following: Cancer (defined as patients who are currently receiving treatment or have received treatment within the last month for cancer), chronic kidney disease, COPD, diabetes mellitus (types 1 and 2), Down syndrome, specific heart conditions (heart failure, cardiomyopathies or coronary heart disease, and severe valvular/congenital heart disease), obesity (BMI of 30 or more), pregnancy, sickle cell disease, solid organ transplant, individuals with disabilities who require direct care in their home, and people with disabilities that prevent them from wearing masks.

Phase 1B.4

- People age 50 and older, frontline essential workers, people with high risk conditions, and the continuation of operations for state

government and continuity of local government:

- People age 50 and older.
- Frontline essential workers in the following fields:
 - Higher education: The intent of this classification is to prioritize current educators who work in close contact with many people especially indoors, including all student-facing staff in community colleges and colleges. Student-facing staff includes instructors, professors, vocational educators and staff providing safety and other support services offered inside the school.
 - Frontline essential workers in food/restaurant services: The intent of this classification is to prioritize current workers who cannot maintain physical distance from others at their place of employment, who work in close contact with many people, especially indoors, including but not limited to restaurant cooks, dishwashers, servers, and other workers in restaurant settings; and food pantry/assistance workers.
 - Frontline essential workers in manufacturing: The intent of this classification is to prioritize workers in manufacturing settings who cannot maintain physical distance from others at their place of employment and workers who work in close contact with many people, especially indoors and in places with poor ventilation.
 - Frontline essential workers for the US postal service: The intent of this classification is to prioritize current workers who work for the US postal service in positions where they cannot maintain physical distance at work and work in close contact with many people, especially indoors. This includes post office clerks and mail sorters.
 - Frontline essential workers in public transit and specialized transportation: The intent of this classification is to prioritize current workers in public transit and who have specialized transportation staff who cannot maintain physical distance from others at their place of employment, workers who work in close contact with many people especially indoors including but not limited to bus drivers, specialized transportation staff who work in our tunnels, specialized transportation staff such as air traffic controllers, train conductors, pilots, and airline stewards.
 - Frontline essential workers in public health: The intent of this classification is to prioritize current workers in governmental public health agencies with public facing duties and heightened risk of exposure. This includes public health and environment staff, including inspectors, engaged in direct public health service delivery.
 - Frontline essential human service workers: The intent of this classification is to prioritize current workers who cannot maintain physical distance at their place of employment in the course of their work, such as those who work in close contact with other people, especially indoors. This includes but is not limited to social workers, community health workers, those who work in client homes, in community locations, and at human services work locations, and others who provide direct or in-

- person services to elderly and disabled populations, at domestic violence advocacy organizations, or in-person resource providers.
- Faith leaders: The intent of this classification is to prioritize those who in the course of leading faith services cannot easily maintain physical distance and must come into close contact with other people indoors. This includes current faith leaders who must enter hospitals or other care facilities to perform last rites, who officiate life rites such as weddings and baptisms, and who lead worship services.
 - Frontline essential direct care providers for Coloradans experiencing homelessness: The intent of this classification is to prioritize workers who work in close contact with many other people, especially indoors, including but not limited to those who work and provide direct services in shelters for people experiencing homelessness.
 - Frontline essential journalists: The intent of this classification is to prioritize journalists who in the course of their work cannot easily maintain physical distance and come into contact with the public in the course of their work while conducting interviews or covering live events, especially indoors.
 - Continuity of local government: The intent of this classification is to ensure the continuity of county, municipal and other local governments. It includes select executives of those governments and a limited amount of essential support staff needed to provide for continuity of government, including members of the judicial branch who regularly come into contact with the public (e.g. state and county court trial judges, court administrators, public defenders and probation staff.)
 - Continuation of operations for state government: The intent of this classification is to ensure the continuity of essential state government services. It includes select staff needed to deliver essential services to the people of Colorado , as identified in the agencies' continuity of operations plans.
 - People age 16 to 49 with one of the following higher risk conditions: The intent of this classification is to vaccinate Coloradans who have risk of severe outcomes from COVID-19. It includes Coloradans with one condition listed in 1B.3 or asthma (moderate-to-severe), Cerebrovascular disease (affects blood vessels and blood supply to the brain), Cystic fibrosis, Hypertension or high blood pressure, Immunocompromised state (weakened immune system) from blood or bone marrow transplant, immune deficiencies, HIV, use of corticosteroids, or use of other immune weakening medicines, Neurologic conditions, such as dementia, Liver disease, Pulmonary fibrosis (having damaged or scarred lung tissues), Thalassemia (a type of blood disorder).
 - Adults who received a placebo during a COVID-19 vaccine clinical trial.

Phase 2

- General public:
- The intent of this classification is to vaccinate any Coloradans who were not included in earlier phases because they have lower risk of

exposure or are less likely to have severe outcomes from COVID-19. May be further segmented by age if needed.

[CLICK HERE TO READ PRESS RELEASE](#)

###

Please direct all media inquiries to San Juan County Public Information Officer DeAnne Gallegos at (970) 403-9951 or pio@sanjuancolorado.us .

To sign up for the updates from the Office of Emergency Management and San Juan County Public Health, email pio@sanjuancolorado.us to get on the email list. Make sure to sign up for emergency alerts through Nixle for San Juan County.
Text 81433 to 888-777.

Thank you.

DeAnne Gallegos
Public Information Officer
San Juan County Office of Emergency Management
pio@sanjuancolorado.us

San Juan County Colorado [Website](#)



San Juan County CO Office of Emergency Management | PO Box 184, Silverton, CO 81433

Unsubscribe administrator@sanjuancolorado.us

Customer Contact Data Notice

Sent by pio@sanjuancolorado.us powered by



Willy Tookey <admin@sanjuancolorado.us>

SJCPH Weekly update 3_9_21

2 messages

SJC CO Office of Emergency Managment <pio@sanjuancolorado.us>

Tue, Mar 9, 2021 at 12:46 PM

Reply-To: pio@sanjuancolorado.us

To: administrator@sanjuancolorado.us



San Juan County, Colorado 3/9/2021

Silverton Colo: It was exactly one year ago that the very first press release came out in San Juan County addressing the COVID positives in the state of Colorado. Looking back at the last year brings some clarity as to what our community has been through and how we really weathered the pandemic storm as a small Colorado County. We are now up to 287 San Juan County residents that have received both vaccination shots required by Moderna and last week we had one COVID positive case in over 5 weeks. As a community we stuck together, wore our masks, and did what was in the best interest for our fellow friends, neighbors and families. Although the pandemic is not over, we see the silver lining on the horizon.

The Johnson and Johnson single shot vaccine started to roll out in the State of Colorado last week and it will be a game changer for increasing our States vaccination rates. Here in San Juan County, we have gone through all those locals who were interested in receiving the vaccine and were eligible. The next round of vaccination eligibility criteria will be coming out at the end of March and will include restaurant workers and a lower age requirement.

San Juan County Colorado COVID 19 DATA:

San Juan County COVID-19 Data as of 3/8/21

Confirmed Positives to date:	43
Confirmed Outbreaks:	4 business & 2 social
COVID-19 Positives in last 7 days:	1
People tested in SJC in last 7 days:	28
Total People Tested since May 4, 2020:	1227
Total SJC vaccinations:	287

*This number includes SJC residents with two doses of Moderna.

San Juan County is currently in **YELLOW** "Concern" on the Covid Dial Dashboard:

[COVID-19 dial dashboard](#) | [Colorado COVID-19 Updat](#)

The State updated the COVID DIAL DASHBOARD Sunday March 7th.

Colorado Department of Public Health and Environment (CDPHE) released an amended public health order that provides updates to the COVID-19 dial framework on Sunday.

The new changes, effective as of March 7, include:

- A new disease incidence metric buffer allows counties to exceed their Dial level's disease incidence metric and remain in that level as long as they do not exceed the minimum of the next more restrictive Dial level's incidence rate by more than 15% for five consecutive days. This creates more predictability with Dial moves and prevents counties moving back and forth unnecessarily by ensuring a consistent trend is present first.
- Restaurants and seated indoor events (including at casinos) in Level Blue may expand capacity to 225 people without using the distancing space calculator.
- Restaurants and seated indoor events (including at casinos) in Level Yellow may expand capacity to 150 people without using the distancing space calculator.
- Seated indoor events in Level Red may calculate distancing without using the distancing space calculator.
- Last call to order alcohol at restaurants has been expanded from levels Blue to Red:
 - Level Blue: 2 a.m.
 - Level Yellow: 1 a.m.
 - Level Orange: 12 a.m.
 - Level Red: 10 p.m.
- Masks may be removed in a school classroom setting for the purpose of playing a musical instrument that cannot otherwise be played while wearing a mask, but students must continue to physically distance. Performers with masks can be 12 feet away and without masks 25 feet -- and instrument players with bell covers could be 12 feet apart and without 25.
- Performers at events who are wearing masks may be a minimum of 12 feet away from spectators. Performers not wearing masks must remain a minimum of 25 feet away.
- 5 Star-certified businesses in Level Blue may expand capacity limits by 50 people above the Level Blue caps.
- [Review the full summary of changes.](#)

Here is State of Colorado's web link to vaccine information: [COVID-19 vaccine | Colorado COVID-19 Updates](#)

COVID-19 Vaccines and Testing

COVID-19 vaccinations are generally scheduled for Tuesdays & Wednesdays 10am - 1pm at [1315 Snowden St., Silverton CO 81433](#)

Please use this [appointment request form.](#)

Due to limited vaccine supplies, submitting the form does not guarantee you an appointment.

To request a COVID-19 test, call San Juan County Public Health: (970) 919-0130.

SJCPH continues to encourage people who are interested in receiving the vaccination and who are eligible to call public health at (970) 919-0130 or sign up online: [San Juan County Colorado Website.](#)

Local pharmacies in surrounding counties are starting to carry vaccines for ages 60 and up.

COVID-19 TESTING AVAILABLE:

COVID-19 testing is available in Silverton Monday-Thursday 9am -10am daily. Call (970) 919-0130

or call/text 970-403-5237. Rapid antigen and PCR testing are available. All testing is funded through State grants.

The State of Colorado has created a comprehensive plan for vaccine rollout, and you can log on to [COVID-19 vaccine | Colorado COVID-19 Updates](#) to read about the plan. There is also a Frequently Asked Questions at [COVID-19 Vaccine frequently asked questions | Colorado COVID-19 Updates](#)

[CLICK HERE TO READ PRESS RELEASE](#)

###

Please direct all media inquiries to San Juan County Public Information Officer DeAnne Gallegos at (970) 403-9951 or pio@sanjuancolorado.us .

To sign up for the updates from the Office of Emergency Management and San Juan County Public Health, email pio@sanjuancolorado.us to get on the email list. Make sure to sign up for emergency alerts through Nixle for San Juan County.
Text 81433 to 888-777.

Thank you.

DeAnne Gallegos
Public Information Officer
San Juan County Office of Emergency Management
pio@sanjuancolorado.us

San Juan County Colorado [Website](#)



3/9/2021

San Juan County Mail - SJCPH Weekly update 3_9_21

San Juan County CO Office of Emergency Management | PO Box 184, Silverton, CO 81433

Unsubscribe administrator@sanjuancolorado.us

Customer Contact Data Notice

Sent by pio@sanjuancolorado.us powered by



Try email marketing for free today!

SJC CO Office of Emergency Management <pio@sanjuancolorado.us>

Tue, Mar 9, 2021 at 12:46 PM

Reply-To: pio@sanjuancolorado.us

To: sanjuancounty@frontier.net

[Quoted text hidden]

San Juan County CO Office of Emergency Management | PO Box 184, Silverton, CO 81433

Unsubscribe sanjuancounty@frontier.net

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Colorado's Human Services Structure

- Services are mandated by State statute
- State-supervised and County-administered
- Colorado Department of Human Services provides funding, promulgates rules, develops programs, provides training and technical assistance, and monitors and enforces compliance
- Counties have the primary responsibility to fund, staff, and administer social services programs
- Director is appointed

San Juan County

- San Juan County and La Plata County have an Intergovernmental Agreement for La Plata County to provide most social services for San Juan County residents
- San Juan County has one Eligibility Technician. La Plata County provides supervision and support to this staff member
- La Plata County staff time reports the time they spend on San Juan County matters
- La Plata County bills San Juan County on a monthly basis for staff time and for any actual expenditures

Department of Social Services Mandated Services

- Financial Resource Services:
 - Child Care Assistance
 - Food Assistance (SNAP)
 - Employment First
 - Colorado Works (TANF)
 - Adult Financial programs
 - Medical Assistance
- Child Protection
- Adult Protection
- Child Support Services
- Therapeutic and Supportive Services (Core Services)

Adult Protection

- "At-Risk Adult" = 18 years of age or older who (1) is unable to perform or obtain services necessary for health, safety, or welfare, or (2) lacks capacity to make or communicate responsible decisions

Child Protection

- Safety, Permanency, and Well-being
- Least restrictive response leads to safety plans and natural supports
- Out-of-home placement into foster care is last choice
- Reunification is primary goal

Child Support Services

- Purpose is to establish and collect support, assist persons to achieve or maintain financial independence, and reimburse the State for financial assistance provided
- Mandated for parents with children under age 18 who are receiving cash benefits; available to all

Financial Resource Services

- Child Care assistance for families whose income is <225% Federal Poverty Level up to 85% State Median Income.
- Food Assistance (SNAP) for individuals or families.
- Colorado Works (TANF) for low-income parents/caregivers with children under age 18. Basic cash grant. Work requirements. 60-month maximum.

Financial Resource Services

- Adult Financial Programs
 - Aid to the Blind
 - Old Age Pension
 - Aid to the Needy Disabled
 - Home Care Allowance
- Medical Assistance includes
 - Medicaid
 - Child Health Plan Plus
 - Long-Term Care

Therapeutic and Supportive Services

- Home-based family therapy
- Intensive family therapy
- Life skills
- Day treatment
- Sexual abuse therapy
- Mental health services
- Substance use disorder services
- Special economic assistance
- County-designed services

Human Services Funding

- State share/County share varies by program and services provided
- 100% State: Part of Child Protection; part of Core Services; all financial benefits except assistance in TANF and Child Care
- 90% State and 10% County: Adoption assistance
- 80% State and 20% County: Adult Protection; Foster Care; majority of Child Protection; majority of Financial Resource Services; majority of Core Services
- 66% State and 34% County: Child Support Services
- Maintenance of Effort: TANF (15%) and Child Care Assistance (11%)

Overall County Share

- 2014 = 12% County
- 2015 = 11% County
- 2016 = 9% County
- 2017 = 10% County
- 2018 = 11% County
- 2019 = 11% County

Other Funding Sources and Resources

- San Juan Basin Area Agency on Aging – Shoveling and Home Chore
- Community Services Block Grant – Holiday meals
- The Emergency Food Assistance Program and Commodity Supplemental Food Program
- Energy Outreach Colorado



**INTERGOVERNMENTAL AGREEMENT
BETWEEN
LA PLATA COUNTY AND SAN JUAN COUNTY
REGARDING SOCIAL SERVICES**

THIS AGREEMENT is entered into this 28 day of May, 2019, nunc pro tunc to November 23, 2018, by and between the Board of County Commissioners of La Plata County, Colorado ("La Plata County" or "La Plata County Board") and the Board of County Commissioners of San Juan County, Colorado ("San Juan County" or "San Juan County Board"), in their respective capacities and sitting as the County Boards of Social Services as defined in C.R.S. § 26-1-103(1) and § 26-1-116(l)(a).

WHEREAS, the parties to this Agreement have the authority pursuant to Article XIV, Section 18 of the Colorado Constitution and C.R.S. § 29-1-201, et. seq. to enter into intergovernmental agreements for the purpose of providing any service or performing any function which they can perform individually; and

WHEREAS, San Juan County wishes to engage the services of La Plata County to provide, and La Plata County wishes to provide, some but not all of the social services and programs serving the residents of San Juan County; and

WHEREAS, the parties to this Agreement do not intend to establish a district department of social services pursuant to C.R.S. § 26-1-115(2) and § 26-1-116; and

WHEREAS, the parties have previously operated under various intergovernmental agreements regarding the provision of social services, the most recent formulation of which is dated November 23, 2010; and

WHEREAS, by this Agreement, the parties wish to clarify and update their agreement regarding the provision of social services and to amend, supersede, and restate in their entirety all prior agreements between the parties relating to the subject matter contained in this Agreement.

NOW, THEREFORE, the parties hereby mutually agree as follows:

1. **Services.** La Plata County shall provide the social services and programs as specified on the attached Exhibit "A" for San Juan County, the terms of which are expressly incorporated herein ("Services"). In connection with the provision of Services, the Director of the La Plata County Department of Human Services ("Director") shall:
 - a. Meet with the San Juan County Board once a month to report on the provision of Services and discuss the needs of San Juan County residents with respect to social services and programs available;

Rtn: Bocc

- b. Insure that Services comply with all applicable state and federal requirements;
 - c. Prepare and submit an annual budget for the San Juan County Department of Social Services; and
 - d. Supervise all personnel of the La Plata County Department of Human Services in their provision of Services.
2. **Compensation and Method of Payment.** San Juan County shall compensate La Plata County for Services in accordance with the Compensation Rate and Fee Schedule set forth on the attached Exhibit "B," the terms of which are expressly incorporated herein. La Plata County shall make written requests for payment on a monthly basis. San Juan County shall pay the amount requested to La Plata County within thirty days of receipt of the written request from La Plata County.
3. **Term of Agreement.** The term of this Agreement shall be for a period of one year, commencing November 23, 2018, and terminating on the one-year anniversary date. This Agreement shall automatically renew for additional one-year terms unless one of the parties provides the other with written notice of termination at least sixty days prior to the end of the then-current term. Not less than forty-five days prior to the end of each then-current term, the Director and the San Juan County Board shall review the terms and conditions set forth on the Scope of Services and the Compensation Rate & Fee Schedule and may modify such terms and conditions for the ensuing term in such manner as they may agree. Such revised Scope of Services and/or Compensation Rate & Fee Schedule shall then replace the existing Exhibits to this Agreement. If no agreement regarding revised terms is reached before the expiration of the then-current term, the Agreement shall renew on all of the same terms and conditions as the previous term, subject to each party's ability to terminate the Agreement on sixty days prior written notice in accordance with Section 4 of this Agreement. The parties acknowledge that, as they are both governmental entities, any provisions of this Agreement requiring expenditures in future years shall be contingent upon sufficient appropriations being made therefore.
4. **Termination.** This Agreement may be terminated by either party with or without cause upon sixty days prior written notice to the other party. Upon termination, each party shall be released from all further liability and obligations hereunder. In addition, either party may terminate this Agreement immediately without prior notice if any of the following occurs:
- a. Either party breaches any provision of this Agreement; or
 - b. Either party commits an act of fraud, dishonesty or any other act of negligent, reckless or willful misconduct or violates any other provision of law.
5. **La Plata County Personnel.** La Plata County represents that it has, or will secure at its own expense, all personnel necessary to perform the Services. Such personnel shall not be employees of or have any contractual relationship with San Juan County and are not eligible for any benefits, unemployment compensation or any other benefits accorded to employees of San Juan County.

6. **San Juan County Personnel.** San Juan County represents that it will provide or secure all personnel necessary to facilitate the provision of the Services and provide all other social services and programs to San Juan County residents not provided by La Plata County.
7. **Obligation to Keep Information Confidential, Secure Personal Information, and Notify of Breach.** If San Juan County or La Plata County maintains, stores, processes or has access to "personal information," as defined below, in providing the Services specified in this Agreement San Juan County and La Plata County agree that it shall guard such personal information from unauthorized access, use, modification, disclosure or destruction, pursuant to C.R.S. § 24-73-102, as amended. San Juan County and La Plata County shall implement and maintain reasonable security procedures and practices appropriate to the nature of the personal information.

San Juan County and La Plata County further agree to destroy such personal information by shredding, erasing or otherwise modifying the personal information in paper or electronic documents to make the information unreadable or indecipherable through any means once the Agreement terminates, unless a different timeframe is otherwise agreed to by the parties and set forth herein.

San Juan County and La Plata County shall notify each other within three (3) business days of any security breach or other unauthorized acquisition of personal information that compromises the security, confidentiality, or integrity of such personal information. Good faith acquisition of personal information by San Juan County or La Plata County employees in performance of the Services specified in this Agreement is not a security breach; provided, that the information is not used for any other purpose or subject to further disclosure. In the case of any breach or unauthorized access, San Juan County and La Plata County shall cooperate with each other to provide information to affected persons and other third-parties, as required by this Agreement or C.R.S. § 24-73-103, as amended, and shall be solely responsible for any cost and expense related to notification depending on the nature and location of the breach. San Juan County and La Plata County shall indemnify, defend and hold each other harmless for any claims, costs and expenses, damages and liability to any person or property whatsoever, based on a breach in San Juan County or La Plata County security or other unauthorized access of personal information.

- a. **Personal Information Defined:** For purposes of this Agreement, "personal information" means the following: social security number; personal identification number; password; passcode; official state or government-issued driver's license or identification card number; government passport number; employer, student or military identification number; health insurance identification number; financial transaction device (i.e., any instrument or device whether known as a credit card, banking card, debit card, electronic fund transfer card, or guaranteed check card, or account number representing a financial account or affecting the financial interest, standing, or obligation of or to the account holder, that can be used to obtain cash, goods, property, or services or to make financial payments, but shall not include a "check", a "negotiable order of withdrawal", and a "share draft" as defined in C.R.S. § 18-5-205, as amended); biometric data generated from measurements or analysis of human body characteristics for the purpose of authenticating an individual when s/he accesses online accounts; or any information about a person's medical or mental health treatment or diagnosis by a health care professional.

8. General Provisions.

- a. This Agreement shall be binding upon the successors and assigns of the parties hereto.
- b. This Agreement shall be interpreted and enforced according to the laws of the State of Colorado.
- c. All notices, certificates or other communications hereunder shall be sufficiently given and shall be deemed given when personally delivered, or after the lapse of three business days following the mailing by registered or certified mail, postage prepaid, addressed as follows:

For La Plata County: Martha Johnson
La Plata County Director of Human Services
10 Burnett Court, First Floor
Durango, CO 81301

With copies to:
La Plata County Manager
1101 E. 2nd Avenue
Durango, CO 81301

For San Juan County: William "Willy" Tookey
County Administrator
P.O. Box 466
Silverton, CO 81433

With copies to: San Juan County Board of County Commissioners
P.O. Box 466
Silverton, CO 81433


- d. This Agreement constitutes the entire understanding and agreement among the parties and shall be binding on the parties. No amendment hereto shall be effective unless in writing and executed in like manner as the original.
- e. The parties to this Agreement do not intend to benefit any person not a party to this Agreement. No person or entity, other than the parties to this Agreement, their heirs and assigns, shall have any right, legal or equitable, to enforce any provision of this Agreement.

- f. This Agreement may be executed in two or more counterparts, each of which shall be deemed to be an original, and all of which together shall constitute but one and the same original instrument**
- g. Any term herein shall include the masculine, feminine, singular, plural, individuals, partnerships or corporations where applicable.**
- h. This Agreement's final form resulted from review and negotiations among the parties and their attorneys, and no part of this Agreement shall be construed against any party on the basis of authorship.**
- i. Each person signing this Agreement in a representative capacity expressly represents that the signatory has the subject party's authority to so sign and that the subject party will be bound by the signatory's execution of this Agreement.**

[SIGNATURE PAGE FOLLOWS]

IN WITNESS WHEREOF, the parties hereto have executed this Agreement the day and year first above written.

(SEAL)

A circular seal for La Plata County, Colorado. The outer ring contains the text "LA PLATA COUNTY" at the top and "COLORADO" at the bottom. The center features a landscape with a mountain, a river, and a tree.

Elizabeth [Signature]
Clerk to the Board

AGREED:
BOARD OF COUNTY COMMISSIONERS
LA PLATA COUNTY, COLORADO

Julie Westendorff

Julie Westendorff, Chair

(SEAL)

Madonna L. Jaramilla

Clerk to the Board

BOARD OF COUNTY COMMISSIONERS
SAN JUAN COUNTY, COLORADO

Ernest F. Kuhlman

Ernest F. Kuhlman, Chair

EXHIBIT "A"
Scope of Services

The social services and programs to be performed or provided by La Plata County for San Juan County ("Services") are as follows:

- A. La Plata County shall allow the La Plata County Director of Human Services ("Director") to also serve as the Director of Social Services for San Juan County. The parties agree that the Director shall not be obligated to spend more than 1/5 of her regular time on San Juan County Social Services' matters.
- B. La Plata County shall provide Adult Protection, Child Protection and Ongoing Child Welfare Services to at-risk adults, families and children in San Juan County. La Plata County shall also provide social services supervision as appropriate and required by state statute for San Juan County cases. For six months from the date this Agreement is entered into as indicated above, and only during said six-month period, Services shall include an assistant La Plata County Attorney who will act as Special County Attorney for San Juan County as needed.
- C. La Plata County shall provide Adult Medicaid, Adult Financial, and Colorado Works eligibility determinations and ongoing services. La Plata County shall provide training and supervision in Family Medicaid and Food Assistance for the San Juan County personnel and assure all programs are available in case of a staff vacancy. In the event the San Juan County personnel do not speak Spanish, La Plata County shall provide services to all Spanish speaking recipients. La Plata County shall provide Fraud Investigations. For six months from the date this Agreement is entered into as indicated above, and only during said six-month period, Services shall include an assistant La Plata County Attorney who will act as Special County Attorney for San Juan County as needed.
- D. La Plata County shall provide a business office manager or finance analyst who shall provide all of
San Juan County's social services-related accounting needs, which may include but are not limited to: writing social services program payroll; fund balance accounting; general ledger accounting; budgeting; financial reporting; year-end balancing and reporting; receipt of revenues; billings as may be required; and all state-required financial reporting. The business office manager or finance analyst shall provide to the San Juan County auditor all records and information required for San Juan County's annual audit.
- E. La Plata County shall provide Child Support Services as specified in Colorado state statutes, including, but not limited to: services to both public assistance (PA) and non-public assistance (NPA) clients; location of non-custodial parents; establishment of paternity, debt, support and medical support; and UIFSA (out of state case services). For six months from the date this Agreement is entered into as indicated above, and only during said six-month period, Services shall include an assistant La Plata County Attorney who will act as Special County Attorney for San Juan County as needed.

- F. La Plata County shall provide technical assistance to assure the San Juan County personnel have access to all the necessary data systems to provide services and shall replace computers per state requirements.**
- G. La Plata County shall respond to all state audit requests and case file reviews for San Juan County. The San Juan County Board shall be kept informed of all audits requests and the outcomes.**

EXHIBIT "B"
Compensation Rate

La Plata County shall be compensated by San Juan County for the provision of the Services in Exhibit A as follows: the amount shall not exceed \$65,000 irrespective of Random Moment Samples (RMS) and direct time reporting. Such reimbursement shall be inclusive of travel expenses and 50% of training/meeting costs for the assigned staff in Adult Medicaid, Adult Financial, Colorado Works, the Business Office Manager or Finance Analyst and the Director. In programs that do not have an assigned staff (Child Protection, Adult Protection, Ongoing Child Welfare Case Management, and Child Support) training costs will not be billed. Mileage will be billed at the La Plata County reimbursement rate. Travel time shall be billed when La Plata County staff is required to make trips on behalf of San Juan County and to Silverton.

La Plata County staff shall complete monthly time reporting sheets to document the services and the time spent providing services to San Juan County. All billing will occur based on actual cost of salaries, benefits, travel, training, and any operating costs, such as supplies, postage, process service fees, equipment, etc.

Refuge in the Wilderness

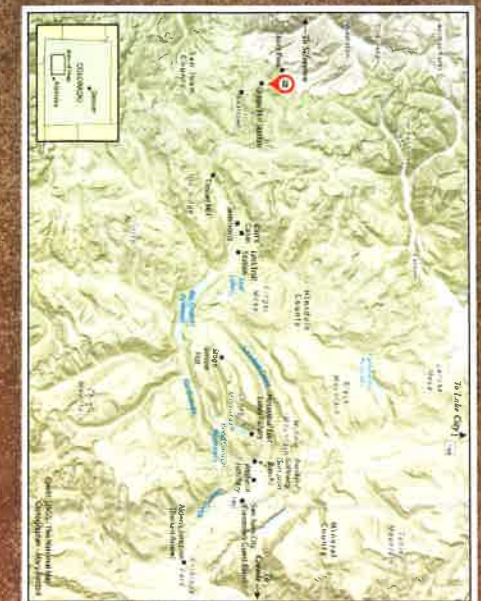
Grassy Hill Station

Remains of Grassy Hill Station, circa 1970.
(Carol Ann Wetherill collection)



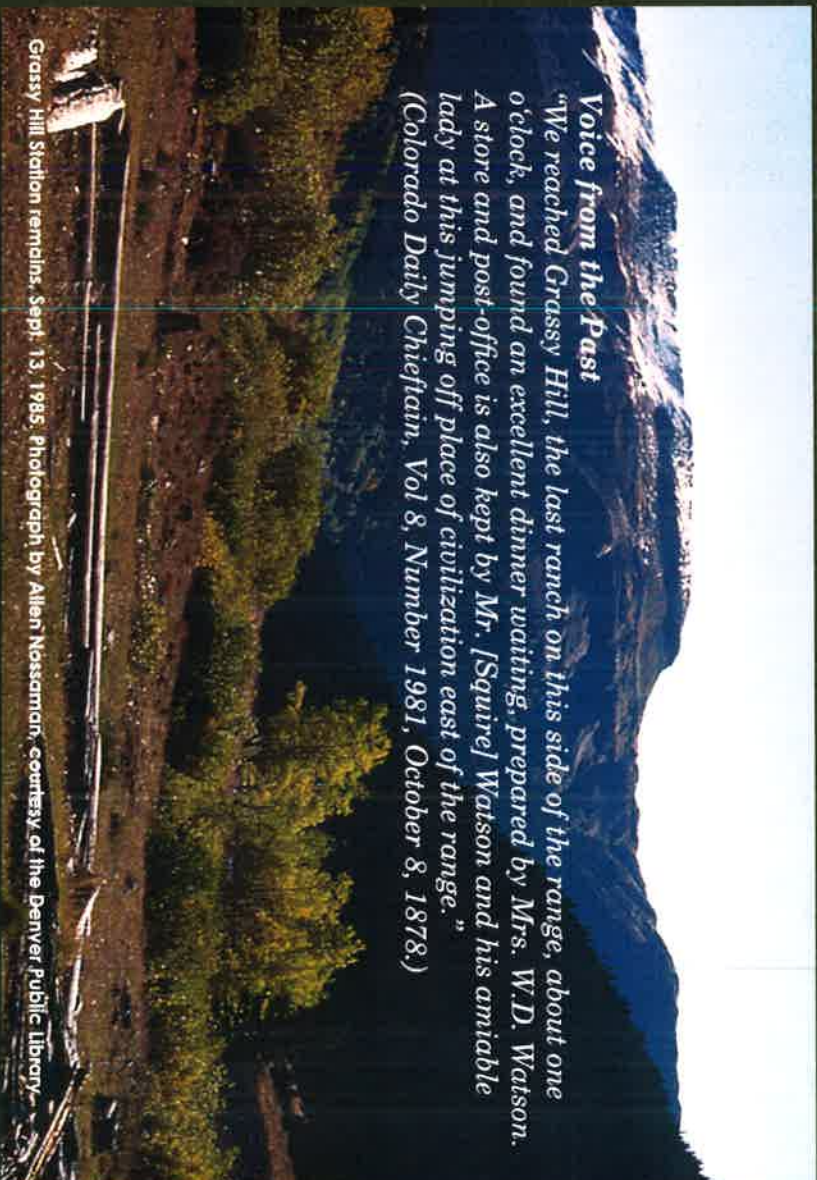
The Grassy Hill stopping place is located east of the Continental Divide, at about 11,000 feet, near the point where routes divided to either Cunningham or Stony Pass. It was the last way station prior to tackling the arduous climb over the Divide and the precipitous descent into the Silverton area.

Mailmen braving winter hardships, hungry miners, weary travelers, toiling freighters, and wandering adventurers were all hosted at Grassy Hill. The station had a liquor license, and was an official polling place for San Juan County residents that lived on the east side of the range, boasting a total of thirteen voters in the 1879 elections. The Watsons abandoned Grassy Hill in 1882. The relentless march of time, brutal elements, and vandalism have removed virtually all traces of those life-saving structures.



Voice from the Past

"We reached Grassy Hill, the last ranch on this side of the range, about one o'clock, and found an excellent dinner waiting, prepared by Mrs. W.D. Watson. A store and post-office is also kept by Mr. [Squire] Watson and his amiable lady at this jumping off place of civilization east of the range."
(Colorado Daily Chieftain, Vol 8, Number 1981, October 8, 1878.)



Grassy Hill Station remains, Sept. 13, 1985. Photograph by Allen Nossaman, courtesy of the Denver Public Library.

Historic Colorado



Government by Creative Environmental Stewardship

Rio Grande
National Preserve



Boom or Bust Silver Mining Camp Gold Run/Beartown

Voice from the Past

"Joe Vert and Wing and Sandusky are running regular stage lines between Gold Run and Creede, and come in with a full load every trip. Every day brings its quota of new settlers, and if the mines turn out half as well as they promise, it will be a camp of 3,500 before winter." (Gold Run/Silvertip, June 17, 1893.)



Bullings near the Sylvanite mine of Beartown, circa 1947. (The Denver Public Library-Western History Collection, X-5237)

In the early 1890s, Gold Run was named after the run of gold discovered at the San Juan mining camp. Although there was some gold, it was silver that made the camp profitable. Under the Sherman Silver Purchase Act of 1890, silver was in great demand and the price was high, but its repeal in 1893 cut short the mining frenzy and most miners abandoned the area. A renewed mining effort was short-lived with the passage of the Gold Standard Act in 1900 that caused the price of silver to crash (again) and silver mining (again) came to an abrupt halt.

By the 1930s, Gold Run was known as Beartown, for a genetically distinct population of majestic grizzly bears that were hunted to extinction. Maude Russell, aka "Beartown Maude," a Creede lady of means and entrepreneur extraordinaire, was instrumental in re-opening the Beartown mines. Many buildings were renovated. Mules were replaced by ore trucks, which rumbled up and down the mountain road carrying ore and supplies back and forth from Creede. The mines operated through the fall of 1941, when they closed for the winter and miners were called to duty in WWII.

Original bear artwork on loan from Kelly Ortiz.



Beartown assay shack, on left, circa 1947. (The Denver Public Library-Western History Collection, X-5239)



Beartown Hotel/Boarding House, circa 1947. (The Denver Public Library-Western History Collection, X-5241)



STAFF REPORT FOR THE BOARD OF COUNTY COMMISSIONERS

COUNTY IMPROVEMENT PERMIT APPLICATION PROPOSED CAMPBELL ACCESSORY DWELLING UNIT (ADU) CABIN

REPORT DATE: MARCH 7, 2021

MEETING DATE: MARCH 10, 2021

FROM: PLANNING DIRECTOR.

Project Description: Proposed Accessory Dwelling Unit (ADU) cabin, and associated access/utility improvements.

Project Site: 38 Acre Parcel, 66 Mill Creek Drive, near Lime Creek Road, adjacent to the Know Your Neighbor Subdivision, in San Juan County, Colorado.

Applicants/Owners: Blake Campbell, Diane Campbell, Limecreek Properties LLC.

Purpose of Review: All proposed land uses in the County are “Uses Subject to Review.” All proposed structures in San Juan County require a “County Improvement Permit Application.”

EXECUTIVE SUMMARY: This County Improvement Permit Application is for a proposed 792 square foot accessory dwelling unit (ADU) cabin, on a 38 acre parcel. The site already has one existing cabin, which is approximately 800 square feet. Also proposed are access/utility improvements, including proposed waterline, septic system, and driveway extension. It is not anticipated that the proposed ADU cabin will be visible from any County Road, Highway 550, or public trails. The site predates County “zoning” and/or is located in the Rural Residential (RR) zoning district. The RR zoning regulations specify one dwelling per parcel with a 5-acre minimum parcel size. In the RR zone, single-family dwellings, multi-family dwellings, and commercial uses are all “Uses Subject to Review,” which can be approved, denied, or conditionally approved by the County Commissioners. Adjacent to the site is the 1970s Know Your Neighbor Subdivision, with denser Urban Residential (UR) zoning, containing some subdivision “lots” with less than an acre. Approval of this proposed ADU cabin will allow for two cabins under 800 square feet (one existing, and one proposed) on a relatively large, 38 acre parcel. The Applicants will need to comply with all County regulations, including but not limited to the septic system requirements of the San Juan Basin Health Department. This appears to be a modest proposal, of a relatively small accessory cabin on a large parcel, which is located within the County’s “Development Corridor,” as described in the 2010 Master Plan, where responsible growth is to be encouraged when compared to proposed backcountry development. The Planning Director suggests that you can consider “conditional approval” of this application, with the proposed “conditions of approval” on the last page of this staff report.

Planning Commission Review: The Planning Commission reviewed this application in September 2019, and again on February 16, 2021. The Planning Commission recommended conditional approval of the proposed ADU cabin.

Access: This 38 acre site is located at the end of an existing shared, unpaved road named Mill Creek Drive, which turns into an existing shared, unpaved road named Spud Circle, which leads to the existing Lime Creek Road, also known as County Road 1, also known as United States Forest Service (USFS) Road 591.

Legal Notice: This is a Public Hearing, and the attached legal notice was published in the local newspaper on February 25.

Zoning Requirements: Rural Residential Zone Permitted Uses by Right are: activities which do not involve any construction or development of any sort (such as camping, picnicking, hiking and outdoor recreation). All other uses, including single family dwellings, multi-family dwellings, and commercial uses, are Uses Subject to Review. Rural Residential Zone requirements include: a minimum parcel or lot area of five acres, and minimum setbacks of 20 feet from public land, 30 feet from private land. All applications for individual building sites need to comply with the requirements established in Section 4-110 Design and Development Standards for All Special Uses/Improvement Permits. Since the proposed building site is located below 11,000 feet, Subsection 4-110 .20 Square Footage Limitations is not applicable.

Acreage: The over 38 acre project site exceeds the 5 acre minimum parcel acreage required for development within the Rural Residential Zone.

Site Plan: The conceptual site plan submitted in January 2021 lacked a graphic scale, and an improved conceptual site plan (with graphic scale) has been submitted as of March 4 (attached).

Compatibility: The project site is a “homestead” type of large parcel, zoned Rural Residential, and it is located adjacent to a denser Urban Residential Zone. The proposed ADU cabin appears to be relatively compatible with the surrounding and adjacent density.

Master Plan: All County applications are compared to the 2010 Master Plan for compliance. This site is located within the County’s “Development Corridor,” as described in the Master Plan, where responsible growth is to be encouraged, when compared to backcountry development. Therefore, this application appears to conform to the goals specified in the 2010 Master Plan.

Density: In the Rural Residential Zone, the specified density in the County regulations is “one unit per parcel.” The project site already has one existing cabin, of approximate size 800 square feet. The proposed ADU cabin is approximately 792 square feet. This proposal would cause the over 38 acre parcel to have a density of two small dwelling units. The County regulations state that “All improvement permits for single-family residential, if approved, shall allow for a maximum density of one unit/parcel.” In 2019, the Planning Commission discussed that the County regulations state “The County reserves the authority to modify these standards for those proposals where the impact of development or land use under less restrictive minimums is deemed inconsequential, or where the minimums are deemed inappropriate for the proposed use.” Approving this application will allow for a total of two small cabins on 38 acres, with a density of two dwelling units on one parcel, with approximately 19 acres of land per cabin.

Access Easement: One of the access easement agreements notes that “no business, commercial, or high density dwelling units will be constructed,” and the easement limits the maximum future site use as “subdivide the parcel into more than four parcels without written consent.”

Visibility: It appears that the proposed ADU cabin would be not visible from the Highway, nor from Lime Creek Road, because of the dense tree cover, distance, and hilly terrain.

Hazards: The applicant submitted overlaid vicinity/site plans with the County Avalanche Hazard Map, and the County Geohazards Map, and there appears to be no significant/notable known hazards, at the proposed ADU cabin location.

Water: Water for domestic use for the proposed ADU cabin appears to be available at the site, including existing and proposed water rights, and proposed extension of a water line, from an existing on-site spring, currently being used at the site/existing cabin for domestic water.

Septic System: A new, proposed septic system will serve the proposed ADU cabin. Approval of a County Improvement Permit Application is contingent on the final approval of the septic system design and construction by the local regulatory agency, the San Juan Basin Health Department. The Certificate of Occupancy (C.O.) for a new structure is also contingent on San Juan Basin Health Department's final approval of the proposed septic system.

Wetlands: The presence of spring(s) and creeks on this 38 acre parcel, and off-site in the Lime Creek/Mill Creek area, indicates that wetlands could be present, in some areas, on this relatively large project site. The proposed cabin footprint, proposed driveway extension, proposed underground utility extension(s), and the proposed septic system area will need to be evaluated by the Army Corps of Engineers, before any grading/construction of the proposed improvements. The required setback for improvements in the County regulations, from wetlands, waterways, and fens, is 30 to 40 feet. San Juan Basin Health Department septic system setbacks from waterways and wetlands exceed the County's minimum setbacks. County Improvement Permit Application approvals are contingent on compliance with all State and Federal regulations. Therefore, before any grading or construction, the County will need a letter of approval (or a permit/authorization) from the Army Corps of Engineers.

Historic Structures: No historic structures or relics are known to exist at the project site. If historic structures or relics are known to be present by the Applicants, or are unexpectedly encountered during the proposed grading/construction, the work would need to cease, to allow for an on-site evaluation by the County Historic Impact Review Committee.

Adjacent Land Owners: The adjacent land owners (who own private land within 1500 feet of the project site) were notified by a letter (attached), using the envelopes provided by the Applicants. At the time of Planning Commission review in February 2021, one email had been received, from an adjacent land owner, Carrie Cline, and to paraphrase, it states no opposition to the proposed ADU cabin, as long as the proposed improvements comply with all applicable regulations. Three adjacent land owner notification letters/envelopes were "returned to sender" to Town Hall in the past few weeks. Those adjacent land owners were recontacted, through a new adjacent land owner letter, and by email. To date, additional neighbors who responded are the following: Mr. McCormack and Mr. Murray both oppose this application, Mr. Wise replied and to date has not expressed opposition. Please see the attached emails from the responding adjacent land owners. Previous applications for this site had significant adjacent land owner opposition; however those previous applications included a proposed Vacation Rental use, or a proposed tiny home on wheels RV Park, and those two land uses are no longer proposed.

County Road & Bridge Comments: There is no work proposed at or near existing Lime Creek Road (County Road 1). That is the closest County Road which vehicles use to access this site. In the past, there were more potentially-impactful land uses proposed for this site (none of which came

to fruition), and at that time I believe the County Road & Bridge Supervisor had no major concerns. It is notable that one of the adjacent land owners (attached comments) has raised a potential safety concern with an existing creek crossing/culvert, and that access issue needs to be discussed with the County Road & Bridge Department staff.

Forest Service: It appears that Lime Creek Road is a “shared” road, which may therefore be under the joint jurisdiction of both the County and the United States Forest Service (USFS). Lime Creek Road is County Road 1, while all or parts of it are also known as Forest Service Road 391. At the time of the Planning Commission review in February 2021, a copy of this application was emailed to Lew Sovocool of the USFS local office. He sent an email response to me with (paraphrasing) no major concerns. It is notable that all of the proposed improvements are located rather far away from Lime Creek Road (CR1/USFS 391), no Lime Creek Road improvements are proposed, and that the potential road/traffic impact of the proposed ADU cabin is expected to be relatively minimal.

Vacation Rental: There is no Vacation Rental use proposed by the Applicants at this time. A previous application for this site had included a proposed Vacation Rental use, which was not approved by the County. A proposed Vacation Rental in San Juan County requires submittal of a Permit Application, to be reviewed by the County Staff and Commissioners. The County has a “cap” on Vacation Rentals in the Mountain Zoning District (mining claims), but the County has no “cap” on Vacation Rentals in the other zones.

County Commissioner Options: The County Commissioners can grant conditional approval of, deny, or “table” this County Improvement Permit Application. If denied, then a potential reason would be that proposed development density in the Rural Residential Zoning District is specified as one dwelling unit per parcel (please see attached one page excerpt of the County regulations). If the County Commissioners are unable to make a decision, because there is a critical piece of information missing, then you may choose to “table” the application, and it would be advisable to specify what you need the Applicants to submit, in order to make a decision. If the Board of County Commissioners chooses to recommend “conditional approval,” then there are proposed conditions of approval for you to consider below.

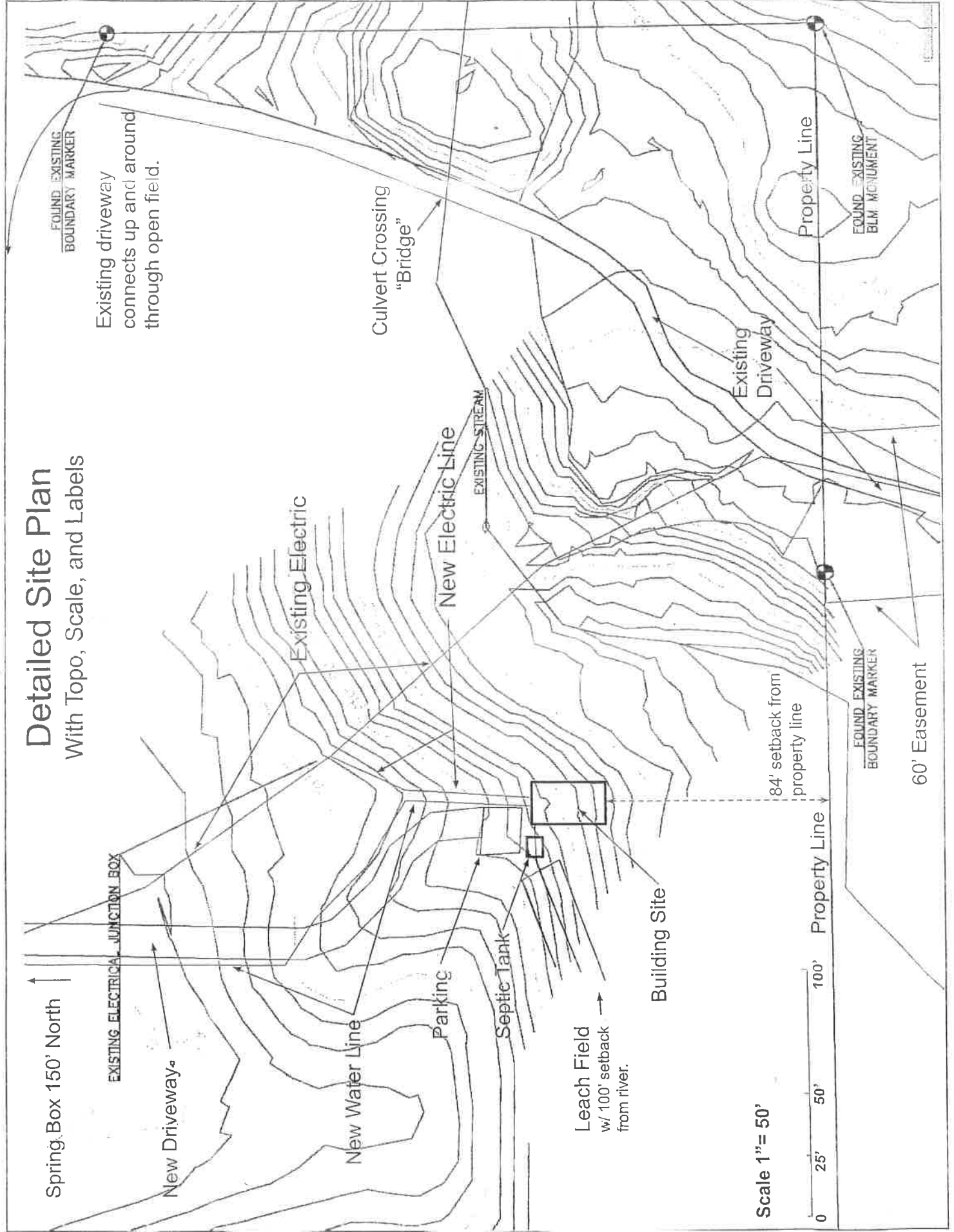
Staff Recommendation: The Planning Director recommends that the County Commissioners can conditionally approve this County Improvement Permit Application. The County regulations specify a density of one unit per parcel. However, “multiple-family ... may be permitted,” on parcels of only five acres within Rural Residential, whereas this project site is 38 acres. Additionally, this site is within the County’s Development Corridor (as described in the 2010 Master Plan), where responsible growth is to be encouraged in comparison to proposed development in the backcountry. The Planning Commission agreed with this Staff recommendation, and they recommended conditional approval of this proposed ADU cabin in September 2019, and in February 2021.

Proposed Conditions of Approval:

1. Proposed Cabin: This approval is for one accessory dwelling unit (ADU) cabin, of approximate size 792 square feet.
2. Access & Utility Improvements: This approval also includes the associated proposed access and utility improvements.

3. Vacation Rental: A Vacation Rental is not part of this application, and is not approved.
4. Historic Resources: If evidence of historic structures, sites or relics are identified, those historic resources shall be evaluated by a site visit of the Historic Impact Review Committee.
5. Building Materials: The proposed cabin (and any solar panels) shall be constructed of non-reflective materials, and all building materials/colors shall be selected in order to blend with the adjacent surrounding natural terrain/vegetation, to minimize visual impacts.
6. Septic System: The Applicant is to complete the application process with the San Juan Basin Health Department (SJBH) to develop a set of plans for an on-site wastewater treatment system that complies with the applicable regulations. Health Department septic system design approval is required prior to the issuance of a County building permit. Additionally the septic system design shall be approved prior to placement of any foundation concrete or water system infrastructure.
7. Water Supply: Applicant is to complete the water rights filing process with the Water Court, and shall comply with the applicable regulations. Since domestic water will be provided from an on-site source, Applicant will not be required to enroll with the Town of Silverton for water billing.
8. Trash: Trash will be stored in an enclosed wildlife/bear-proof space. Applicant is/is not to be placed on the Town of Silverton's billing, for transfer station services prior to issuance of a County building permit. (The Planning Commission recommended exempting the Applicant from payment of Town refuse billing).
9. Heating: Although a woodstove is not proposed at this time, any proposed solid fuel burning/wood stove installed at this site shall be of the type approved by the Environmental Protection Agency (EPA), and shall be equipped with an approved chimney cap or spark arrestor, to minimize the risk of wildfire.
10. Emergency Services: Emergency services may not be readily available, and may not be available at all, especially when the Highway, County Road, and/or the site access roads are snow-covered. The County approval of this Improvement Permit Application is contingent on approval from the Silverton-San Juan County and Durango Fire and Rescue Authorities.
11. Lighting: All proposed exterior lighting on the project site shall be the minimum amount necessary for safety, and shall comply with the County's "dark sky" regulations.
12. Site Visit: The County Staff may visit the site at any time, and if conditions are found to differ from what is described in the application and this report, then additional requirements may be added. At any time, the Applicant may discuss those proposed staff requirements with the Board of County Commissioners.
13. Survey: A Survey Plat, stamped and signed by a Colorado Licensed Surveyor, for the project site, shall be filed at the San Juan County Courthouse, prior to proposed grading/construction.
14. Wetlands: No grading or construction shall occur at the site, without prior submittal, by the Applicant to the County, of a clearance letter or a permit, from the Army Corps of Engineers.

15. County Road & Bridge Dept: The Applicant shall comply with the requirements of the County Road and Bridge Dept. No work is proposed or approved along Lime Creek Road (County Road 1) at this time. No comments/requirements from the Road & Bridge Dept. about this application have been submitted to date. The Applicant may discuss any forthcoming Road & Bridge Dept. requirements with the Board of County Commissioners.
16. Staging: All construction vehicles, trailers, supplies, building materials, fill, shall be located entirely on the project site. Lime Creek Road (County Road 1) shall remain open to vehicular traffic.
17. Process: After review of this Application by the Board of County Commissioners, the Applicant **does/does not** need to submit to the County, a "Combined Preliminary-Final Plan" Improvement Permit Application, to be reviewed by the Planning Commission, and the Board of County Commissioners. (The Planning Commission discussed that the Commissioners may consider allowing an abbreviated review process for this application).
18. Approval: Any other future uses or structures not described herein require separate permits from San Juan County, and are hereby not approved as part of this Permit.
19. Trees: No mention of tree clearing was noted in the application. Tree clearing which may affect the visibility of the proposed structure, as viewed from any nearby County Roads, the Highway, or any public trails, shall be flagged for a County staff site visit, before tree clearing occurs.
20. UNCC: Prior to any grading, the Applicant shall contact the Utility Notification Center of Colorado for the required utility locates.
21. Drainage: The design and construction of the proposed road grading, cabin, and associated improvements shall address drainage, erosion control, stormwater management, and water quality protection. A State stormwater management permit and plan shall be submitted to the State, and/or kept in the heavy equipment/on site during construction (dependent on the currently unknown acreage of proposed disturbance), and in accordance with the current State regulations.
22. Notification: The Applicant shall notify San Juan County a minimum of 48 hours before any grading/excavation.
23. Filed Conditions: The final version of this list of Conditions of Approval shall be signed by the Applicant in the presence of a Notary Public, and filed at the San Juan County Colorado Clerk and Recorder Office.
24. Violations: Violation of the County, State, or Federal regulations may cause this County permit to be rescinded by the Board of County Commissioners. If regulations differ the most stringent shall apply.
25. *Reserved for other Conditions of Approval that the County Commissioners would like to add.*



Detailed Site Plan

With Topo, Scale, and Labels

FOUND EXISTING BOUNDARY MARKER
Existing driveway connects up and around through open field.

Culvert Crossing "Bridge"

Property Line

FOUND EXISTING BLM MONUMENT

Existing Driveway

New Electric Line

EXISTING STREAM

Existing Electric

FOUND EXISTING BOUNDARY MARKER

60' Easement

84' setback from property line

Spring Box 150' North

EXISTING ELECTRICAL JUNCTION BOX

New Driveway

New Water Line

Parking

Septic Tank

Leach Field w/ 100' setback from river.

Building Site

Scale 1" = 50'

0 25' 50' 100' Property Line

mons shall be complete on the day from the Clerk of the Court. If you filing within 35 days after the date inst you by the Court for the relief on to quiet the title of the Plaintiffs more particularly described as follows: Idaho Mining Claim Mineral Survey 2514, Animas Mining District, San Juan County, Colorado. Anesi Law Firm, Frank J. Anesi, Reg. 1365, Attorney for Plaintiffs, 835 E. Second Ave, #220, Durango, Colorado 81301, 970-247-9246, frank_15@fjanesi.com

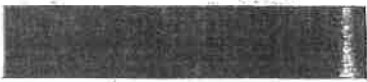
PUBLIC & LEGAL NOTICES

PUBLIC HEARING

Notice is hereby given to the members of the general public that the San Juan County, Colorado, Board of County Commissioners will hold a Public Hearing at the San Juan County Courthouse, 1557 Greene St., Silverton, CO, at 10:00 AM on Wednesday, March 10, 2021, by phone/Zoom video-conference, to receive public comment on a County Land Use Permit Application for a Proposed Accessory Dwelling Unit Cabin on a 38 acre parcel accessed via Lime Creek Road (County Road 1), in San Juan County, CO. The Applicant is Blake Campbell. The purpose of the Application is to request approval of a proposed 792 sq. ft. secondary residential cabin.

NOTICE is further given that all persons may present oral/written testimony regarding this Application prior to/during the Public Hearing. Comments may be made by phone and/or video conference. Zoom call-in information is on the County website and on the meeting agenda. Comments may be sent by phone, email, mail, or delivery to Planning Director, Town Hall, Lisa Adair, PO Box 250, Silverton, CO 81433. Interested persons may contact the Planning Director (970) 946-9408 (ladair@silverton.co.us) with any questions or comments about the Application.

Published in the Silverton Standard & the Miner: February 25, 2021.



issued for said real estate to Scott Fetchenhier at 9:00 a.m. on the 21st day of May, A.D. 2021, unless the same has been redeemed. Said property may be redeemed from said sale at any time prior to the actual execution of said Treasurer's Deed.

Witness my hand this 21st day of January 2021.

Deanna M. Jaramillo
County Treasurer of San Juan County

PUBLIC & LEGAL NOTICES

PUBLIC HEARING

NOTICE is hereby given that the Town of Silverton Board of Trustees will hold a Public Hearing in Silverton CO, at 7:15 PM on Monday March 08, 2021, by phone/video conference, to receive public comment on a Rezoning Application submitted by Kristin Brown. The purpose of the application is: A proposed rezoning to allow for a proposed multi family structure; Lots 13-15 Block 75, Reese & 5th Streets, Silverton.

NOTICE is further given that all persons may present written/oral testimony regarding this Application prior to/during the Public Hearing. The Application, meeting agendas, and virtual meeting instructions are posted on the Town website. Town Board Zoom Meeting ID Number is 886 3748 7127. Citizen comments may be sent by email, mail, phone, or hand-delivered to: Town Hall, 1360 Greene Street, PO Box 250, Silverton, CO 81433. Contact Planning Director Lisa Adair (970) 946-9408 (ladair@silverton.co.us) with any questions/comments about the Application.

Published in the Silverton Standard & the Miner: February 25, 2021.

.2 RURAL RESIDENTIAL ZONING DISTRICT INTENT

The intent of the Rural Residential Zoning District is to allow single-family residential use on larger tracts of rural land with individual on-site sewer and water services and good roadway access.

.3 URBAN RESIDENTIAL ZONING DISTRICT INTENT

The intent of the Urban Residential Zoning District is to permit smaller-lot subdivisions, lower density multi-family units and limited commercial businesses with approved sewer and water systems where appropriate near an existing town, resort or similar development.

.2 RURAL RESIDENTIAL ZONING DISTRICT USES

Within the Rural Residential Zone, only activities which do not involve any construction or development of any sort (such as camping, picnicking, hiking, and outdoor recreation) are uses by right. Other uses and activities including **single-family dwellings, multiple family dwellings, and commercial businesses are uses subject to review and may be permitted within this zone.** Industrial uses, including mining, milling and manufacturing are not allowed in this zone unless approved as a conditional use pursuant to Section 1-108. Special activities and uses as defined in Chapter 5 of this Code are subject to the review process and additional regulations described therein.

.3 THE URBAN RESIDENTIAL ZONING DISTRICT USES

Within the Urban Residential Zone, only activities which do not involve any construction or development of any sort (such as camping, picnicking, hiking, and outdoor recreation) are permitted as uses by right. Other activities including single-family dwellings, multiple-family dwellings, and limited commercial businesses are uses subject to review and may be permitted within this zone. Industrial uses, including mining, milling and manufacturing, are not be permitted in this zone unless approved as a conditional use as set forth in Section 1-108. Special activities and uses as defined in Chapter 5 of this Code are subject to the review process and additional regulations described therein.

.2 RURAL RESIDENTIAL ZONING DISTRICT STANDARDS

- (a) Size. Minimum parcel or lot area: five (5) acres.
- (b) Density. 1 unit/parcel.
- (c) Setbacks. Minimum setbacks: twenty (20) feet from property lines adjacent to public lands; and thirty (30) feet from property lines adjacent to private lands.

.3 URBAN RESIDENTIAL ZONING DISTRICT STANDARDS

- (a) Size. Minimum parcel or lot area: 6,000 square feet.
- (b) Setbacks. Minimum setback: ten (10) feet from the property lines.
The County reserves the authority to modify these standards for those proposals where the impact of development or land use under less restrictive minimums is deemed inconsequential, or where the minimums are deemed inappropriate for the proposed use.



Town of
Silverton

PO Box 250
Silverton, CO 81433



SAN JUAN COUNTY

PO Box 466
Silverton, CO 81433

February 3, 2021

Dear Silverton/San Juan County Colorado Property Owner:

The Town/County Planning Department, in Silverton, San Juan County, Colorado, has received **two applications**. Private property that you own is located close to one of the project sites.

You have been identified as an Adjacent Land Owner.

The application that is checked below involves a parcel close to your land. These two applications will be reviewed by the San Juan Regional Planning Commission at 7 PM on **Tuesday February 16**. Due to COVID-19 restrictions, the meeting will be virtual, on free Zoom software, accessible by phone and computer, and the meeting is open to the public.

The Planning Commission Zoom "Meeting ID Number" is: 921 3647 3203.

(1) Applicant **Kirstin Brown has submitted a Town Use Subject to Review Application**, for a Proposed Rezoning, on Lot 5 of the Scarborough Subdivision, formerly known as Lots 13-15 Block 75, located at the corner of Reese and 5th Streets, in Silverton. The purpose of the application is to request a rezoning (from R1 to R2) to allow for a proposed multi-family structure. The Brown Application can be viewed on the Town of Silverton Colorado government website under: Planning Department, Pending Applications.

✓ (2) Applicant **Blake Campbell has submitted a County Improvement Permit Application**, for a Proposed Accessory Cabin, on an approximately 38-acre parcel, located on Mill Creek Drive, between the Mill Creek Estates Subdivision and the Know Your Neighbor Subdivision, near Lime Creek Road (County Road 1), in southern San Juan County, Colorado. The purpose of the application is to request approval of a proposed cabin. I see no indication of any proposed vacation rental use or proposed commercial use. The Campbell Application can be viewed on the San Juan County Colorado government website, under: Building & Planning, Proposed Additions.

The Planning Commission will review these two applications on February 16. Adjacent landowners and any citizens may submit written and/or verbal comments to the Planning Director and/or Planning Commission before and/or during the meeting. The Planning Commission is a Town/County "advisory board," which makes "recommendations" to the Town Board and the County Commissioners. The Planning Commission will ask for and carefully consider any public comments during their meeting, and you can speak if you wish. The final decision on these two applications will be made by those boards at a later date (probably in March).



Town of
Silverton

PO Box 250
Silverton, CO 81433



SAN JUAN COUNTY

PO Box 466
Silverton, CO 81433

You can feel free to comment on these applications before or during the meeting. If possible, the Planning Department preference is that you email your written comments before the meeting, so your email can be printed and placed directly into the Planning Commission packets. You are under no obligation to reply to this letter.

Some adjacent land owners do not have access to the internet, or simply prefer in person communication. It is common for adjacent land owners to have some questions about how to use Zoom software. Please feel free to contact me if you have questions, using any of the methods listed below.

Thank you,

Lisa M. Adair PE
Town & County Planning Director
Town of Silverton & San Juan County Colorado

Work cell phone number	(970) 946-9408
Town Hall landline	(970) 387-5522
Home landline	(970) 387-0500
Town/County work email address (for Lisa Adair)	ladair@silverton.co.us
Home email address	mackie@gobrainstorm.net
Hand-deliver any written comments to	Front desk at Town Hall, 1360 Greene Street in Silverton.
Mail any written comments to	Town of Silverton, PO Box 250, Silverton, CO 81433.
Town Planning Dept. Assistant (Nathan Baxter)	NBaxter@silverton.co.us (970) 387-5522 ext. 0

Lisa Adair

From: Carrie Cline <cc@knowyourneighbors.com>
Sent: Wednesday, February 10, 2021 11:02 AM
To: Lisa Adair
Subject: proposed cabin mill creek

lisa,

thank you for sending san juan county planning information to us. our position is that if the campbell's are seeking to build an additional home on their 38 acres they have the ability to go through the subdivision process in place with san juan county. with all subdivision and all building requirements met; adequate crawl spaces and uniform building codes, appropriation of adequate water and sewer per subdivision requirements, we do not see this to be any problem.

we will, most-likely, not participate in a public zoom meeting on this application.

respectfully,
carrie cline - trustee
paul o and ruth h cline trust
lot 6, know your neighbors



AnvilGraphics HgP

39 Lake Purgatory Drive Durango, Colorado 81301

970.247.5676 studio/cell

Second-generation, lifetime veteran of the offset printing & graphics industry.

Design, illustration, printing, education & training. Adobe Certified GATF-trained G7 capable.

From: Sovocool, Lew - FS
Sent: Monday, February 15, 2021 6:39 AM
To: Lisa Adair ladair@silverton.co.us
Subject: Mining claims and title companies

Hi Lisa,
Thanks for sending over the Feb 16 Planning Commission meeting packet.

We don't foresee any issues with Blake's current proposal to construct an ADU on his mother's property with access through the Know Your Neighbor subdivision.

Thanks!
Lew

[Forest Service Shield]
Lew Sovocool
Lands & Realty Specialist
Forest Service
San Juan National Forest
Columbine Ranger District
O: 970-884-1433 (teleworking)
m: 970-403-4902
lewis.sovocool@usda.gov<<mailto:lewis.sovocool@usda.gov>>
367 S. Pearl Street
Bayfield, CO 81122

Lisa Adair

From: captco@aol.com **TIM MURRAY**
Sent: Thursday, February 18, 2021 11:04 AM
To: Lisa Adair
Subject: Blair Campbell Accessory Cabin

Hi Lisa,

I did not get your notice until today - I am a bit confused as to why you did not email me....?

I am on record as being **opposed** to any more than one unit being on that road - that was the deal for the easement. This directly impacts my property and most of the whole subdivision. I **DO NOT WANT ADDITIONAL TRAFFIC**.

In addition to that, I have been assured by the county in writing that any permits for anything at all on the Campbell property would only be issued once the illegal and dangerous causeway across Potato Creek is replaced by a proper bridge or something safe and sane and that the damage caused to Potato Creek by the flooding caused by the causeway is repaired. I believe that the causeway is again plugged up and in danger of blowing out. There is a huge area of National Forest that has drowned trees and is full of silt. The last time the causeway was repaired the Campbell's took material directly out of the beds of both Potato and Mill Creek without Army Corps of Engineer Permits and to the scenic and ecological detriment of both creeks.

I hope that you are all well.

Thank you,

Tim

Lisa Adair

From: Boris Wise <boriswise@gmail.com>
Sent: Monday, February 22, 2021 1:13 AM
To: Lisa Adair; Lisa Adair
Cc: Eva MolinWesterholm
Subject: Re: Proposed Campbell ADU Cabin near Lime Creek Road

Thank you Lisa for sending us this email.

I am not sure why your letter was returned to sender?

I need to follow up on this , Did you send to 47 Quarry Court Durango, Co 81301 or 60 Mill Creek Dr ?

Eva and I will review the Campbell's proposal and get back to you soon.

Thank you again for reaching out,
Boris Wise and Eva Westerholm

On Feb 22, 2021, at 9:08 AM, Boris Wise <boriswise@gmail.com> wrote:

Boris Wise

Begin forwarded message:

From: Lisa Adair <ladair@silverton.co.us>
Date: February 22, 2021 at 1:03:15 AM GMT+1
To: Martin Emery <MEmer@chisholmenergy.com>, boris wise <boriswise@gmail.com>, ROBERT M MCCORMACK <capt81301@msn.com>
Subject: Proposed Campbell ADU Cabin near Lime Creek Road



Town of
Silverton

PO Box 250
Silverton, CO 81433



SAN JUAN COUNTY

PO Box 466
Silverton CO 81433

February 25, 2021

Dear Silverton/San Juan County Property Owner:

The Town/County Planning Department in Silverton, San Juan County, Colorado, has received several applications, and you have been identified as an Adjacent Land Owner. A property you own is located near one of the project sites listed below.

___ **Kirstin Brown** Town Rezoning Application, Proposed Fourplex, Lot 5 Scarborough Resubdivision, formerly known as Lots 13-15 Block 75, Reese & 5th Streets, Silverton, CO. This application will be reviewed by the Town Board at 7:15 PM on Monday March 8.

✓ ___ **Blake Campbell** County Improvement Permit Application, Proposed Accessory Dwelling Unit Cabin, 38 Acre Parcel near Lime Creek Road (County Road 1), San Juan County, CO. This application will be reviewed by the Board of County Commissioners at 10:00 AM on Wednesday March 10.

___ **Julie Sams** County Application for a Proposed Amendment to an Existing Subdivision Plat, Proposed Residence, Lot 1 Cole Ranch Subdivision, County Road 2, San Juan County, CO. This application will be reviewed by the Board of County Commissioners at 10:30 AM on Wednesday March 10.

___ **Austin Lashley** Town Historic Overlay District Application, Proposed Balcony and Building Façade Improvements, 1350 Blair Street, Lots 4-5 Block 14, Silverton, CO. This application will be reviewed by the San Juan Regional Planning Commission as the appointed Town Historic Review Committee at 7:00 PM on Tuesday March 16.

___ **Stacie Hunsicker** County Land Use Permit Application, Proposed Driveway Grading, Gate, Signs, and Electric Service Line, Gold Spur Mill Site USMS No. 16761B, Lower Cunningham Gulch Road (County Road 4), San Juan County, CO. This project will be reviewed by the San Juan Regional Planning Commission at 7:00 PM on Tuesday March 16.

You are under no obligation to reply to this letter or take any action as this time.

If you have an interest in the projects listed above, you may view the applications on the local governmental websites.

The Town Applications above, which were submitted to the Town Planning Department, are posted on the Town of Silverton Colorado website, under the following Tabs: Departments –

Planning – Pending Applications. The County Applications above, which were submitted to the County Planning Department, are posted on the San Juan County Colorado website, under the following Tabs: County Government – Building & Planning – Proposed Additions.

As an Adjacent Land Owner and a citizen, you may submit written and/or verbal comments regarding these applications, before and/or during the meetings. Comments before the meeting can be sent to the Planning Director, using the contact information below. Written/email comments are preferable, as they are printed and placed into the individual Board members' meeting materials packets.

The meetings listed above are all open to the public. These local meetings are currently taking place using free Zoom computer/phone software. If you need assistance with loading or using free Zoom software, you can feel free to contact the Planning Director. If you would like to attend, here are the Zoom Meeting ID Numbers for the three upcoming meetings.

Town Board of Trustees, Meeting Begins at 7:00 PM, Monday March 8, 2021.
Zoom Meeting ID Number 886 3748 7127

Board of **County Commissioners**, Meeting Begins at 8:30 AM, Wednesday March 10, 2021.
Zoom Meeting ID Number 921 3647 3203

San Juan Regional **Planning Commission**, Begins at 7:00 PM, Tuesday March 16, 2021.
Zoom Meeting ID Number 921 3647 3203

Please contact the Planning Director if you have any questions or comments, using the method below which you find most convenient.

Thank you,



Lisa M. Adair PE

Town & County Planning Director
Silverton & San Juan County Colorado
Office Located at Silverton Town Hall
Mail written comments to: Town of Silverton, PO Box 250, Silverton, CO 81433.
Hand-deliver written comments to: Town Hall, 1360 Greene Street, Silverton.
Town/County Planning Department email address: ladair@silverton.co.us
Town Hall phone: (970) 387-5522
Work cell phone: (970) 946-9408

Lisa Adair

From: mackie@gobrainstorm.net
Sent: Thursday, March 04, 2021 11:22 AM
To: Lisa Adair
Subject: Fwd: Re: ADU. Campbell

----- Forwarded message from capt81301@msn.com -----
Date: Wed, 3 Mar 2021 02:18:07 +0000
From: ROBERT M MCCORMACK <capt81301@msn.com>
Subject: Re: ADU. Campbell
To: "mackie@gobrainstorm.net" <mackie@gobrainstorm.net>

Thank you for your reply Lisa
Robert (Mike)

Sent from my iPhone

>
> Quoting ROBERT M MCCORMACK <capt81301@msn.com>: *on 3/2/21*
>
>> In regards to Mr. Campbell wanting to build a ADU on his family's
>> property adjacent to the Know Your Neighbor [KYN] Subdivision.
>>
>> I am against the building of this ADU.
>>
>> My understanding of ADU is to provide housing for workers in
>> Silverton, but is being extended to the South County.
>> They are not to be used for short term rentals.
>>
>> In 2018 Mr. Campbell parked a "Tiny House" on their property and
>> advertised for nightly rentals . Without county approval. People were
>> arriving at all times day and night. Garbage was allowed to pile up
>> causing bears to come to feed.
>> These renters accessed the unit going thru KYN subdivision against
>> the agreement Mr. Campbell's parents agreed to When the land was
>> purchased.
>>
>> Please do NOT approve this ADU since they don't approved access thru
>> KYN subdivision for commercial use.
>>
>> Thanks
>> Robert McCormack
>> Lots #1 and 2, KYN
>> Sent from Mail<<https://go.microsoft.com/fwlink/?LinkId=550986>> for
>> Windows 10
>>
>

----- End forwarded message -----

**San Juan Regional
Planning Commission**
SAN JUAN COUNTY TOWN OF SILVERTON
Silverton, Colorado 81433
P.O. Box 223

February 16, 2021

Board of County Commissioners
San Juan County
Silverton, CO 81433

Members of the Commission:

RE: Improvement Permit Application
 Proposed Campbell ADU Cabin

At the regular meeting of the San Juan Regional Planning Commission on February 16, 2021, members of that Commission held a meeting to discuss the proposed Accessory Dwelling Unit (ADU) on an approximately 38-acre parcel and associated access/utility improvements. The Planning Commission previously reviewed this application in 2019. At that time a possible Vacation Rental was an addition to the ADU. For this application, the Vacation Rental has been removed.

After considerable lengthy discussion, questions and presentations from the Town/County Planner, the Planning Commission voted unanimously to recommend to the County Commissioners that you approve the proposed ADU Cabin with the 24 proposed conditions of approval from the Planning Director, excluding #17 which the Commission felt was not needed.

Thank you for considering this recommendation.

Sincerely,

Ken Safranski
Chairman

**Proposed
Accessory Cabin
66 Mill Creek Drive**

Prepared by: Blake Campbell

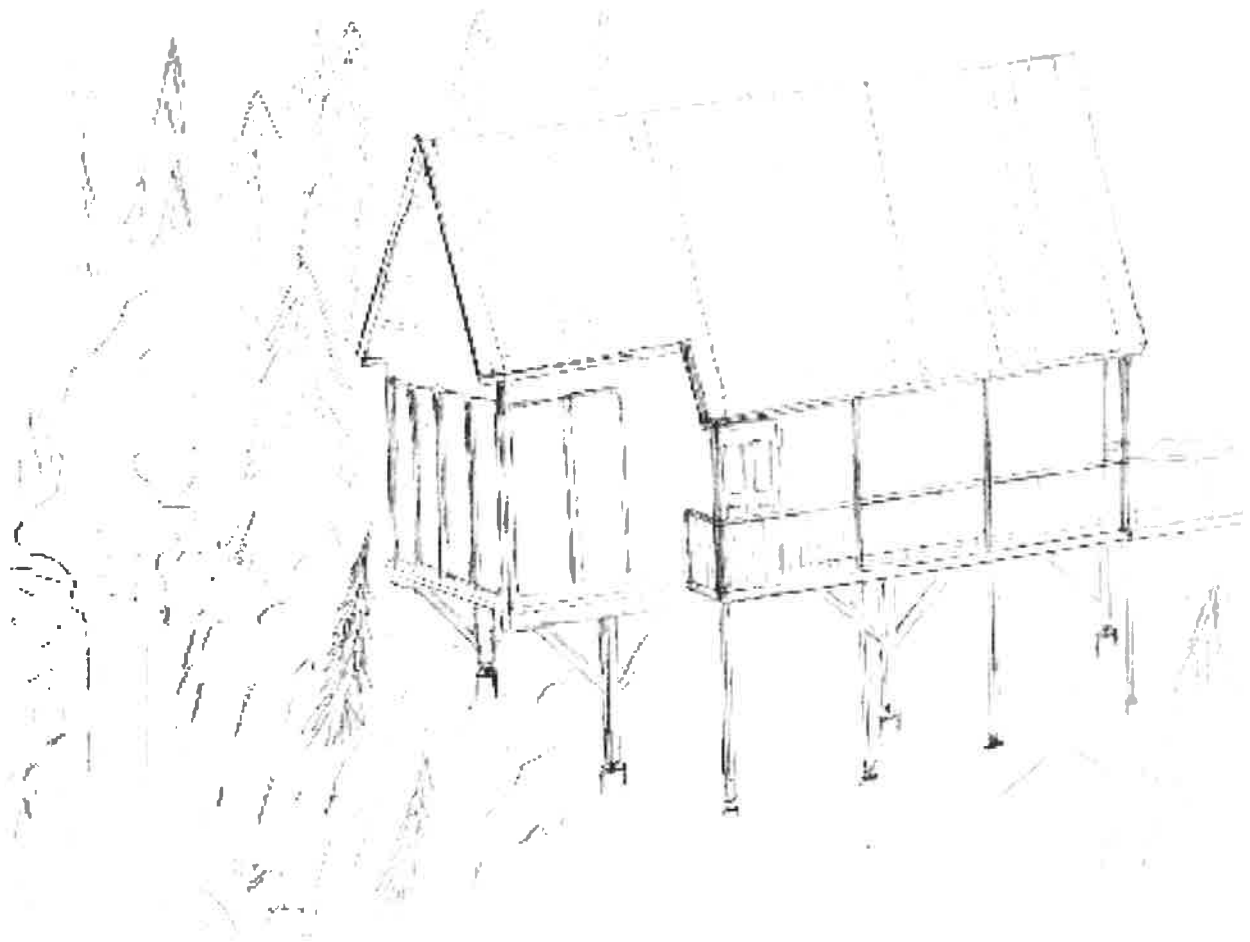



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San Joan County, Colorado
Application for Improvement Permit

		APPROVAL CHECKLIST		Initial	Date
Applicant	Name	Blake Campbell			
	Address	66 Mill Creek Dr			
		Durango, CO 81301	808-492-0008		
Owner	Name	Diane Campbell			
	Address	66 Mill Creek Dr			
		Durango, CO 81301	801-628-2888		
Contractor	Name				
	Address				
			Phone		
Legal Description of Property:		Road System Relationship			
SE 1/4 OF NW 1/4 SECTION 7 NOTE:EX. 1.71 ACRES AT NW CORNER TO MILL CREEK PROP		Zoning Compatibility			
		State Mining Permit			
		Owner Notification			
		Avalanche Hazard			
		Geologic Hazard			
		Floodplain Hazard			
		Wildfire Hazard			
Township 39N, Range 8W, Section 7		Mineral Resource Impact			
Nature of Improvement Planned:		Wildlife Impact			
Proposed accessory cabin and associated improvements		Historic Site Impact			
		Watershed Gearance			
		County Building Inspector			
		Building Permit			
		State Electrical Inspector			
Land Use Zone:		Electrical Permit			
Applicant Signature		San Juan Basin Health Unit			
		Sewage Disposal: Test			
		Design			
Date Application Requested		Central Sewage Collection			
Date Submitted for Permit		State Division of Water Resources			
Date Permit Issued		Adequate Water Source			
Date Permit Denied		Well Permit			
Reason for Denial		Central Water Distribution			
		U.S. Forest Service/BLM			
		Access Approval			
		State Division of Highways			
Receipt	FEE PAYMENT	Amount	Date	Driveway Permit	
	Application				
	Building Permit				
	Subdivision/PUD			Subdivision Variance	
	Hearing Notice			Subdivision Approval	
				PUD Approval	

BOARD OF COUNTY COMMISSIONERS

San Juan County

P.O. Box 466

Silverton, Colorado 81433

970-387-5671

RELATIONSHIP OF PROPERTY TO COUNTY ROAD AND STATE HIGHWAY SYSTEMS

I, the undersigned, applicant engaged in the processing of Application for Improvement Permit No. TBD, San Juan County, Colorado, do hereby acknowledge the following facts:

1. The real property' which is the subject of said application is on this date located approximately 850 feet from County Road No. 1, the nearest designated and publicly maintained county road.
2. Said County Road No. 1 is on this date maintained on an year round basis by San Juan County.
3. The real property which is the subject of said application is on this date located approximately 550 from Colorado State Highway No. 550, the nearest designated state or federal highway.
4. Said Colorado State Highway No. 550 is on this date maintained on a year-round basis by either San Juan County or the Colorado Division of Highways.
5. A Driveway Permit will be necessary for any private access or egress relating to said real property which intersects any designated Colorado State Highway or Federal Highway.

Signed and dated this 25 day of August, 2019.

day

month

year

ATTEST:

 Diane Campbell
Applicant

Position:

The Official Website of San Juan County Colorado



[Home](#)
[Assessor](#)
[Clerk & Recorder](#)
[Commissioners](#)
[Public Health](#)
[Planning](#)
[Social Services](#)
[Treasurer](#)
[Sheriff](#)

Show 10 entries
Search:

Tax History for Parcel 50910000070008.

Type	Due/Pay Date	Due/Paid Code	Tax District	Gross Tax Amount*	Interest Due Amount*	Due/(Paid) Amount	Balance	Paid By
2019								
Due		REAL	103	1,935.94	0.00	1,935.94	1,935.94	
Payment	01/27/20	REAL	103			(1,935.94)	0.00	
2018								
Due		REAL	103	2,517.26	0.00	2,517.26	2,517.26	
Payment	03/12/19	REAL	103			(1,258.63)	1,258.63	
Payment	07/26/19	REAL	103			(1,258.63)	0.00	
2017								
Due		REAL	103	2,504.96	0.00	2,504.96	2,504.96	
Payment	02/12/18	REAL	103			(1,252.48)	1,252.48	
Payment	05/30/18	REAL	103			(1,252.48)	0.00	
2016								
Due		REAL	103	2,118.66	0.00	2,118.66	2,118.66	
Payment	02/28/17	REAL	103			(1,059.33)	1,059.33	

Showing 1 to 10 of 50 entries

[First](#)
[Previous](#)
[1](#)
[2](#)
[3](#)
[4](#)
[5](#)
[Next](#)
[Last](#)

* Gross Tax Amount indicates total taxes due prior to the application of Homestead Exemption Tax relief if applicable.

For additional details on tax history information, please call (970) 387-5488.

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QUIT CLAIM DEED

RECORDER'S STAMP

THIS DEED, Made this day of June 14, 2001
between CFA Family Limited Partnership
66 Millcreek Drive

STATE DOCUMENTARY FEE
DATE 6/14/01
BY name

of the County of San Juan and State of
Colorado, of the first part, and Limecreek Properties LLC

whose legal address is 66 Millcreek Drive, Durango Co 81301
of the County of San Juan and State of Colorado, of the second part:

WITNESSETH, that the said party of the first part, for and in consideration of the sum of
ten dollars and other good and valuable consideration

to the said part(ies) of the first part in hand paid by the said part(ies) of the second part, the receipt whereof is here-
by confessed and acknowledged, has realized, released, sold conveyed and QUIT CLAIMED, and by these presents do(es) realize,
release, sell, convey and QUIT CLAIM unto the said part(ies) of the second part, (their) heirs, successors and assigns,
forever, all the right, title, interest, claim and demand which is said part(ies) of the first part ha(c) in and to the
following described lot or parcel of land situate, lying and being in the County of San Juan
and State of Colorado, to wit:

SE 1/4 of NW 1/4 section 7 CX. 1.71 ACRES AT NW
corner TO mill creek prop. TRACT 38 Township 39
North, Range 8 West N.M.P.M.

also known as street and number 66 Millcreek Drive, Durango Co 81301

TO HAVE AND TO HOLD the same, together with all and singular the appurtenances and privileges thereunto belonging or
in anywise thereto appertaining, and all the estate, right, title, interest and claim whatsoever, of the said part(ies)
of the first part, either in law or equity, to the only proper use, benefit and behoof of the said part(ies) of the second
part, (their) heirs and assigns forever.

IN WITNESS WHEREOF, The said part(ies) of the first part ha(c) hereunto set their hand and seal the day and
year first above written.

Signed, Sealed and Delivered in the Presence of

Beverly Holmer

Diane L. Campbell (SEAL)

General Partner (SEAL)

San Juan
STATE OF COLORADO
County of

(SEAL)

my commission expires 5/18/04

The foregoing instrument was acknowledged before me this day of 14th of June, 2001



QUIT CLAIM DEED

THIS DEED, Made this 25th day of September, 19 90
between **GIDEON MURRAY**, as Partner in **MILL CREEK PROPERTIES**, a Colorado Partnership

of ~~the~~ **Loveland** County of **LARIMER** and State of **Colorado**, grantor(s), and **C.F.A. FAMILY LIMITED PARTNERSHIP**

whose legal address is **4665 East Cactus Road**

ARIZONA

of ~~the~~ **Phoenix** County of **MARICOPA** and State of ~~Colorado~~, grantee(s).

WITNESSETH, That the grantor(s), for and in consideration of the sum of **TEN and 00/100ths** ----- **DOLLARS** the receipt and sufficiency of which is hereby acknowledged, ha s remised, released, sold, conveyed and **QUIT CLAIMED**, and by these presents do es remise, release, sell, convey and **QUIT CLAIM** unto the grantee(s), **their** heirs, successors and assigns, forever, all the right, title, interest, claim and demand which the grantor(s) ha s in and to the real property, together with improvements, if any, situate, lying and being in the County of **San Juan** and State of **Colorado**, described as follows:

SEE EXHIBIT A ATTACHED HERETO.

NOTARY PUBLIC
DATE Dec 13, 1990
[Signature]

as specifically set forth on Exhibit "A"
TOGETHER WITH ALL MINERAL RIGHTS (IF ANY), WATER RIGHTS, RIGHTS OF WAY AND ACCESS RIGHTS APPURTENANT THEREOF.

~~MEMORANDUM BY NOTARY PUBLIC~~

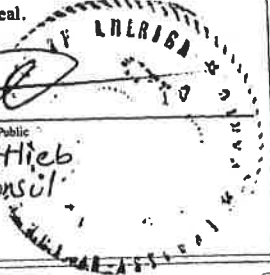
TO HAVE AND TO HOLD the same, together with all and singular the appurtenances and privileges thereunto belonging or in anywise therunto appertaining, and all the estate, right, title, interest and claim whatsoever, of the grantor(s), either in law or equity, to the only proper use, benefit and behoof of the grantee(s), **their** heirs and assigns forever.
IN WITNESS WHEREOF, The grantor(s) ha s executed this deed on the date set forth above.

Gideon Murray
Gideon Murray, as Partner in Mill Creek Properties, a Colorado Partnership

STATE OF ~~COLORADO~~ REPUBLIC OF FRANCE, CITY OF PARIS
EMBASSY OF THE UNITED STATES OF AMERICA | SS
County of _____

The foregoing instrument was acknowledged before me this 3rd day of October, 1990.
by Gideon MURRAY -

My commission expires _____, 19 ____ . Witness my hand and official seal.

[Signature]
Notary Public
Hope Gottlieb
Vice Consul


*If in Denver, insert "City and."

EXHIBIT "A"

A tract of land lying and being in Tract 38, Township 39 North, Range 8 West, N.M.P.M., San Juan County, Colorado, and being more particularly described as follows:

BEGINNING at Angle Point No. 11 of said Tract 38 (a properly marked 3" aluminum cap set by the BLM in 1983);
Thence South 89° 51' 09" West a distance of 1319.09 feet to Angle Point No. 5 of said Tract 38 (a properly marked 3" aluminum cap set by the BLM in 1983);
" North 00° 33' 00" West along the West line of said Tract 38 a distance of 1006.35 feet;
" North 89° 27' 00" East a distance of 280.00 feet;
" North 40° 38' 54" East a distance of 501.55 feet to the line between Angle Points 4 and 12 of said Tract 38;
" North 88° 21' 43" East a distance of 708.84 feet to Angle Point No. 12 of said Tract 38 (a properly marked 3" aluminum cap set by the BLM in 1983);
" South 00° 33' 00" East a distance of 1406.46 feet to the point of beginning.

TOGETHER WITH a non-exclusive access easement to Lime Creek Road in the NE1/4 of the SW1/4 of Section 7, Township 39 North, Range 8 West of the N.M.P.M., San Juan County, Colorado, described as follows:

All bearings contained herein are relative to the Survey Plat of the Lime Creek Area as revised August 4, 1969, File No. 69037, by Frederick H. Reed, PLS #4431, filed for record October 2, 1970 as Reception No. 109539 in the office of the Clerk and Recorder of San Juan County, Colorado.

BEGINNING at the Northeast Corner of Tract No. 5 of said Survey Plat;
Thence North 89° 50' 00" West, 70.26 feet along the Northerly line of said Tract No. 5;
" South 04° 43' 00" East, 162.31 feet;
" South 15° 29' 00" West, 90.86 feet;
" South 20° 23' 00" West, 35.07 feet to a point on the Southerly line of said Tract No. 5;
" South 70° 52' 00" East, 40.01 feet along said Southerly line;
" South 20° 23' 00" West, 47.70 feet;
" South 37° 46' 00" West, 81.79 feet;
" South 73° 05' 00" West, 33.36 feet;
" South 56° 35' 00" West, 77.45 feet;
" South 63° 05' 00" West, 44.79 feet;
" South 55° 04' 00" West, 64.26 feet;
" South 53° 11' 00" West, 183.63 feet to a point on the Southerly line of Tract No. 7;
" South 72° 18' 00" East, 36.84 feet to the corner common to Tracts 7 and 9;
" South 72° 18' 00" East, 29.48 feet along a Westerly line of Tract No. 9;
" South 33° 12' 00" East, 6.01 feet along a Westerly line of said Tract;
" North 53° 11' 00" East, 144.52 feet;
" North 55° 04' 00" East, 59.07 feet;
" North 63° 05' 00" East, 43.99 feet;
" North 56° 35' 00" East, 72.15 feet;
" North 73° 05' 00" East, 43.76 feet;
" North 37° 46' 00" East, 110.07 feet;
" North 20° 23' 00" East, 92.37 feet;
" North 15° 29' 00" East, 111.28 feet;
" North 74° 31' 00" West, 30.00 feet to an angle point on the Easterly line of Tract No. 5;
" North 04° 43' 00" West, 168.05 feet to the point of Beginning.

EXHIBIT A (Continued)

TOGETHER ALSO with the following conditional water rights as awarded in Division 7, State of Colorado water court:

.05 c.f.s. Mill Creek Spring #1 and .03 c.f.s. Mill Creek Spring #2 in Case No. 87 CW 83 and .5 c.f.s. in Mill Creek Diversion Dam #3 in Case No.87 CW 84

SUBJECT TO reservations contained in the United States Patent; to power and telephone easements; possible restricted use of the property by reason of the fact that it may lie in an Avalanche zone as evidenced by INSTARR MAP, recorded June 22, 1976 in Book 212 at Page 2 under reception No. 116103; to restrictions on the use of access road and a lack of access to a portion of the above described property which was not included in the grant of easement as set forth in deeds recorded in Book 236 at Page 255 and in Book 236 at Page 258 and in Book 236 at Page 261 and to Scenic Easement described in deed between Mill Creek Properties, a Colorado Partnership and Ronald Grob, Rebecca J. Grob, Kay E. Grob, Theodore Grob, Jr., Gideon Murray, Arlene G. Perry, Robert J. Sauer and Alice Sauer dated September 20, 1990

FURTHER SUBJECT to the lien of general taxes for the year 1990 payable in 1991

Diane Campbell

66 Mill Creek Dr
Durango, CO 81301
(801)-628-2888
usadiane@gmail.com

10th January, 2021

San Juan County

1360 Greene Street
P.O. Box 250
Silverton, CO 81433

Dear San Juan County,

Blake Campbell has my full permission and cooperation to construct an ADU Cabin on my property at 66 Mill Creek Dr, Durango, CO. I own the 38.27 acres in a trust, Limecreek Properties, LLC. They will keep me informed of the process and I am available to confirm and clarify this permission.

Sincerely,



Diane Campbell
Limecreek Properties LLC

LIST OF ADJACENT LAND OWNERS

Proposed Accessory Cabin

66 Mill Creek Dr

Adjacent Lot, Owner, and Address

Know Your Neighbor Tract #1 And #2
McCormack Robert & Chrystal
156 Macfiretree Lane
Durango, CO 81301

Know Your Neighbor Tract #3
Macfire Tree Lane, LLC Et. Al.
440 E Harrison St.
Corona, CA 92879-1314

Know Your Neighbor Tract #4
Boris C Wise And Eva M Molin Westerholm
47 Quarry Ct.
Durango, CO 81301-7941

Know Your Neighbor Tract #5
Murray Timothy
1275 Riverside Dr.
Aspen, CO 81611-2230

Know Your Neighbor Tract #6
Paul O & Ruth H Cline Trust
39 Lake Purgatory Dr.
Durango, CO 81301-9102

Know Your Neighbor Tract #7
Davenport Cole
PO BOX 839
Silverton, CO 81433-0839

Know Your Neighbor Tract #8
Robertson Alvin
55 Lazy Ln.
Kemah, TX 77565-2638

Know Your Neighbor Tract #9 And #10
Emery Martin & Mindy K
4527 N. White Chapel Blvd.
Southlake, TX 76092-2072

Know Your Neighbor Tract #11
Williams Trust Craig C &
Valenta-williams Trust Carol K
9426 Alto Dr.
La Mesa, Ca 91941-4227

Know Your Neighbor Tract #12
Andorka Family Trust The Mark
139 S Brewer Dr.
Pueblo West, CO 81007-3640

Know Your Neighbor Tract #13
Huffman Dorothy E
5940 N Sherman Dr.
Indianapolis, IN 46220-5169

1208 County Rd 1 (Lime Creek Rd)
Dooley Thomas W And Nancy J
12019 Colwick St.
San Antonio, TX 78216-2720

Mill Creek Lodge Estates Lot 11
Beartree LTD
P.O. Box 2635
Durango, CO 81302-2635

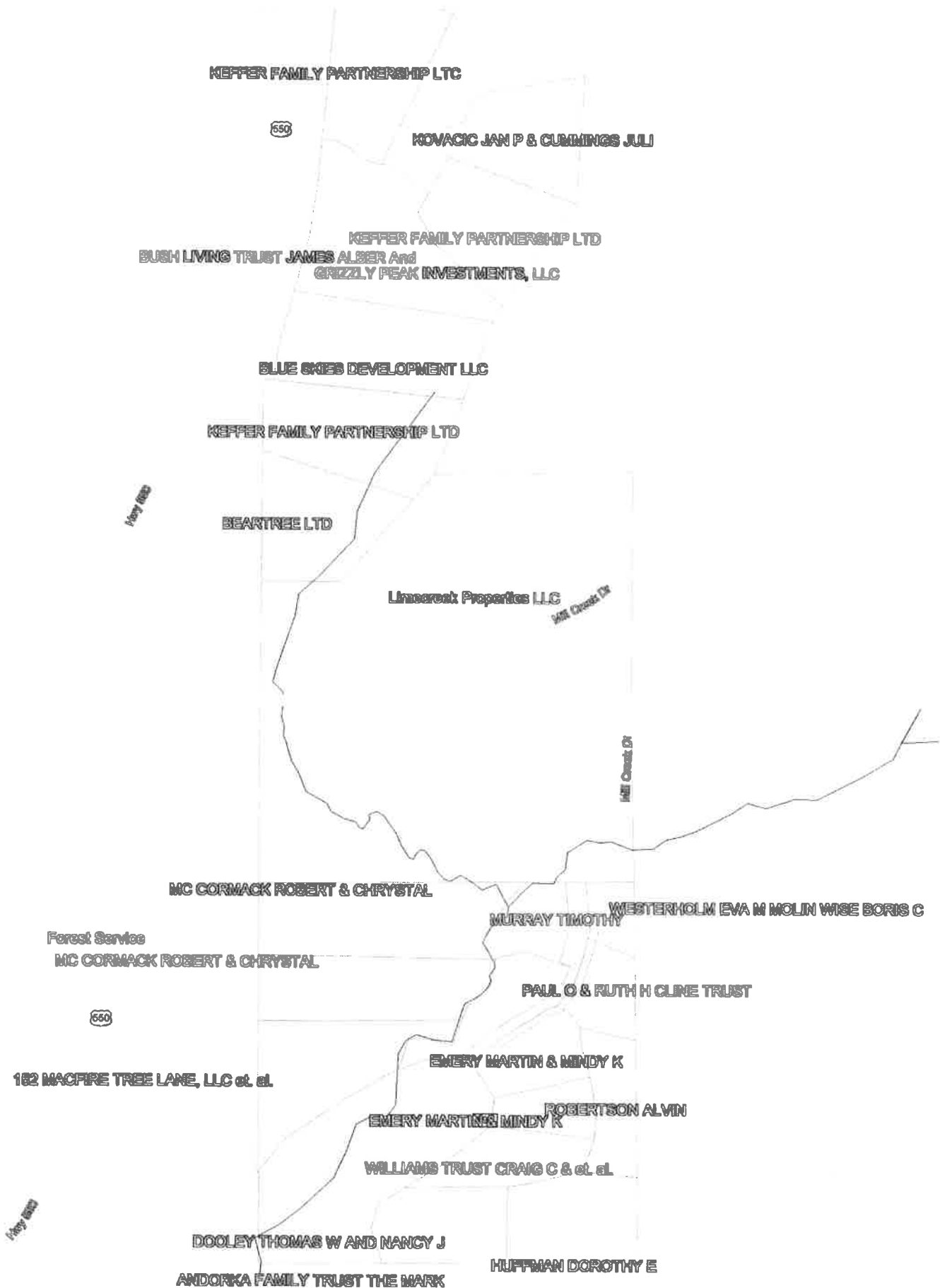
Mill Creek Lodge Estates Lot 5, 7, 9, And 10
Keffer Family Partnership LTD
1105 S. Seaman St.
Eastland, TX 76448-3450

Mill Creek Lodge Estates Lot 8
Bush Living Trust James Alber
And Grizzly Peak Investments, LLC
7170 S. Braden Ave. Ste. 200
Tulsa, OK 74136-6316

Mill Creek Lodge Estates Lot 6
Kovacic Jan P & Cummings Juli
513 Miner Rd.
Orinda, Ca 94563-1428

Maps of Adjacent Land Owners

Proposed Accessory Cabin for 66 Mill Creek Dr



PROJECT NARRATIVE

Proposed Accessory Cabin for 66 Mill Creek Dr

- Applicant Name:** Blake Campbell
- Project Location:** 66 Mill Creek Dr, Durango, CO 81301, Parcel No. 50910000070008.
- Proposed Development:** Two story accessory cabin to the existing residence and the associated utility and access improvements.
- Zoning:** Un-Zoned. Surrounded by Urban Residential.
- Acreeage:** Total: 38.27 Acres
- Elevation:** ~9000 ft
- Access:** There is a driveway with right-of-way/easement across neighboring properties for the existing residence off Lime Creek Rd, which the proposed ADU will utilize. The driveway will branch off to the project site as it enters the property.
- Power:** The applicant plans to tie into an existing transformer fed from La Plata Electric that was installed on the property for future use. An alternative would be to have a small solar PV system with a generator backup.
- Water Service:** Water is readily available. The existing cabin is using a developed spring that has adequate water for both applications.
- Sewer Service:** A new septic system is proposed for the ADU. The septic system will be engineered by a Colorado Licensed Professional Engineer in accordance with the San Juan Basin Health Department regulations. It will be less than the threshold of 2000 gallons per day that would require State regulation and permitting. The existing home has approved septic in place.
- Phone and Data:** Cell phone service is strong on the property due to the upgraded tower nearby on Coal Bank Pass. It is sufficient currently for extended phone calls and definitely sufficient for internet use. DSL data connections are also available in the neighborhood. We used the cellular connection for doorbell cameras, video streaming, etc. If any neighbors are having trouble with insufficient services they are welcome to approach us.
- Heating:** Combination of electric and heat pump heating along with propane as a backup.

PROJECT NARRATIVE

Proposed Accessory Cabin for 66 Mill Creek Dr

- Exterior Lighting:** Minimal exterior lighting will be used. Exterior lighting will be sufficient for safety and be in conformance with the requirements of San Juan County.
- Solid Waste Removal:** Trash will be contained within the structure until removal. The applicant will be responsible for trash disposal to the county transfer station or to Durango.
- Landscaping** Landscaping is to consist of raking and removal of combustible ground cover near the ADU as recommended by the Colorado State Forest Service Firewise Practices, to develop adequate defensible space. Revegetation of disturbed areas will be provided by the applicant in accordance with the requirements of San Juan County.
- Subsurface Conditions:** Soil tests from the surrounding areas indicate that a septic system is feasible.
- Site Selection:** The proposed site and road location were chosen to maximize a view of a wooded stream area and waterfall while still minimizing the impact and disturbance to the forest and hillside. The general site area is on a forested, terraced hillside of aspen and pine. The vegetation of the sites is sparse sub-canopy grass and shrubs on a naturally-terraced forest of pine and aspen.
- Site Plans:** Some preliminary draft plans are included.
- Foundation:** Foundation will be an exposed pier and beam, built to code, and engineered.
- Structure Size and Height:** The proposed ADU will be approximately 792 square ft, 18'x28', 2 story. The highest part of the building will be approximately 25 feet above the lowest grade of the building envelope, depending on roof pitches.
- Loft:** The main floor will have a lofted area open to the above floor.
- Deck:** An entry deck and side or back deck is planned. Decks will be covered or positioned away from snow falling from the roof.
- Construction Style:** The ADU will have wood siding and metal roofing with natural tones.
- Scenic Quality Report:** A scenic quality report has been drafted. All portions of the property are and will remain completely obscured from any roads or public areas. Because of topography and the surrounding forest, the existing and proposed buildings and improvements cannot be seen from any public location.

PROJECT NARRATIVE

Proposed Accessory Cabin for 66 Mill Creek Dr

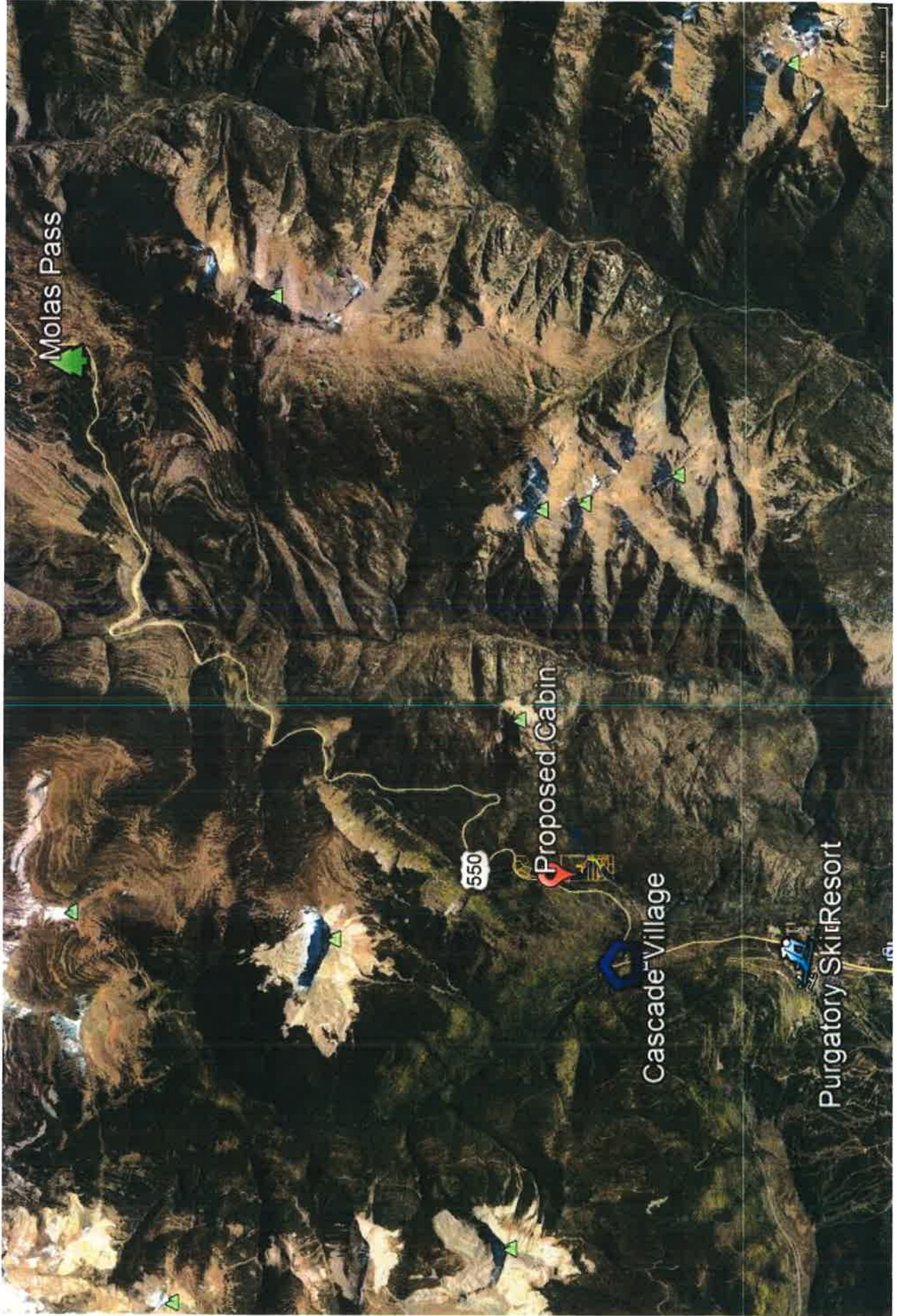
- Building Plans:** Rough building concepts are included for this Preliminary Sketch Plan. More final building plans, depicting more exactly the proposed building, will be provided to the County Planning Commission in subsequent meetings.
- County Avalanche Map:** The location of the ADU has been indicated on the County Avalanche Hazard Map. According to the County Avalanche Hazard Map, no portion of the property is near a potential avalanche area. This seems to be confirmed by the general topography, and by the maturity and density of the forest in the surrounding area.
- County Geohazards Map:** The location of the ADU has been indicated on the County Geohazards Map. According to the County Geohazards Map, no portion of the property is near a potential geohazard area.
- Conformance to the Master Plan:**
The applicant's proposal meets the Visions, Goal, and Strategies referenced in the Town of Silverton and San Juan County [Master Plan](#).

"Focus future development on mining claims into economic corridors that are environmentally suitable, where public services are available, and that provide feasible opportunities for growing the community and the economy."
- Emergency Services**
The Durango Fire and Rescue fire engines provide the closest EMS support, for medical emergencies. CR1 (Lime Creek Rd) is plowed year round by the County and the driveway will be plowed any time the proposed and existing residences will be in use.

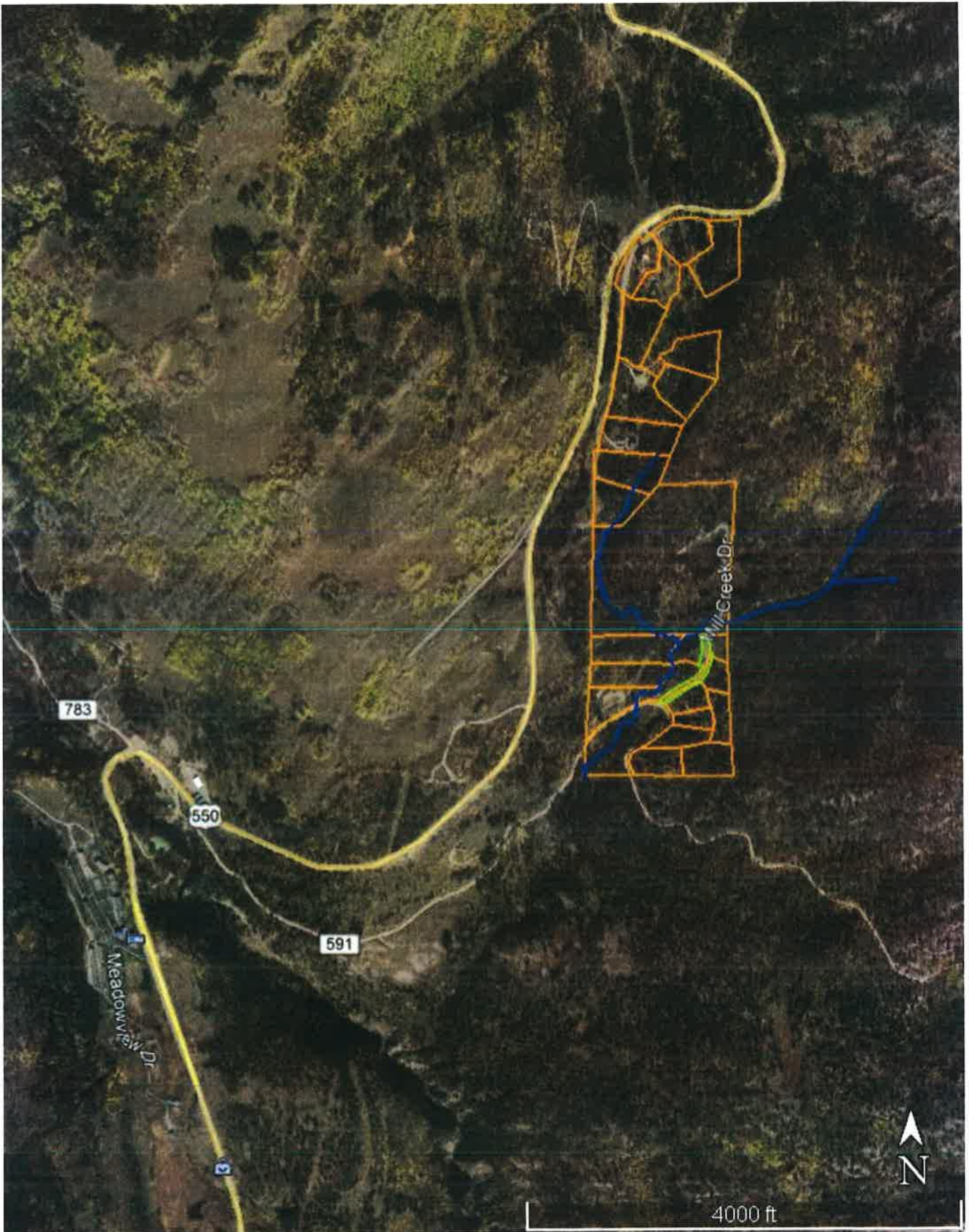
Additionally in the event that "Flight for Life" were dispatched, the ADU is situated near an open and flat meadow allowing for helicopter access for additional emergency services.
- Wildfire Mitigation**
A wildfire mitigation plan has been drafted after a consultation from Fire Smart of Durango.
- Cumulative Impact:**
A cumulative impact report has been drafted. The impacts of the proposal should be minimal. There should not be any additional maintenance needed on CR1.
- County Road Impact**
County Road 1 - Lime Creek Rd would see minimal and negligible additional traffic to current usage.

Vicinity Maps

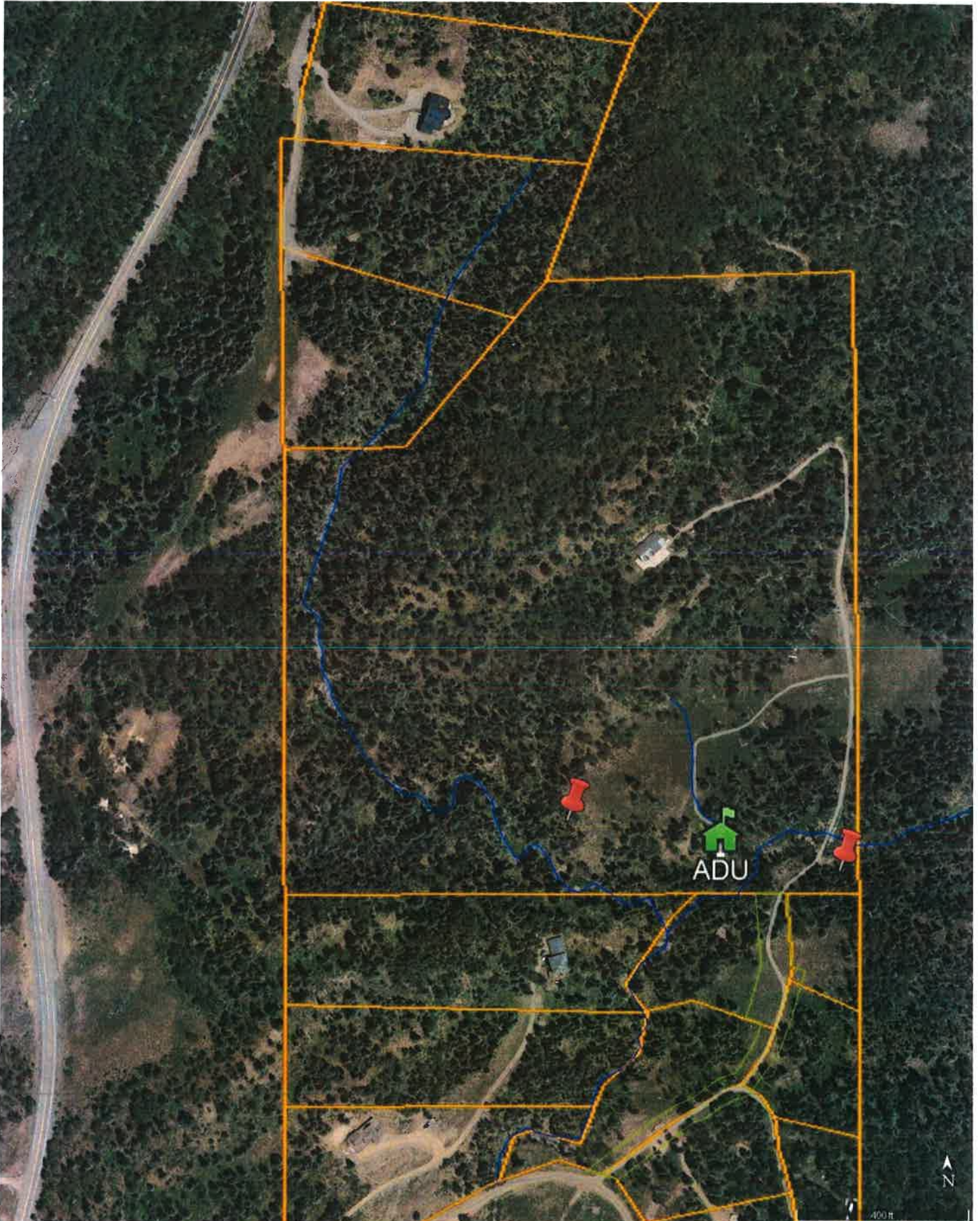
Proposed Accessory Cabin for 66 Mill Creek Dr



Vicinity Maps
Proposed Accessory Cabin for 66 Mill Creek Dr



Vicinity Maps
Proposed Accessory Cabin for 66 Mill Creek Dr



Vicinity Maps
Proposed Accessory Cabin for 66 Mill Creek Dr



Site Plan

Proposed Accessory Cabin for 66 Mill Creek Dr

Water Line to Spring Box

Extended Driveway

FOUND EXISTING
BOUNDARY MARKER

ELECTRICAL JUNCTION BOX

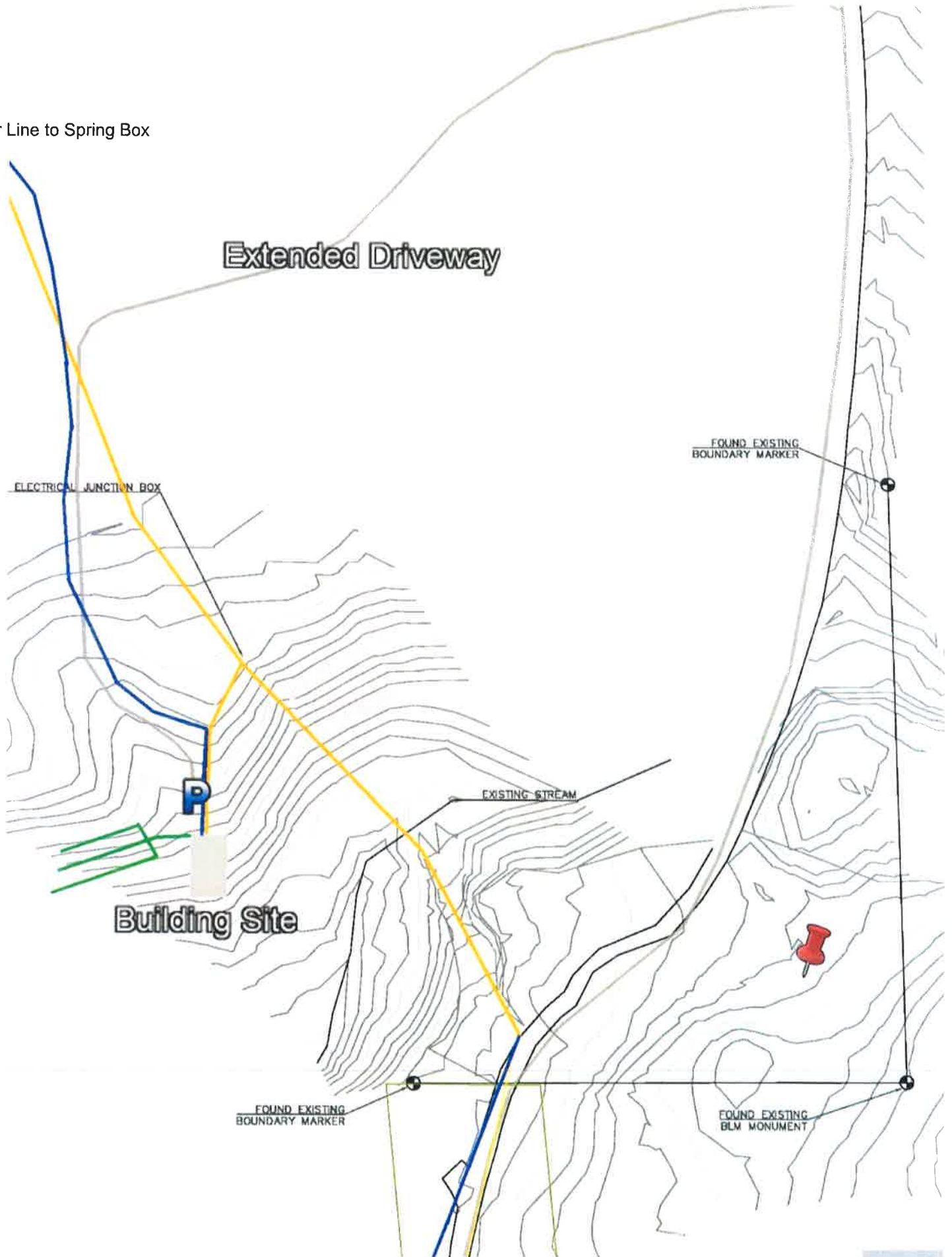
P

EXISTING STREAM

Building Site

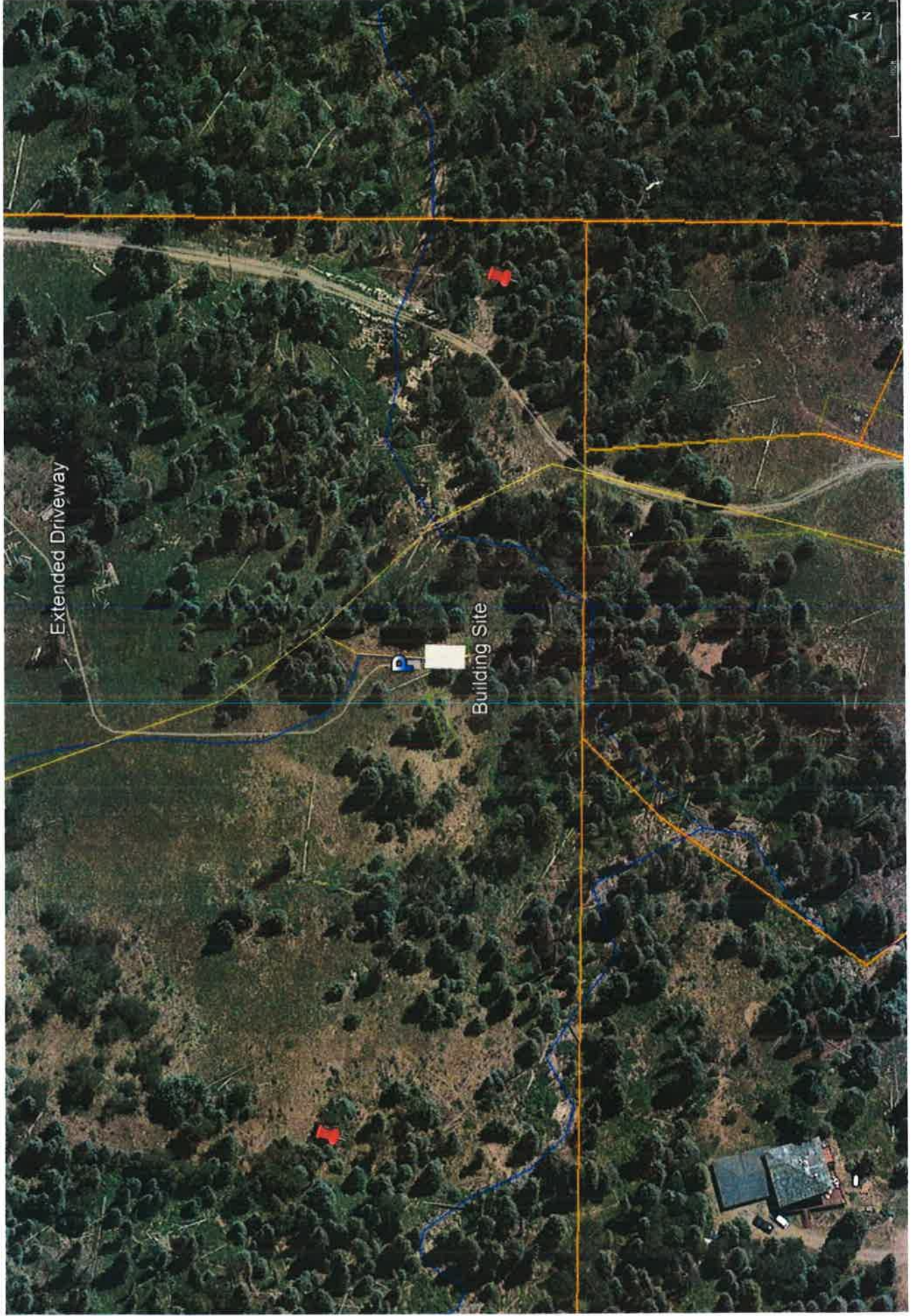
FOUND EXISTING
BOUNDARY MARKER

FOUND EXISTING
BLM MONUMENT



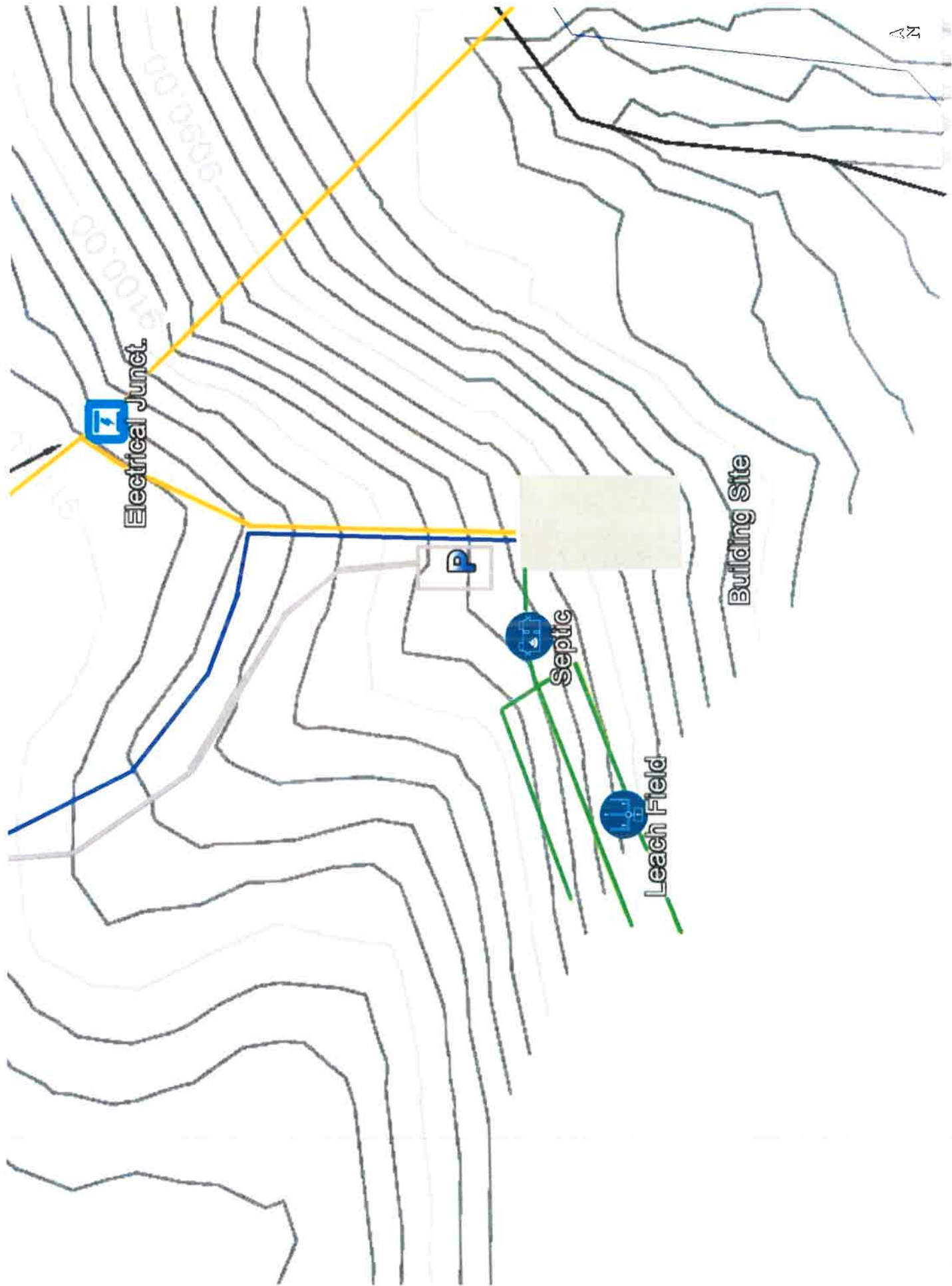
Vicinity Maps

Proposed Accessory Cabin for 66 Mill Creek Dr

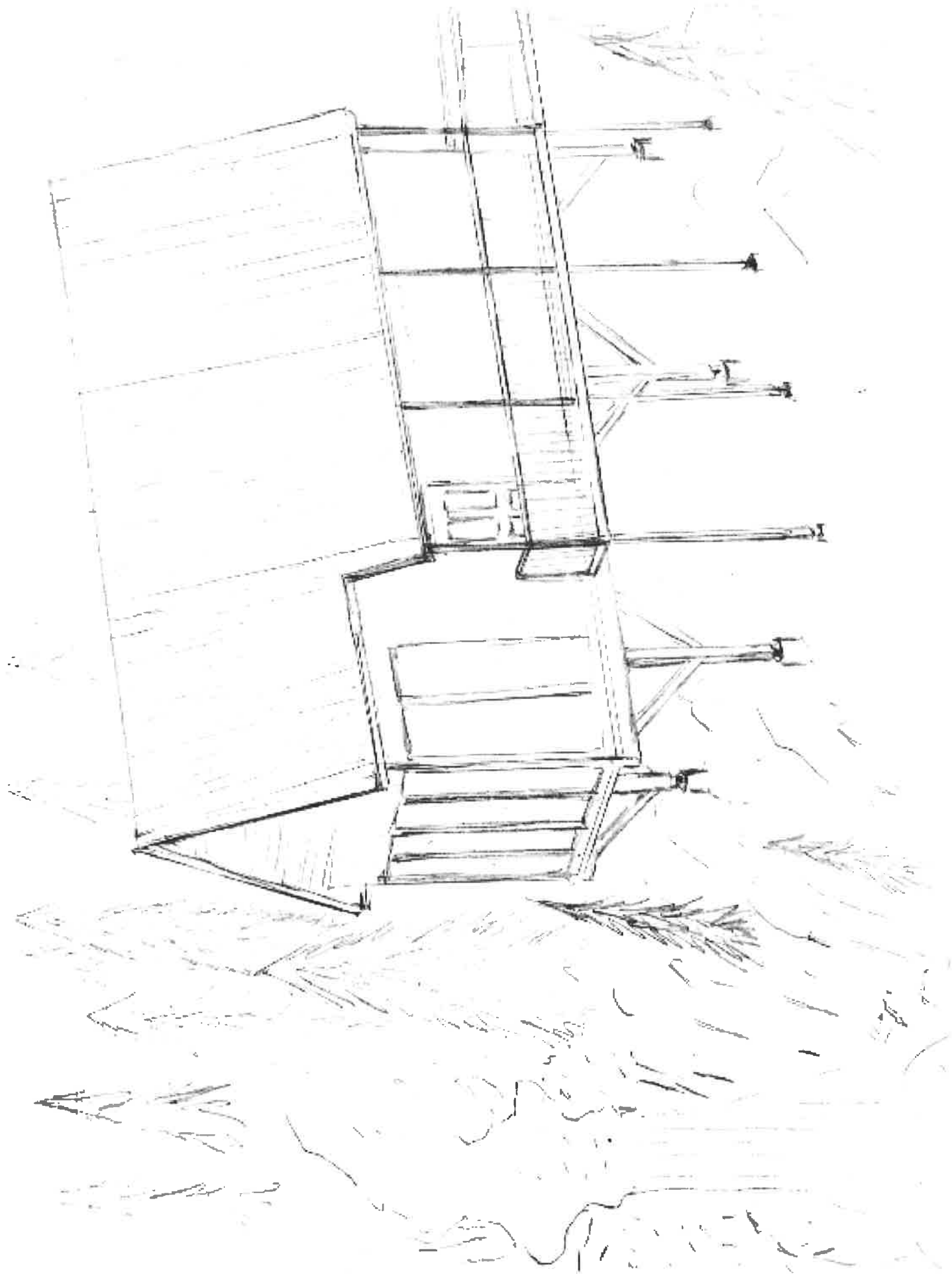


Site Plan

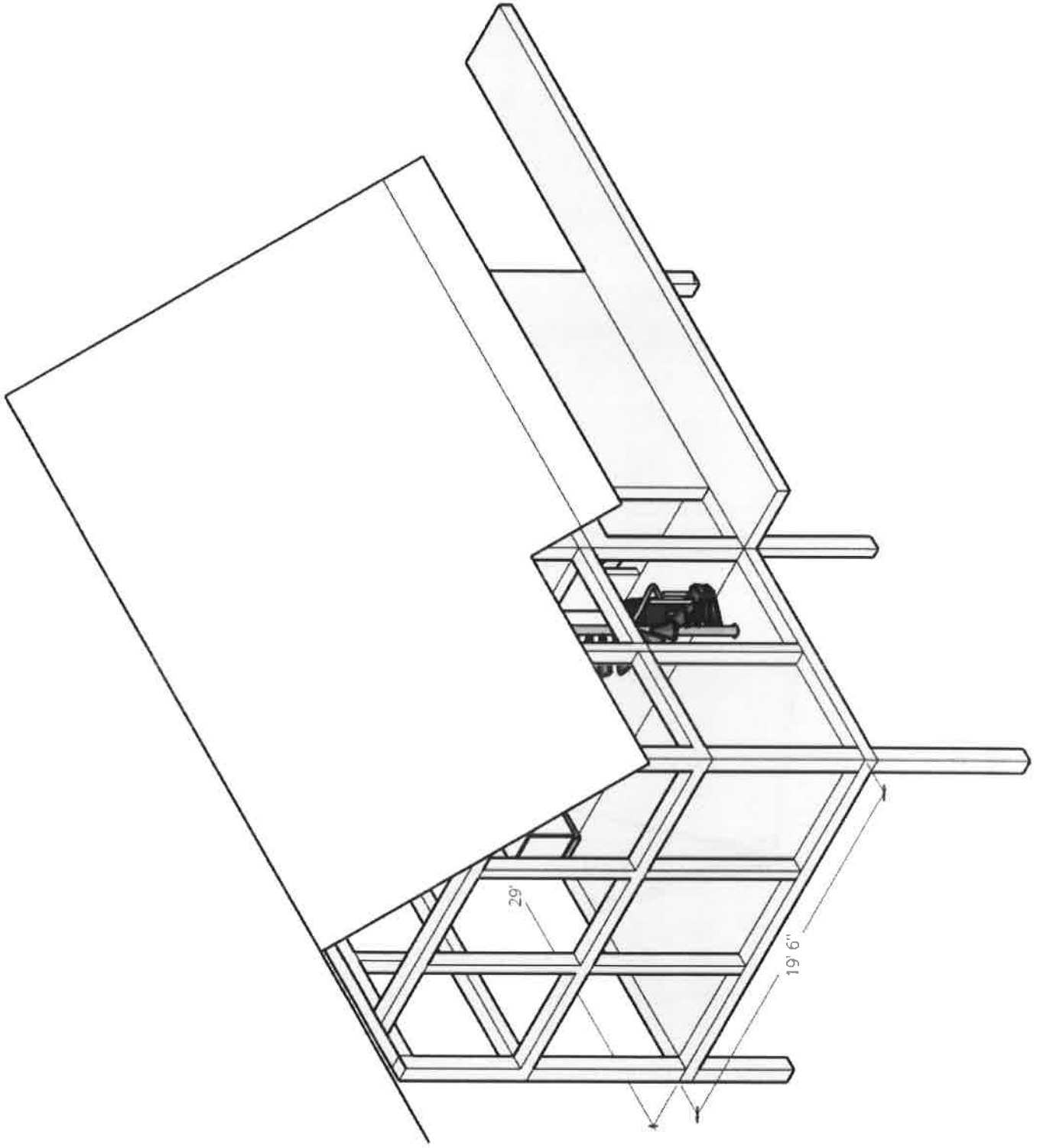
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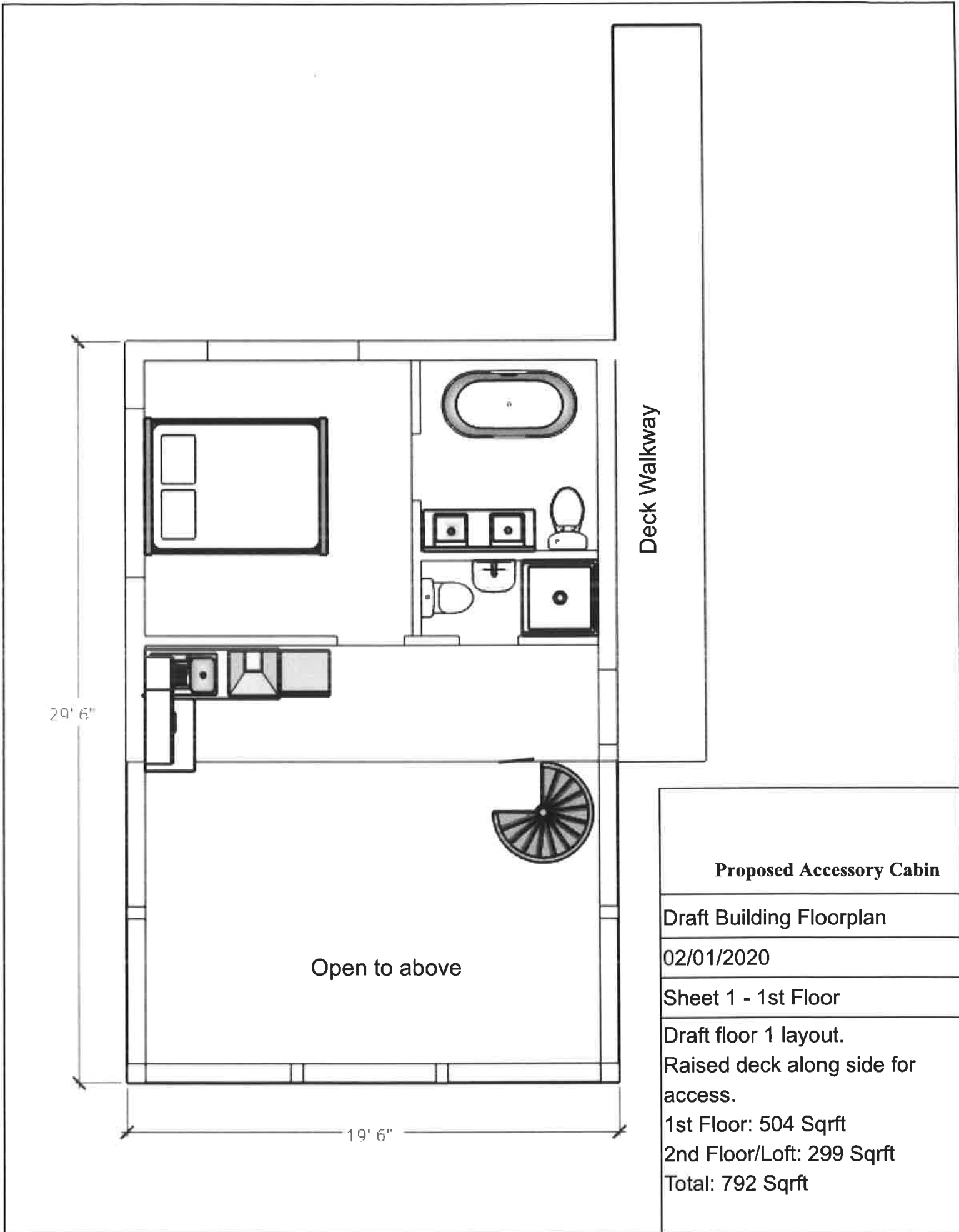


Building Sketches and Renderings
Proposed Accessory Cabin for 66 Mill Creek Dr



Building Sketches and Renderings
Proposed Accessory Cabin for 66 Mill Creek Dr





29' 6"

Open to above

19' 6"

Deck Walkway

Proposed Accessory Cabin

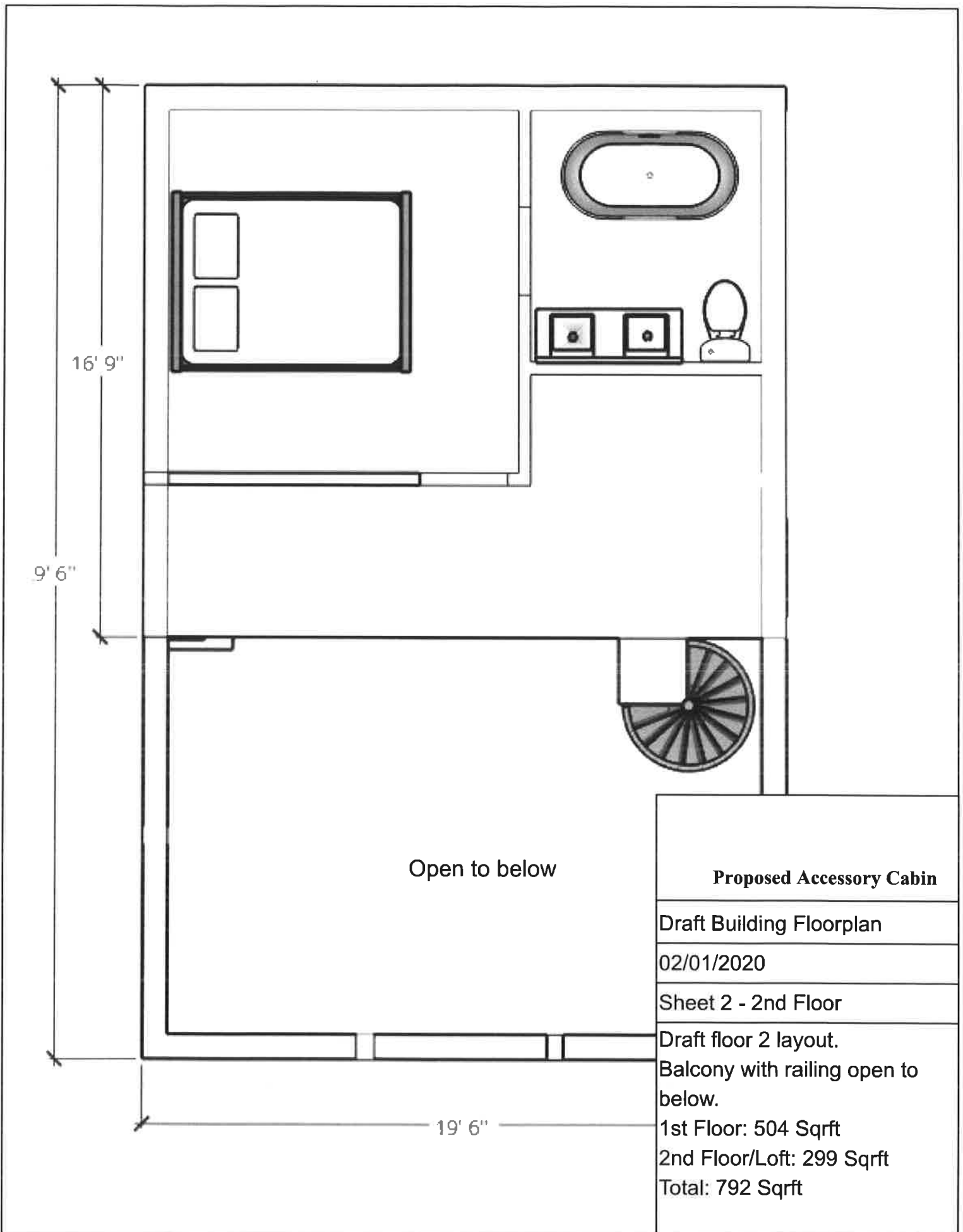
Draft Building Floorplan

02/01/2020

Sheet 1 - 1st Floor

Draft floor 1 layout.
 Raised deck along side for access.

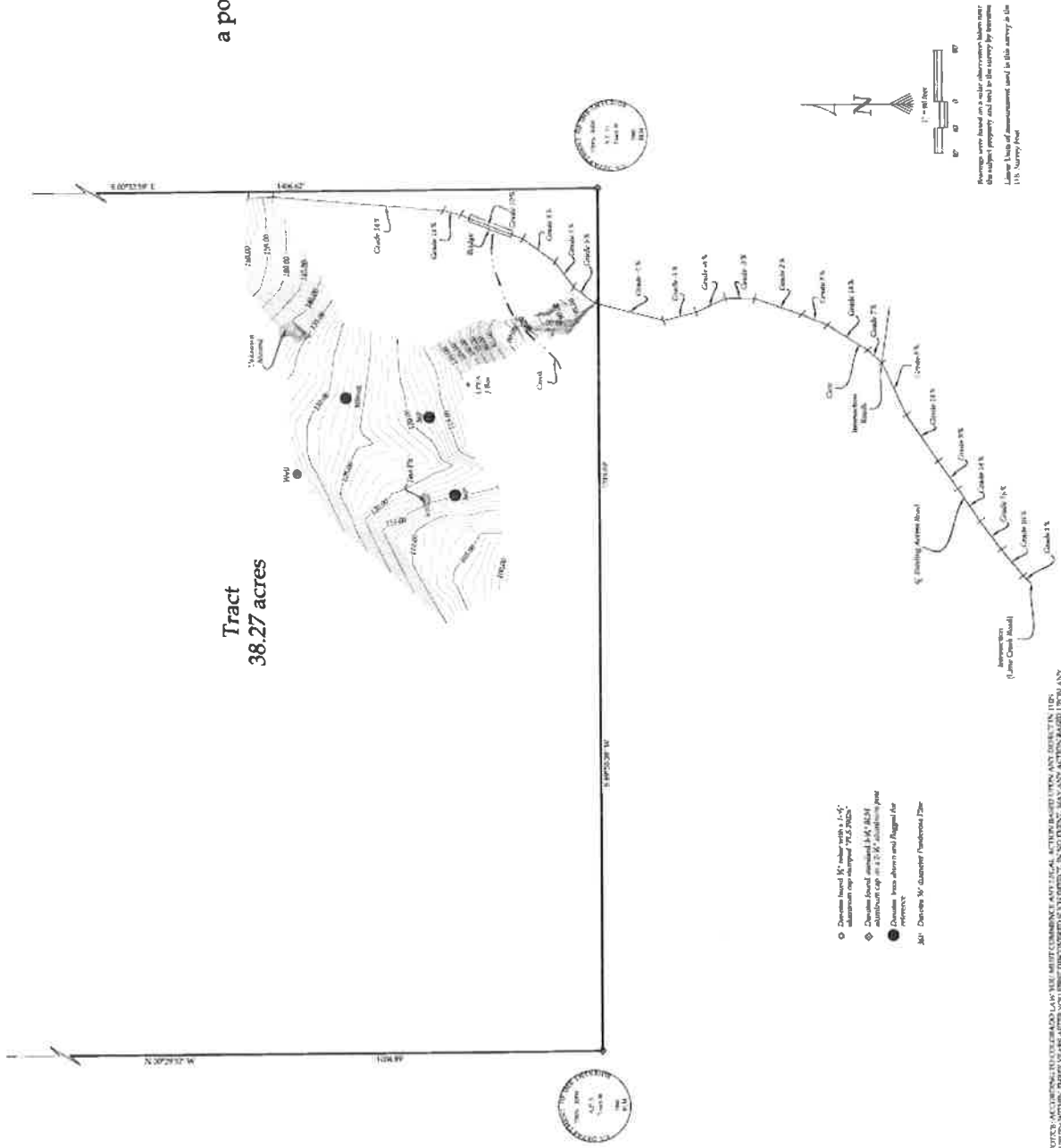
1st Floor: 504 Sqrft
 2nd Floor/Loft: 299 Sqrft
 Total: 792 Sqrft



Topographic Survey Limecreek Properties LLC

a portion of a tract of land located in the SE $\frac{1}{4}$ NW $\frac{1}{4}$
Section 7, T39N, R8W, N.M.P.M.
San Juan County County, Colorado

Tract
38.27 acres



- Densets brand 1/2" meter with a 1/4" aluminum trip equipped TCS 2000
- ◇ Densets brand universal 1/4" x 1/4" x 1/4" stainless steel trip with a 1/4" x 1/4" x 1/4" aluminum base
- Iron pins and flagging for reference
- ✱ Densets 30' stainless steel tripod

NOTES: ALL SURVEYS FOR THIS PROJECT ARE BASED ON THE 1983 NAD 83 DATUM. ALL DISTANCES ARE IN FEET. ALL ANGLES ARE IN DEGREES. THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACTS OF 1896 AND 1908. THE SURVEYOR HAS REVIEWED ALL RECORDS AND PLANS AND HAS FOUND NO OTHER SURVEYS OR RECORDS THAT AFFECT THIS SURVEY. THE SURVEYOR HAS REVIEWED ALL RECORDS AND PLANS AND HAS FOUND NO OTHER SURVEYS OR RECORDS THAT AFFECT THIS SURVEY. THE SURVEYOR HAS REVIEWED ALL RECORDS AND PLANS AND HAS FOUND NO OTHER SURVEYS OR RECORDS THAT AFFECT THIS SURVEY.

LOCAL DESCRIPTION

The SE $\frac{1}{4}$ NW $\frac{1}{4}$ of Section 7, Township 39 North, Range 8 West, N.M.P.M., San Juan County, Colorado
LIMECREEK is a portion of a tract of land located in the SE $\frac{1}{4}$ NW $\frac{1}{4}$ of Section 7, Township 39 North, Range 8 West, N.M.P.M., San Juan County, Colorado. The land is located in the SE $\frac{1}{4}$ NW $\frac{1}{4}$ of Section 7, Township 39 North, Range 8 West, N.M.P.M., San Juan County, Colorado.

SURVEYOR'S CERTIFICATION

I, John S. Moore, P.L.S., do hereby certify that I am a duly licensed and qualified surveyor under the laws of the State of Colorado and that I have personally supervised and directed the making of this survey and that the same is true and correct to the best of my knowledge, belief and information based on the facts and circumstances known to me at the time of the making of this survey and in accordance with the laws of Colorado and in accordance with the standards of the profession of surveying.

John S. Moore, P.L.S.
Colorado Registration No. 37060

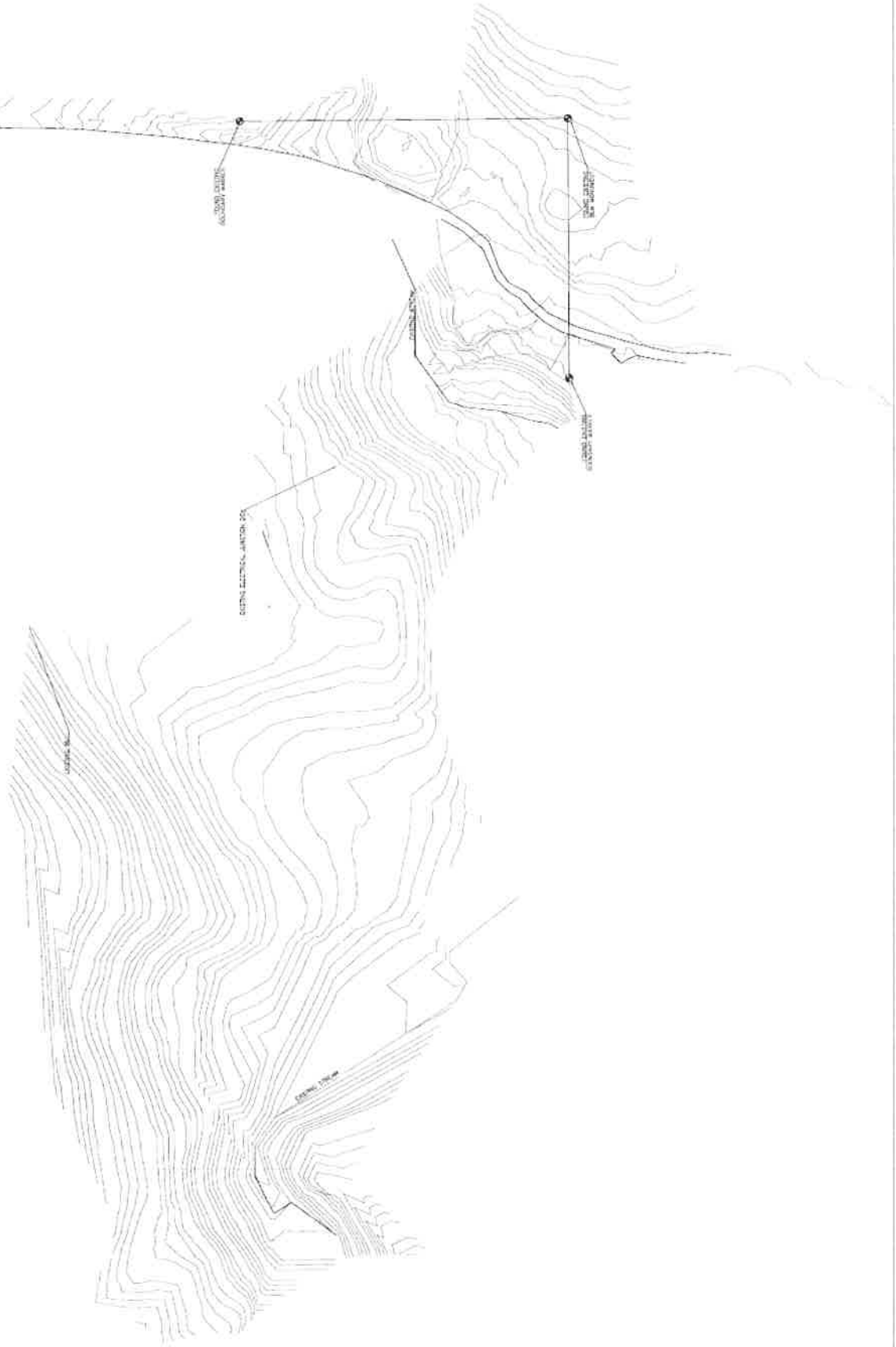
Mountain Man Surveying

610 Box 408
Durango, CO 81303
Phone 970-273-6204
Cell 970-248-1886

Topographic Survey
Limecreek Properties LLC
a portion of a tract of land located in the SE $\frac{1}{4}$ NW $\frac{1}{4}$
Section 7, T39N, R8W, N.M.P.M.
San Juan County County, Colorado

Project No: 18-04
Contract No: 18-04
Date: 10/17/17
Scale: 1"=80'
Project No: 18-04

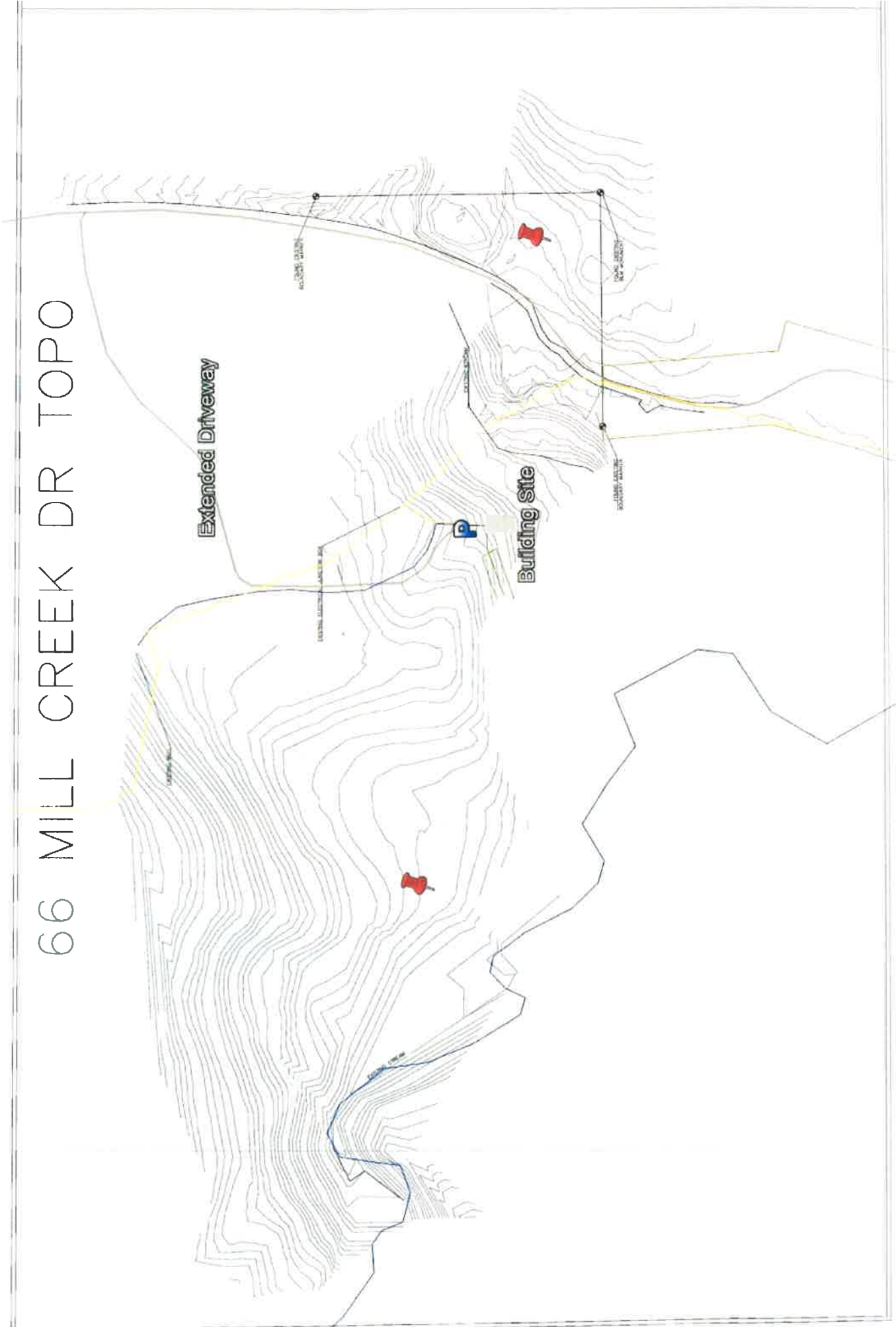
66 MILL CREEK DR TOPO



Vicinity Maps

Proposed Accessory Cabin for 66 Mill Creek Dr

66 MILL CREEK DR TOPO



SCENIC QUALITY REPORT

Proposed Accessory Cabin for 66 Mill Creek Dr

1. INTRODUCTION AND SITE LOCATION

San Juan County regulations state the following:

All development proposals... *shall be required to include a Scenic Quality Report as part of the sketch plan submittal.*

This is a Scenic Quality Report for the proposed accessory cabin located in the South County area, at 66 Mill Creek Drive.

The proposed ADU is located off Lime Creek Rd, north of the Know Your Neighbor Subdivision. The current residence is being accessed by a shared easement (green) which is accessed from the County's current plowed snow routes. This access is to remain in place and be utilized for the proposed ADU

The site is located within the County's Master Plan defined areas where development is to be concentrated and encouraged, when compared to development on more remote and less accessible backcountry sites.



SCENIC QUALITY REPORT

Proposed Accessory Cabin for 66 Mill Creek Dr

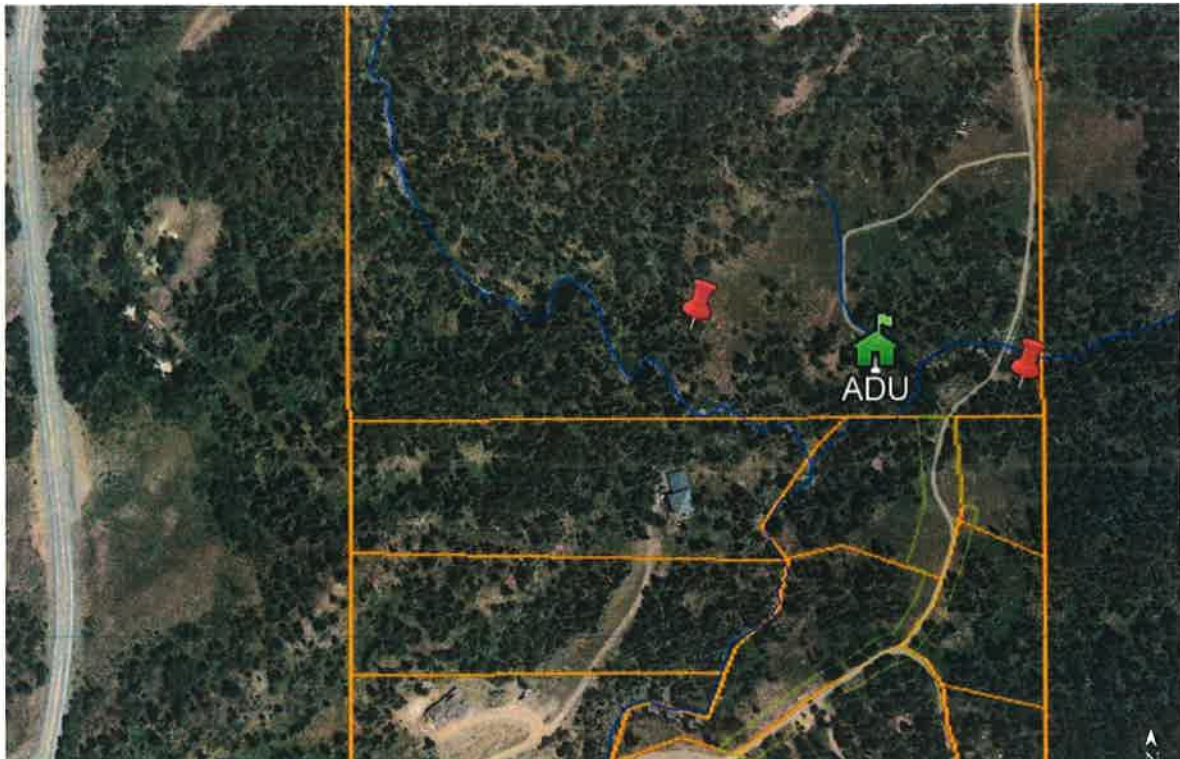
2. PROJECT SITE AND PROPOSED ADU LOCATION

County regulations require that this Scenic Quality Report include the following information:

Designations of scenic views of natural and historic features both from and toward the site and descriptions of how these vistas shall be preserved. Graphic depictions of the proposed structure's impact on these views shall be submitted to allow staff, the Planning Commission, and the Board of County Commissioners to assess the impacts of the project and the effectiveness of proposed mitigation measures.

The whole property consists of approximately thirty-eight acres of wooded slopes (Aspens and Pine), with flat to rolling stepped meadows. Mill Creek and another smaller tributary pass through the property. The river areas are wooded ravines and across Mill Creek to the west are steep wooded slopes and large cliffs. North of the property is Mill Creek Lodge Estates Subdivision. South of the property is Know Your Neighbor Subdivision. To the east and west is Forest Service. Highway 550 is 550 feet to the west from the west property boundary through dense forest and then an open meadow. The approximate elevation at the site is 8950 to 9100 feet. The property has the Mill Creek running approximately along the western edge of it, cutting across the Southwest corner, exiting exits near the middle of the southern border. The other small tributary runs in from the east through the south edge and also exits near the middle of the southern border.

The proposed ADU will be located in a forested area surrounded by tall Pines and Aspens which will provide 100% screening from all public roads. The existing topography and forest completely shields the proposed area from Highway 550 and Lime Creek Rd for those driving between Durango and Silverton, or along Lime Creek Rd.



SCENIC QUALITY REPORT

Proposed Accessory Cabin for 66 Mill Creek Dr

3. VISIBILITY FROM HIGHWAY 550

Highway 550 passes near the proposal on the west, with zero visibility of the actual property. It is approximately 550 feet from the property line, half through open meadow and half through thick forest. Highway 550 will have zero impact from the proposal. The property is completely obscured on all sides.

The following pictures are generated scenes of the proposed property using only the elevation of the ground (excluding the forest), in order to give the viewer a perspective of where the site is located. Following will be an actual photo from the Highway, to demonstrate the effect of the forest cover.



This generated view is a bit elevated above the highway to see over the contour of the hillside to portions of the proposed road, normally obscured by the topography..



This view is from the elevation of 550 looking East showing the entire property is shielded by topography.

SCENIC QUALITY REPORT
Proposed Accessory Cabin for 66 Mill Creek Dr



This is an actual view showing the cover of the trees. The downed tree in the meadow is for reference.



This is a view from a similarly located spot looking more Northeast, showing the continuous cover of the trees.

SCENIC QUALITY REPORT

Proposed Accessory Cabin for 66 Mill Creek Dr

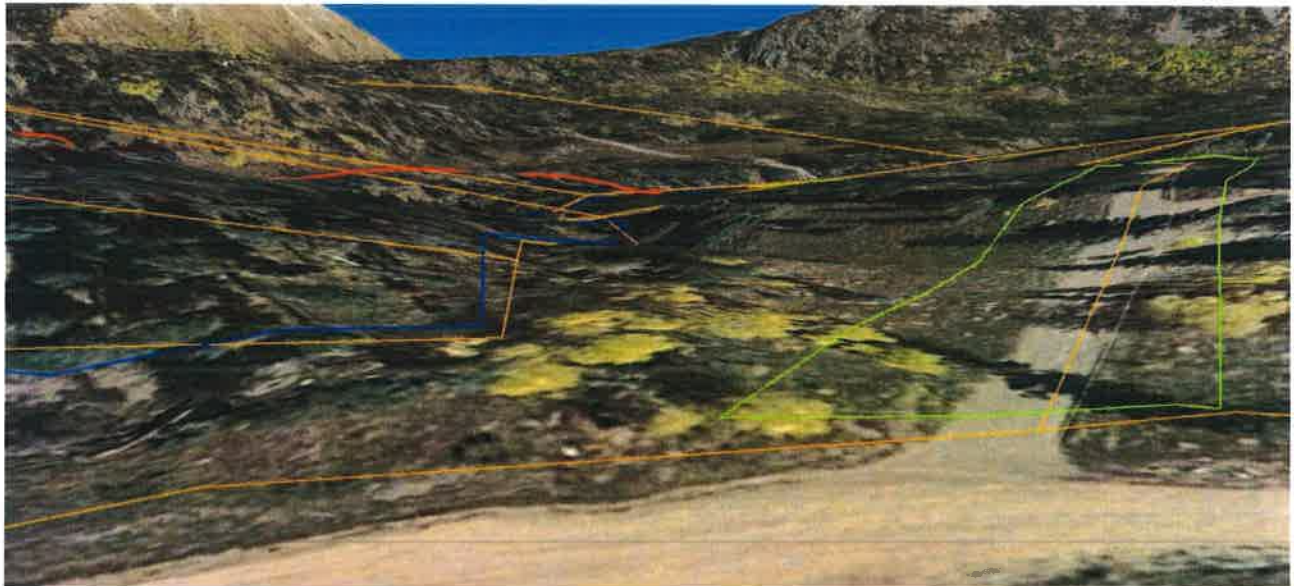
4. VISIBILITY FROM LIME CREEK ROAD

Lime Creek Road passes below the project site, 300 feet at the closest point to the south through thick forest, and private property. Lime Creek Road provides access from Highway 550 to Know Your Neighbor Subdivision properties, Potato Lake Trailhead, and a portion of the San Juan National Forest. Lime Creek Rd follows Cascade Creek briefly, then Mill Creek for an equally short distance, and passes over the hills below Spud Mountain, before continuing along Lime Creek until it meets back up with Highway 550 after approximately 11 total miles. Lime Creek is a one lane wide, naturally graded, typical gravel road, and in the winter it is plowed for residential access.

The proposed ADU will not be visible from Lime Creek Road at any point. The site is completely obscured on all sides, providing no opportunity for it to be seen by drivers at any point along the road.



The view from Lime Creek Rd is completely obscured.



Generated view of approximately the same area, elevated slightly to show the location of the proposed road over the obscuring topography.

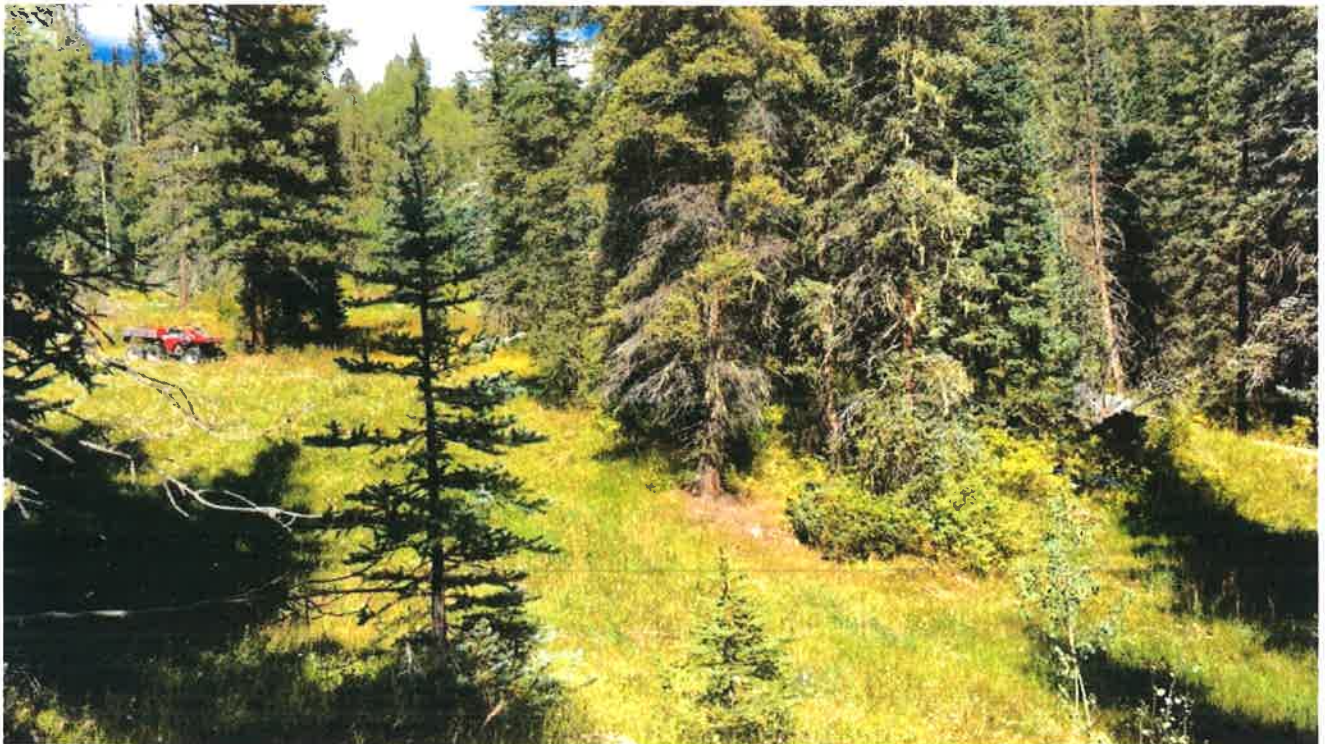
SCENIC QUALITY REPORT
Proposed Accessory Cabin for 66 Mill Creek Dr

5. VIEWS FROM THE PROPOSED ADU - County Scenic Quality Report regulations request that we provide information about the view FROM the site.

Views from the building site are restricted by the natural vegetation.



A view from the site looking South.



A view from the site looking Northeast towards Spud Mountain.

SCENIC QUALITY REPORT
Proposed Accessory Cabin for 66 Mill Creek Dr

6. VISIBILITY FROM PUBLIC LANDS AND EXISTING TRAILS

The County Scenic Quality regulations require the following information:

Evidence that the location of the structure is designed to minimize the visual impacts and to not detract from the scenic quality of adjacent public lands or existing trails.

Here is information regarding individual (underlined) parts of the above regulation:

Location of the structure:

The applicant has planned the accessory cabin in the forest with the surrounding vegetation providing cover. The photos above show the extent of the natural cover.

The Scenic Report regulation requires information about how the Applicants selected (or did not select) a "location of structure" to minimize "visual impacts" from "adjacent public lands" and "existing trails."

The choice of the location is such that all visual impacts from public lands and trails are zero. The site is impossible to see from any public lands and scenic byways. There is a chance that one neighbor will get the occasional glimpse of the ADU through the thick forest between their lot and the ADU.

Adjacent public lands:

The project site borders Forest Service public lands on both sides. Due to the size of the property and the dense vegetation, there will be no visibility from any public lands. The existing forest (pine and aspen grove) screens the proposed site and access road from any visibility that could come from adjacent public lands. Additionally, the mentioned Forest Service public lands rarely see any visitors given its distance from the public access roads.

Existing trails:

There are no significant trails in the viewing vicinity of the project site. The Potato Lake Trail does not have any views of the property.

SCENIC QUALITY REPORT

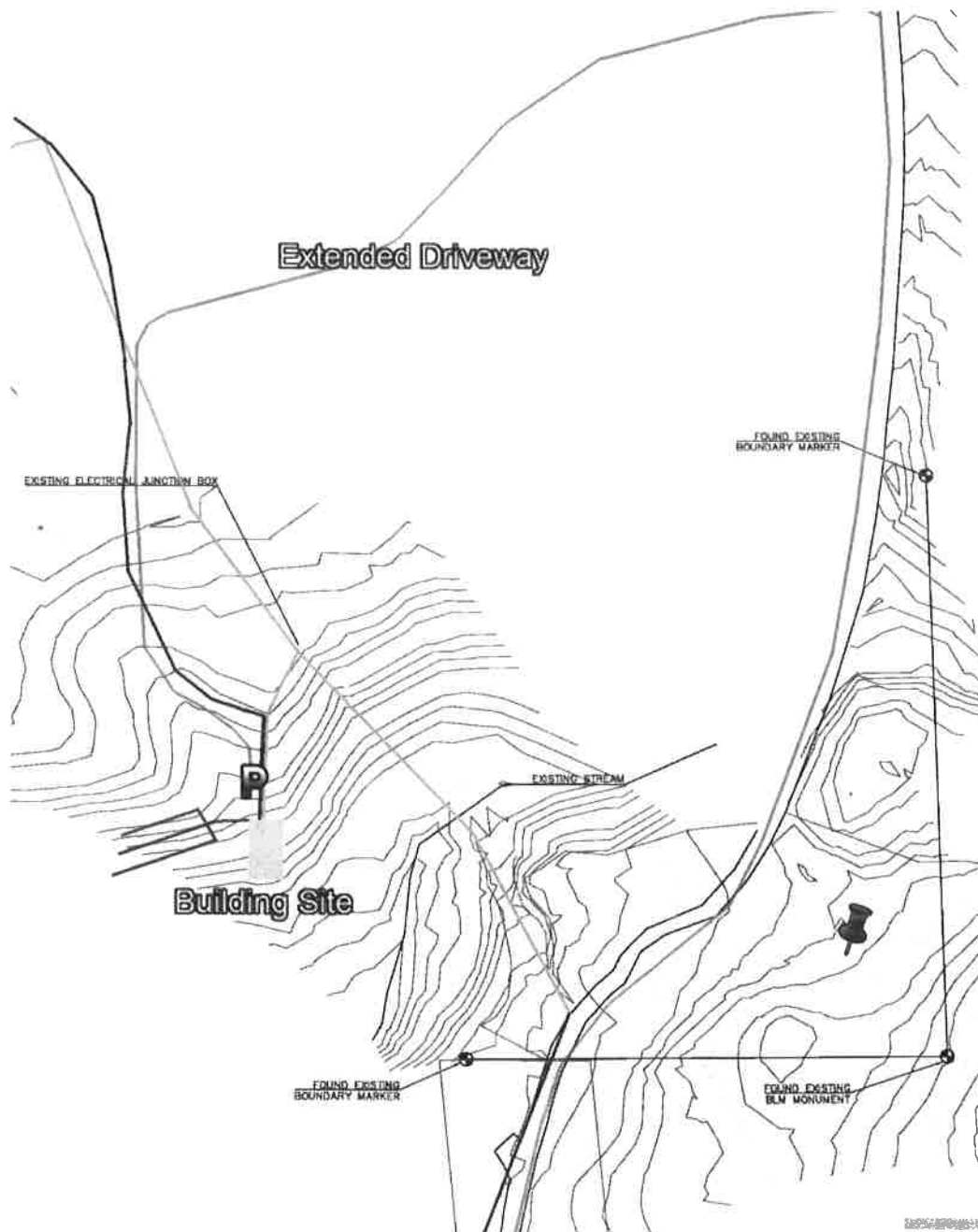
Proposed Accessory Cabin for 66 Mill Creek Dr

7. SITE DESIGN WORKS WITH NATURAL TOPOGRAPHY

County regulations require that the Scenic Quality Report includes information regarding the following:

Evidence that the designs orient improvements in ways that allow them to blend in with and utilize the natural topography. The submittal shall include, but not be limited to, elevations at a scale suitable for a determination that all standards in this section have been met, Three-Dimensional Modeling, etc.

The proposed accessory cabin site has been designed to work with the existing topography on the property as best as possible. Zero cutting and filling will be necessary for the new stretch of driveway.



Topography showing the new road in grey lines and the building envelope as a grey box.

SCENIC QUALITY REPORT

Proposed Accessory Cabin for 66 Mill Creek Dr

8. TOPSOIL, UTILITIES, LIGHTING, AND DRIVEWAYS

This section of the Scenic Report describes design features associated with topsoil, location of utilities, exterior lighting, and any proposed driveway(s).

A. TOPSOIL - County regulations require that the project should include the following:

Plans to remove and save topsoil, prior to any grading or excavation and replacement, for reuse during re-vegetation.

Any topsoil removed during construction of the proposed improvements will be separately stockpiled on-site, to be used for landscaping or spread.

B. UTILITIES - County regulations require that the project should include the following:

Location. and installation of utilities in ways that will cause the least damage to the natural environment.

The project includes the following proposed utilities: a proposed underground septic system with leach field, associated underground sewer piping, and proposed water supply equipment and lines. The applicant plans to tie in to an existing electric line on the property and to have La Plata Electric install a meter. The septic system leach field location was selected based on San Juan Basin Health Department regulations and setbacks with the help of a licensed engineer. The utility construction will occur with the least amount of disturbance necessary, in order to limit any damage to the natural environment. All these utilities are underground for the least impact possible. No utilities will be run above ground.

C. EXTERIOR LIGHTING - County regulations require that the project should include the following:

Provisions requiring shielding of exterior lighting to prevent direct visibility of light bulbs from off-site, directing of all exterior lighting toward either the ground or the surface of a building and prohibiting high-intensity sodium vapor or similar lighting.

The proposed exterior lighting for this project is a minimum amount of downward facing lighting, just enough for safety purposes. No sodium vapor lights are proposed or will be used. All exterior lighting will be in conformance with the requirements of San Juan County regulations. We, as well, want to preserve the night sky.

D. DRIVEWAYS - County regulations require that the project should include the following:

Design and construction plans for roads and associated structures that bear a logical relationship to existing topography to minimize the need for cuts and fills.

There is an existing driveway for the original residence, off Lime Creek Rd., utilizing right-of-ways through various Know Your Neighbor Subdivision lots. The driveway will remain and be used for the proposed accessory cabin. Additional driveway will be installed on the property. Zero cutting and filling will be necessary for the new driveway section. The construction will be conducted as to minimize excavation and disturbance.

Working with the topography, the proposed access improvements are designed to require the minimum amount of grading and other disturbance to the environment needed for access to the ADU. Please refer to the Sketch Plan and Sketch Plan with Topography included within this submittal for depictions of the layout of the existing access.

SCENIC QUALITY REPORT

Proposed Accessory Cabin for 66 Mill Creek Dr

9. BUILDING MATERIALS - County regulations require that the building design should include the following:

Utilization of colors and textures found naturally in the landscape and prohibition of reflective materials, such as highly reflective glass or metals.

In addition to the entire proposal being completely shielded from all public highways and county roads, the proposed accessory cabin will utilize natural colors and textures.

10. DESIGN AND ORIENTATION

County regulations require that the Scenic Quality Report includes information regarding the following: *Include evidence to demonstrate that the site improvements are designed and/or oriented in ways that allow them to blend in with and utilize the natural topography and vegetation.*

The accessory cabin site is among the trees and will be completely obscured from the Highway and Lime Creek Rd. The topography and forest itself provides the natural visual barriers. Since the entire proposal will be situated within the forest, the full intent of this design requirement will be met.

11. CONCLUSION

In conclusion, this project appears to be in strong conformance with the County Scenic Quality regulations in the following ways:

- The applicant's proposal is in an area that has zero visibility from highways, county roads, established trails, etc. due to the topography and surrounding forest. The area will have zero visibility from adjacent public lands, and additionally those areas are effectively never used.
- The proposed building and associated improvements bear a logical relationship to the surrounding topography and minimize excavation/fill.
- All utilities will be underground for the least impact possible.
- All design decisions are meant to have the least impact on the natural topography and environment.

ROAD EASEMENT AND RIGHT-OF-WAY

The undersigned Grantors, being all of the owners of Tracts 4 and 6 of the surveyed plat of Lime Creek Area (Frederick H. Reed, Registered Land Surveyor, State of Colorado, No. 4431), as revised August 4, 1969, File No. 69037, (being part of the Northeast 1/4 of the Southwest 1/4 of Section 7, Township 39 North, Range 8 West), hereby grant unto the Grantees, Ronald Grob, Rebecca J. Grob, Arlene G. Perry, Robert J. Sauer, Alice Sauer, Theodore Grob, Jr., Kay E. Grob and Gideon Murray, and their successors and assigns, an easement and right-of-way described on Exhibit A for road purposes to ingress and egress over said road to a parcel of land owned by Grantees and described in Exhibit B.

This road easement and right-of-way is granted with the following restrictions:

1. The Grantees or successors and assigns shall not subdivide the parcel of land described in Exhibit B into more than four parcels without the written consent of the owners of said Tracts 4 and 6 of Lime Creek Area.
2. No business, commercial, or high density dwelling units will be constructed on the property described in Exhibit B.
3. The road granted by this easement and right-of-way shall not be connected to another road that services property other than the property described on Exhibit B.
4. The above restrictions shall terminate 99 years after this road easement and right-of-way has been recorded.

It is the intent of this easement and right-of-way to grant the owners of the property described in Exhibit B with an access road described in Exhibit A to the property described in Exhibit B which access road crosses over part of said Tracts 4 and 6 of Lime Creek Area owned by Grantors.

Dated: July 22, 1988

Paul O. Cline
PAUL O. CLINE

Ruth O. Cline
RUTH O. CLINE

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

Subscribed and sworn to before me this 22nd day of July, 1988, by Paul O. Cline and Ruth O. Cline.

My Commission expires: 3-15-90



Theride Sherwood
Notary Public

Return to:
COLORADO LAND TITLE CO.
970 1/2 Main Ave. P.O. Box 197
Durango, Colorado 81302
(303) 247-5464

CDS

Engineering Corporation

EXHIBIT A

**REVISED
RIGHT-OF-WAY AND EASEMENT
DESCRIPTION**

A parcel of land in the Northeast One-Quarter of the Southwest One-Quarter of Section 7, Township 39 North, Range 8 West of the New Mexico Principal Meridian, San Juan County, Colorado, described as follows:

All bearings contained herein are relative to the Survey Plat of the Lime Creek Area as revised 8-4-69, File No. 69037, by Frederick H. Reed, PLS #4431.

Beginning at the Northeast Corner of Tract No. 5 of said Survey Plat; THENCE North 89°50'00" West, 70.26 feet along the northerly line of said Tract No. 5; THENCE South 04°43'00" East, 162.31 feet; THENCE South 15°29'00" West, 90.86 feet; THENCE South 20°23'00" West, 35.07 feet to a point on the southerly line of said Tract No. 5; THENCE South 70°52'00" East, 40.01 feet along said southerly line; THENCE South 20°23'00" West, 47.70 feet; THENCE South 37°46'00" West, 81.79 feet; THENCE South 73°05'00" West, 33.36 feet; THENCE South 56°35'00" West, 77.45 feet; THENCE South 63°05'00" West, 44.79 feet; THENCE South 55°04'00" West, 64.26 feet; THENCE South 53°11'00" West, 183.63 feet to a point on the southerly line of Tract No. 7; THENCE South 72°18'00" East, 36.84 feet to the corner common to Tracts 7 and 9; THENCE South 72°18'00" East, 29.48 feet along a westerly line of Tract No. 9; THENCE South 33°12'00" East, 6.01 feet along a westerly line of said Tract; THENCE North 53°11'00" East, 144.52 feet; THENCE North 55°04'00" East, 59.07 feet; THENCE North 63°05'00" East, 43.99 feet; THENCE North 56°35'00" East, 72.15 feet; THENCE North 73°05'00" East, 43.76 feet; THENCE North 37°45'00" East, 110.07 feet; THENCE North 20°23'00" East, 92.37 feet; THENCE North 15°29'00" East, 111.28 feet; THENCE North 74°31'00" West, 30.00 feet to an angle point on the easterly line of Tract No. 5; THENCE North 04°43'00" West, 168.05 feet to the Point of Beginning. Said parcel containing 1.31 Acres, more or less.

SURVEYOR'S CERTIFICATE

I, the undersigned, a Registered Professional Land Surveyor in the State of Colorado, do hereby certify that this legal description was prepared by me or under my supervision and is true and accurate to the best of my knowledge.

David M. Poeschl Colo. L.S. #17662



CDS

Engineering Corporation

401 236 P. 401

EXHIBIT B

RON GROB
P-87-6057
5-13-88

**REVISED
SOUTH PARCEL DESCRIPTION**

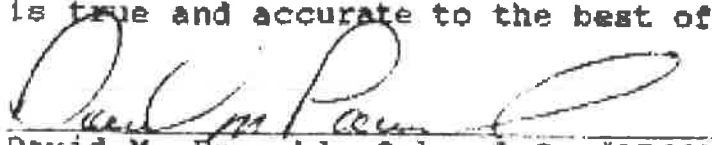
A parcel of land situated in the East One-Half of the Northwest One-Quarter of Section 7, Township 39 North, Range 8 West of the New Mexico Principal Meridian, San Juan County, Colorado, more particularly described as follows:

All bearings contained herein are based on a survey of the Southwest One-Quarter of the Southwest One-Quarter and the Southeast One-Quarter of the Southwest One-Quarter of Section 6 and the East One-Half of the Northwest One-Quarter of Section 7, Township 39 North, Range 8 West of the New Mexico Principal Meridian done in February 1978 by Ernet Engineering, Durango, Colorado, and are relative thereto.

Beginning at the Center One-Quarter Corner of said Section 7; THENCE South 89°59'00" West, along the southerly line of the Southeast One-Quarter of the Northwest One-Quarter of Section 7, 1320.00 feet to the Southwest Corner of the Southeast One-Quarter of the Northwest One-Quarter; THENCE North 01°12'20" East, along the westerly line of the Southeast One-Quarter of the Northwest One-Quarter, 965.00 feet to a point; THENCE North 89°59'00" East, 750.00 feet to a point; THENCE North 56°59'00" East, 295.00 feet to a point; THENCE North 01°12'20" East, 562.68 feet to a point; THENCE North 89°54'00" East, 326.03 feet to a point on the easterly line of the Northeast One-Quarter of the Northwest One-Quarter of Section 7; THENCE South 01°12'20" West, along said easterly line, 356.16 feet to the Southeast Corner of the Northeast One-Quarter; THENCE South 01°12'20" West, along the easterly line of the Southeast One-Quarter of the Northwest One-Quarter, 1332.70 feet to the point of beginning. Said parcel containing 35.10 Acres, more or less.

SURVEYOR'S CERTIFICATE

I, the undersigned, a Registered Professional Land Surveyor in the State of Colorado, do hereby certify that this legal description was prepared by me or under my supervision and is true and accurate to the best of my knowledge.


David M. Poeschl Colo. L.S. #17662



INDEXED

Recorded at 9:00 o'clock A.M. Dec 21, 1987 Bk 231
Reception No. 132067 Mary E. Jensen Recorder. pg 670 crw
672

THIS DEED, Made this 2nd day of December, 1987,

between THEODORE GROB and MAVIS GROB

603 Beech Street, Grafton, Wisconsin 53024

County of Ozaukee and State of Wisconsin, of the first part, and RONALD GROB, REBECCA J. GROB, ARLENE G. PERRY, ROBERT J. SAUER, ALICE SAUER, THEODORE GROB, JR., KAY E. GROB, and GIBBON MURRAY, whose legal address is

c/o Ronald Grob, Coordinating Partner, 3115 Bent Drive, Loveland, Colorado 80538
County of Larimer and State of Colorado, of the second part:

WITNESSETH, That the said parties of the first part, for and in consideration of TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION-----DOLLARS to the said parties of the first part in hand paid by said parties of the second part, the receipt whereof is hereby confessed and acknowledged, have granted, bargained, sold and conveyed, and by these presents do grant, bargain, sell, convey and confirm, unto the said parties of the second part, their heirs and assigns forever, all the following described lot or parcel of land, situate, lying and being in the County of San Juan and State of Colorado, to wit:

The Right-of-Way Easement reserved by Grantors in a Warranty Deed to Timothy Murray and described in Exhibit A and B attached hereto.

STATE OF COLORADO DEED
DATE Dec 21, 1987
C. Jensen

TO HAVE AND TO HOLD

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the said parties of the first part, either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances.

TO HAVE AND TO HOLD the said premises above bargained and described with the appurtenances, unto the said parties of the second part, their heirs and assigns forever. And the said parties of the first part, for themselves, their heirs, executors, and administrators, do covenant, grant, bargain, and agree to and with the said parties of the second part, their heirs and assigns, that at the time of the ensealing and delivery of these presents, they are well seized of the premises above conveyed, as of good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and have good right, full power and authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments and encumbrances of whatever kind of nature soever. Subject to 1987 taxes payable in 1988, restrictions, reservations, easements, rights-of-way, and covenants of record.

and the above bargained premises in the quiet and peaceable possession of the said parties of the second part, their heirs and assigns against all and every person or persons lawfully claiming or to claim the whole or any part thereof, the said parties of the first part shall and will WARRANT AND FOREVER DEFEND.

IN WITNESS WHEREOF, the said parties of the first part have hereunto set their hands and seal this the day and year first above written.

STATE OF COLORADO, Wisconsin
County of OZAUKEE

Theodore Grob (SEAL)
THEODORE GROB (SEAL)
Mavis Grob (SEAL)
MAVIS GROB (SEAL)

The foregoing instrument was acknowledged before me this 2nd day of December, 1987, by Theodore Grob and Mavis Grob
My commission expires 8-18-91

1987 / at 10:30 AM
Witness my hand and seal.
Suzanne Ribberson
Notary Public

Burton, Busch & Garcin
Attorneys at Law
903 N. Cleveland, Ave., Suite A
Loveland, CO 80537

122666

hand title: 1201 main

136-231
Pg 677

EXHIBIT A

A Right-of-Way Easement on Tract No. 5 of the survey plat of the Lime Creek Area as shown on the CDS Engineering Corporation drawing attached hereto as Exhibit B. The Right-of-Way Easement is located in the Northeast one-quarter of the Southwest one-quarter of Section 7, Township 39 North, Range 8 West of the New Mexico Principal Meridian, County of San Juan, State of Colorado more particularly described as follows:

All bearings contained herein are relative to the northerly line of said Tract No. 5 as North 89°50'00" West.

The True Point of Beginning being the northeasterly corner of said Tract No. 5. Thence North 89°50'00" West, 70.26 feet along the northerly line of said Tract No. 5; thence South 04°43'00" East, 162.31 feet; thence South 15°29'00" West, 90.86 feet; thence South 20°23'00" West, 35.07 feet to a point on the southerly line of said Tract No. 5; thence South 70°52'00" East, 70.02 feet along said southerly line of Tract No. 5; thence North 20°23'00" East, 33.55 feet; thence North 15°29'00" East, 110.00 feet; thence North 04°43'00" West, 168.05 feet to the true point of beginning. Said parcel contains 0.5 acres more or less.

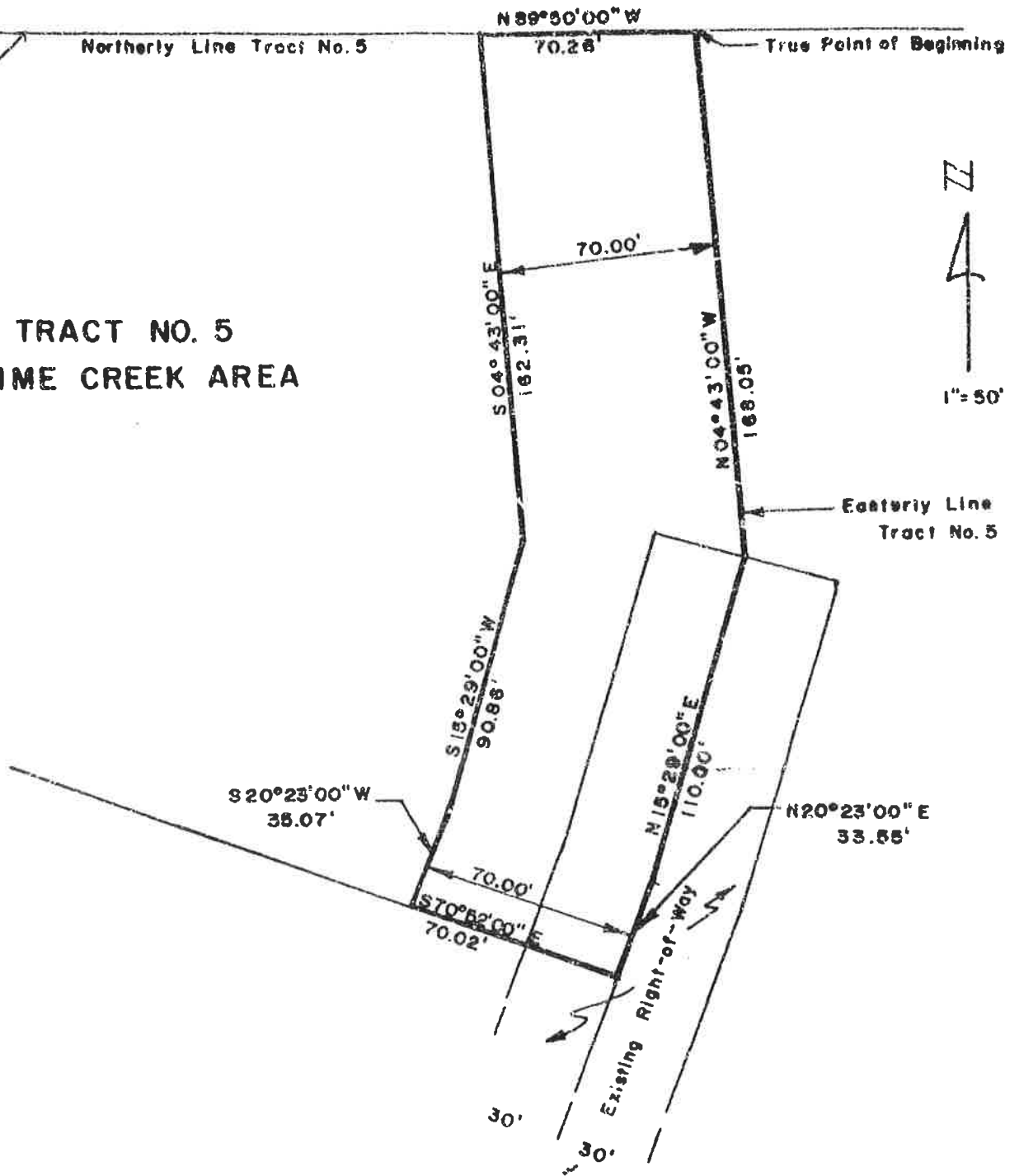
This Right-of-Way Easement is upon, over, under, and across said described parcel of land, and may be used for the construction of a road; to construct, operate, maintain, and remove utility facilities, which from time to time the Grantors, their successors and assigns, may wish to place upon said Right-of-Way Easement; for ingress and egress over and across the described Right-of-Way Easement property.

The Grantors and their successors and assigns shall have the right to clear and keep cleared all trees and other obstructions as may be necessary or desirable, and shall also have the right to permit utility companies to use the Right-of-Way Easement.

EXHIBIT "B"

175 031
25 200

TRACT NO. 5
LIME CREEK AREA



Page 666
Line 669

Recorded at 4:00 o'clock P.M. December 21, 1987
Reception No. 132066 Mary Anderson Recorder.

INDEXED EX

THIS DEED, Made this 2nd day of December, 1987

between THEODORE GROB and MAVIS GROB

County of Ozaukee and State of Wisconsin of the first part, and

TIMOTHY MURRAY whose legal address is c/o Robert Murray, 1275 Riverside Drive, Aspen, Colorado 81611

of the County of Pitkin and State of Colorado, of the second part:

WITNESSETH, That the said parties of the first part, for and in consideration of TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION DOLLARS to the said parties of the first part in hand paid by said party of the second part, the receipt whereof is hereby confessed and acknowledged, have granted, bargained, sold and conveyed, and by these presents do grant, bargain, sell, convey and confirm, unto the said party of the second part, his heirs and assigns forever, all the following described lots or parcels of land, situate, lying and being in the said County of San Juan and State of Colorado, to wit:

See Exhibit A attached hereto.

DATE RECORDED IN
DATE Dec 21, 1987
Attempt

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the said parties of the first part, either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances.

TO HAVE AND TO HOLD the said premises above bargained and described with the appurtenances, unto the said party of the second part, his heirs and assigns forever. And the said parties of the first part, for themselves, their heirs, executors, and administrators, do covenant, grant, bargain, and agree to and with the said party of the second part, his heirs and assigns, that at the time of the ensealing and delivery of these presents, they are well seized of the premises above conveyed, as of good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and have good right, full power and authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments and encumbrances of whatever kind of nature soever. Subject to 1987 taxes payable in 1988, restrictions, reservations, easements, rights-of-way, and covenants of record.

and the above bargained premises in the quiet and peaceable possession of the said party of the second part, his heirs and assigns against all and every person or persons lawfully claiming or to claim the whole or any part thereof, the said parties of the first part shall and will WARRANT AND FOREVER DEFEND.

IN WITNESS WHEREOF, the said parties of the first part have hereunto set their hands and seal the day and year first above written.

THEODORE GROB (SEAL)
MAVIS GROB (SEAL)

STATE OF COLORADO, WISCONSIN

County of OZAUKEE

The foregoing instrument was acknowledged before me this 2nd day of December, 1987, by Theodore Grob and Mavis Grob.

My commission expires 8-18-91

at 10:00 a.m. 1987. Witness my hand and official seal.
Suzanne Rubbens Notary Public

Burton, Busch & Garcin
Attorneys at Law
303 N. Cleveland, Ave., Suite A
Loveland, CO 80537

12266

22 231
17 667

EXHIBIT A

A tract of land in the NE 1/4 SW 1/4 of Section 7, Township 39 North, Range 8 West, N.M.P.M., San Juan County, Colorado, more particularly described as follows:

BEGINNING at a point whence the Southwest Corner of said Section 7 bears South 41°06' West, 3494.92 feet;
Thence North 89°50' West, 218.72 feet;
Thence South 45°13' West, 70.80 feet;
Thence South 35°15' West, 183.59 feet;
Thence South 39°11' East, 82.99 feet;
Thence North 77°16' East, 109.08 feet;
Thence South 70°52' East, 199.89 feet;
Thence North 20°23' East, 33.55 feet;
Thence North 15°29' East, 110.00 feet;
Thence North 04°43' West, 168.05 feet to the point of beginning.

TOGETHER WITH a right-of-way 60 feet in width, the centerline of which is described as follows: BEGINNING at a point in the County Road from whence the Southwest Corner of Section 7 aforesaid bears South 43°10' West, 2726.31 feet;
Thence North 53°11' East, 161.75 feet;
Thence North 55°04' East, 61.67 feet;
Thence North 63°05' East, 44.39 feet;
Thence North 56°35' East, 74.80 feet;
Thence North 73°05' East, 38.56 feet;
Thence North 37°46' East, 95.93 feet;
Thence North 20°23' East, 86.50 feet;
Thence North 15°29' East, 110.00 feet to a point.

Reserving unto the Grantors, the Grantors' heirs, successors, assigns, the following described Right-of-Way Easement on Tract No. 5 of the survey plat of the Lime Creek Area as shown on the CDS Engineering Corporation drawing attached hereto as Exhibit B. The Right-of-Way Easement is located in the Northeast one-quarter of the Southwest one-quarter of Section 7, Township 39 North, Range 8 West of the New Mexico Principal Meridian, County of San Juan, State of Colorado more particularly described as follows:

All bearings contained herein are relative to the northerly line of said Tract No. 5 as North 89°50'00" West.

The True Point of Beginning being the northeasterly corner of said Tract No. 5. Thence North 89°50'00" West, 70.26 feet along the northerly line of said Tract No. 5; thence South 04°43'00" East, 162.31 feet; thence South 15°29'00" West, 90.86 feet; thence South 20°23'00" West, 35.07 feet to a point on the southerly line of said Tract No. 5; thence South 70°52'00" East, 70.02 feet along said southerly line of Tract No. 5; thence North 20°23'00" East, 33.55 feet;

21
07 068

thence North 15°29'00" East, 110.00 feet; thence North 04°43'00" West, 168.05 feet to the true point of beginning. Said parcel contains 0.5 acres more or less.

This Right-of-Way Easement is upon, over, under, and across said described parcel of land, and may be used for the construction of a road; to construct, operate, maintain, and remove utility facilities, which from time to time the Grantors, their successors and assigns, may wish to place upon said Right-of-Way Easement; for ingress and egress over and across the described Right-of-Way Easement property.

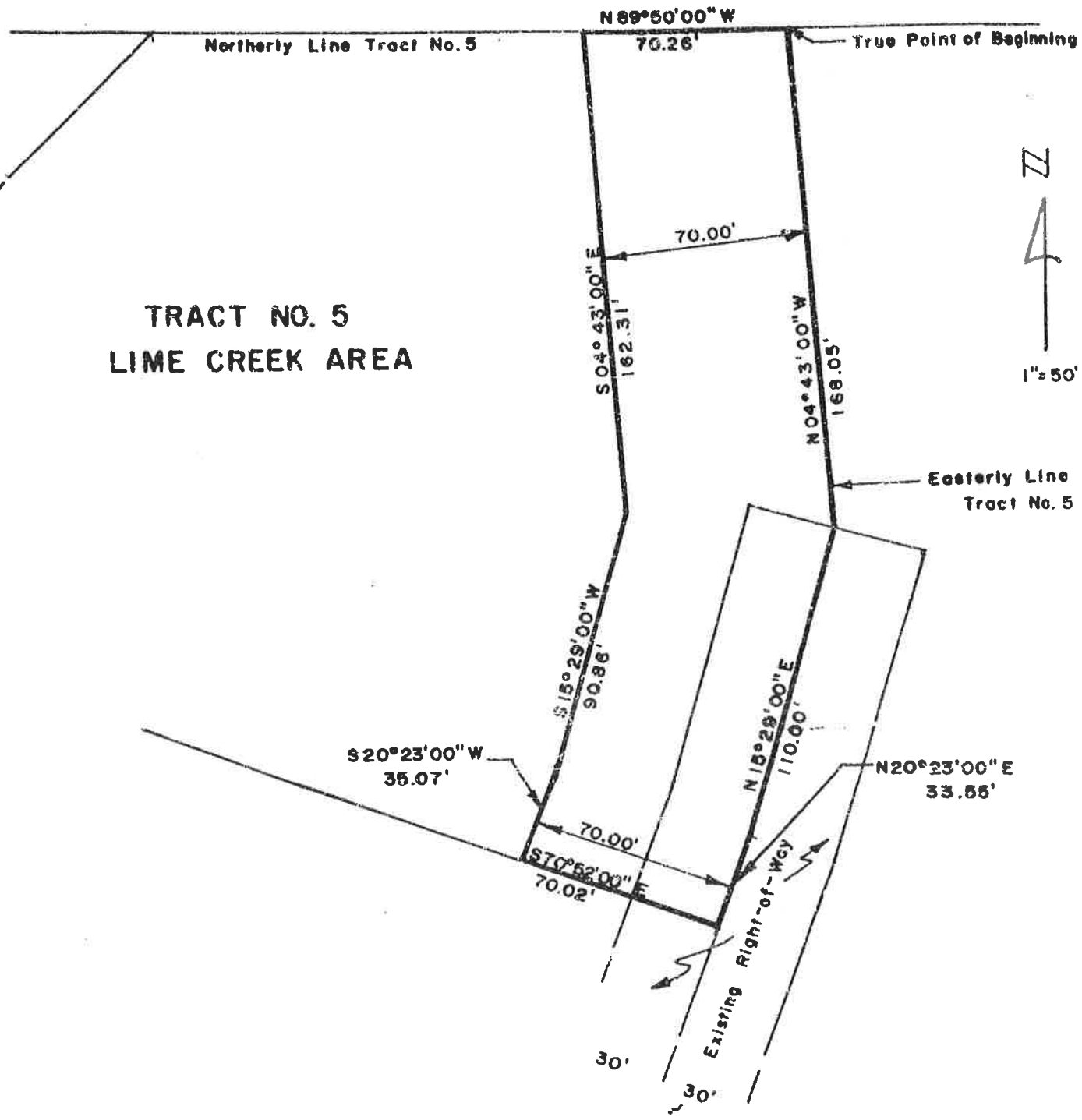
The Grantors and their successors and assigns shall have the right to clear and keep cleared all trees and other obstructions as may be necessary or desirable, and shall also have the right to permit utility companies to use the Right-of-Way Easement.

The Grantee and his successors and assigns hereby acknowledges by recording of this Deed, that the Grantors intend to convey this Right-of-Way Easement to a partnership and that said partnership intends to develop adjacent land that very likely will result in a substantial increase in the use of said Right-of-Way Easement by many additional parties that are the successors and assigns of the Grantors.

EXHIBIT "B"

22 2 W
23 2 W

TRACT NO. 5
LIME CREEK AREA



SAN JUAN BASIN public health

Permit # _____

Year _____

APPLICATION to Construct, Alter, or Repair an On-site Wastewater Treatment System

Owner: Diane Campbell Phone: 808-492-0008, 801-628-2888

Site address: 66 Mill Creek Dr, Durango, CO 81301

Assessor's parcel # 50910000070008 Subdivision: n/a Lot#: n/a

Lot size: 38 (acres) # of Dwellings: n/a # of Bedrooms: n/a Water supply: Spring

I acknowledge: (1) This application does not guarantee that an On-site Wastewater Treatment System ("OWTS") can be installed or a building permit issued; (2) The issuance of the OWTS permit does not imply any warranty by San Juan Basin Public Health as to the operation of the OWTS; (3) The OWTS must be constructed in accordance with the San Juan Basin Public Health On-site Wastewater Treatment System Regulations; and (4) The owner of the property assumes the responsibility and liability for the proper maintenance of the OWTS.

Date: 1/31/2021 Owner's signature: *Diane Campbell*

Owner's mailing address: 66 Mill Creek Dr, Durango, CO 81301

Owner's email address: usablake@gmail.com CC: usadiane@gmail.com

[DEPARTMENT USE ONLY]

Permit fee: \$ _____ Payment type: _____ Rec'd by: _____ Date: _____

Site Evaluation LTAR: _____ Limiting Zone: _____ Depth: _____

PERMIT to _____ an On-site Wastewater Treatment System

Septic tank(s): _____ Design flow: _____ (gal/day) Distribution: Gravity or Pressure siphon pump

Soil treatment area: _____

Design Specifications and Comments:

See attached plans.

Authorization to begin Construction

Permit must be signed by EHS **BEFORE** construction begins

Environmental Health Specialist Date

Final Inspection The above system has been inspected and found to comply with the above requirements.

System Installed by (name, company, phone)

Environmental Health Specialist Date

System Designed by (name, company, phone)

Durango Fire Rescue Use Only

Entered Into Database Y N

Date Submitted to FPB: _____

Date Fee Received (if applicable) _____

Amount Received \$ _____

Fire Manager ID# _____

Plans Received By: _____

**Plan Review Application –
Fire Code Plan Review**
*Durango Fire Protection District
Fire Prevention Bureau*
104 Sheppard Drive • Durango, Colorado 81303
970/382-6000 • Fax 970/382-6028

Date 1/31/2021 _____

Check one

1st Review 2nd Review 3rd Review Revision Other _____

Project Name Accessory Cabin for 66 Mill Creek Parcel # 5091000070008

Development / Project Information

Physical Address 66 Mill Creek Dr Bldg / Suite _____

City Durango CO Zip Code 81301 Phone _____

Description of Work

Construct an accessory cabin and associated improvements.

Sq. Ft. _____ # Stories _____ Table Valuation (See Pg 2)\$ _____

Const. Type _____ Occupancy Type _____

Submittal Includes (required)

1 set pdf and 1 set hard copy (2 sets hard copy if marked up set to be returned)

Specification (If Applicable) (PDF copy preferred)

Other Info: _____

Applicant (Contact Person): _____

Owner / Developer Owner's Rep Architect Engineer Contractor

Plan Comments Returned To (Person): Blake Campbell

Firm Name _____

Address 66 Mill Creek Dr

City Durango, CO Zip Code 81301

Phone 808-492-0008 Fax _____ E-Mail usablake@gmail.com

Owner Information (Business / Property Owner): samwe

Contact Person _____ Phone _____ Fax _____

Address _____

City _____ Zip Code _____

E-Mail _____

District Court, Water Division <u>Seven</u> , Colorado Court Address: <u>1060 E. 2nd Ave., Rm. 106</u> <u>Durango, CO 81301</u>	▲ COURT USE ONLY ▲
CONCERNING THE APPLICATION FOR WATER RIGHTS OF Applicant: <u>Diane Campbell</u>	
In the <u>Animas</u> River or its Tributaries In <u>San Juan</u> COUNTY	
Attorney or Party Without Attorney (Name and Address): <u>Diane Campbell</u> <u>66 Mill Creek Dr</u> <u>Durango, CO 81301</u> Phone Number: <u>801-628-2888</u> E-mail: <u>usadiane@gmail.com</u> FAX Number: _____ Atty. Reg. #: _____	Case Number: _____ Division: _____ Courtroom: _____
APPLICATION FOR <input type="checkbox"/> CONDITIONAL <input checked="" type="checkbox"/> ABSOLUTE WATER RIGHTS (SURFACE)	
It is the applicant's responsibility to provide the location for each structure in this application. For structures that are already decreed, use the location from the most recent decree that adjudicated the location. UTM coordinates (for example from a GPS device) or measured distances in the field from known section lines are acceptable. The Division Engineer, the Water Referee, or the Water Judge may order the applicant to confirm the location of any structure with UTM coordinates, a survey, or other method.	

1. Name, mailing address, email address and telephone number of applicant(s) (if there are multiple applicants, and the space provided is not adequate to list all of the applicants, the names, addresses, telephone numbers and available email addresses must be provided as an attachment):

Name of Applicant	Mailing Address	Email address	Telephone Number
Diane Campbell	66 Mill Creek Dr, Durango, CO 81301	usadiane@gmail.com	801-628-2888

2. Name of structure: Mill Creek Spring #1 ditch spring other _____

3. Legal description of each point of diversion:

Location information in UTM format (Preferred):

UTM Zone must be 12 or 13; Units must be Meters; Datum must be NAD83; and Units must be set to true North. Include the source of the UTM coordinates, for example: GPS device; GIS System such as DWR AquaMap or CDSS MapViewer; scaled from USGS topographic map; or other source. In areas having generally recognized street addresses, also include street address, and if applicable, the lot, block, and subdivision. Attach a legible 8 1/2 x 11 inch map to this application illustrating location of the structure.

UTM coordinates Easting <u>253732</u> Northing <u>4172233</u> <input type="checkbox"/> Zone 12 <input checked="" type="checkbox"/> Zone 13		
Street Address: <u>66 Mill Creek Dr, Durango, CO 81301</u>		
Subdivision: <u>NA</u>	Lot <u>NA</u>	Block <u>NA</u>

Source of UTM's (for example, hand-held Garmin GPS): Hand Held Garmin GPS
 Accuracy of location displayed on GPS device (for example, accurate to within 200 feet): 50ft

Legal Description Using the Public Land Survey System (PLSS) (Optional; Please include both UTM and PLSS descriptions if known): Include perpendicular distances from section lines, and indicate ¼ ¼, section number, township, range, meridian and county; mark the location of the structure on a USGS topographic map and attach to this application a legible 8 ½ x 11 inch copy of the applicable portion of the map. In areas where section lines have not been established, a bearing and distance to an established government monument is acceptable. Include the source of PLSS information, for example: GIS system such as DWR AquaMap or CDSS MapViewer; field survey; scaled from USGS topographic map; or other source. In areas having generally recognized street addresses, also include street address, and if applicable, the lot, block, and subdivision.

Legal Description: County <u>San Juan</u>	<u>SE</u> 1/4 of the	<u>NW</u> 1/4	Section <u>7</u>	Township <u>39</u> N or S <input checked="" type="checkbox"/> <input type="checkbox"/>	Range <u>8</u> E or W <input type="checkbox"/> <input checked="" type="checkbox"/>	Principal Meridian
Distance from section lines (not from property lines) <u>2100</u> Feet from <input checked="" type="checkbox"/> N <input type="checkbox"/> S and <u>2200</u> Feet from <input type="checkbox"/> E <input checked="" type="checkbox"/> W						
Source of PLSS information: <u>Previous District Water Court Ruling: Case No. 87cw83</u>						
Street Address: <u>66 Mill Creek Dr, Durango, CO 81301</u>						
Subdivision: <u>NA</u>		Lot <u>NA</u>		Block <u>NA</u>		

4. Source: (for example, unnamed tributary to North Clear Creek, tributary to Clear Creek, tributary to the South Platte River) Mill Creek Spring #1

5. A. Date of appropriation: _____
 B. How appropriation was initiated: _____
 C. Date water applied to beneficial use: _____

6. Amount claimed in cubic feet per second (cfs) or gallons per minute (gpm) (1 cfs = 448.8 gpm).
 Conditional 2.7 (cfs gpm) Absolute _____ (cfs gpm)

If claiming an absolute water right, application shall include supporting evidence that applicant diverted water in-priority and applied such water to the beneficial uses claimed in the amounts claimed.

7. List All Uses or Proposed Uses: Municipal, commercial, recreation.

A. If irrigation, complete the following:
 Number of acres historically irrigated _____; proposed to be irrigated _____.
 Does the Applicant intend to use this water right to supplement irrigation on an area of land already irrigated under another water right? yes no

Legal description of irrigated acreage. Mark the location of the irrigated acreage on a USGS topographic map and attach to this application a legible 8 1/2 x 11 inch copy of the applicable portion of the map.

- B. If non-irrigation, describe purpose fully. Mark location of use on a USGS topographic map and attach to this application a legible 8 1/2 x 11 inch copy of the applicable portion of the map.

Water would be used for residential cabins, single and multi-family homes, fish, ponds, fire suppression, camping/campgrounds, associated businesses.

8. Name(s) and address(es) of owner(s) or reputed owner(s) of the land upon which any new or existing diversion or storage structure, or modification to any existing diversion or storage structure is or will be constructed or upon which water is or will be stored, including any modification to the existing storage pool. The applicant must notify these persons that the applicant is applying for this water right, and certify to the Court that the applicant has done so by no later than 14 days after filing this application. The certification form is on page 4 of this form.

Name of Owner	Mailing Address

9. Remarks or any other pertinent information:

This is the same spring referenced in expired water rights from case no. 87cw83.

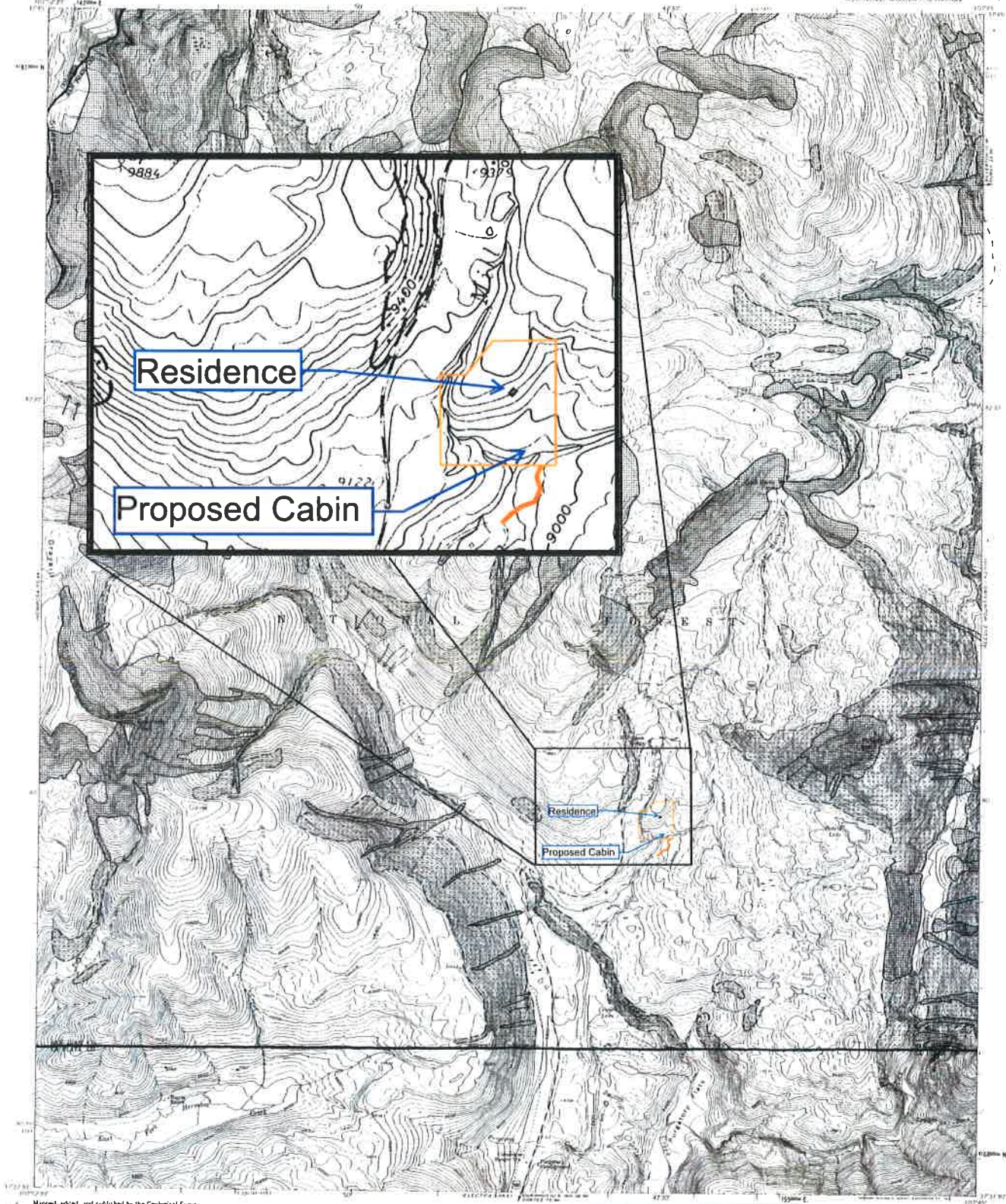
By checking this box, I am acknowledging I am filling in the blanks and not changing anything else on the form.

By checking this box, I am acknowledging that I have made a change to the original content of this form. (Checking this box requires you to remove JDF number and copyright at the bottom of the form.)

Huane Campbell

Signature of Applicant(s) (if self-represented) or Attorney

8/25/2019
Date



Mapped, edited, and published by the Geological Survey
Control by 1965 and 1968
Topographic by the triangulation method, based on
astronomical observations, 1946, 1948, and 1949
Photoreduction, 1957, from American edition
of 1949 from geodetic on Colorado coordinate system
control
1948 control derived from traverse measurements and
astronomical observations
1957 control derived from traverse data
All contour lines 20 ft high

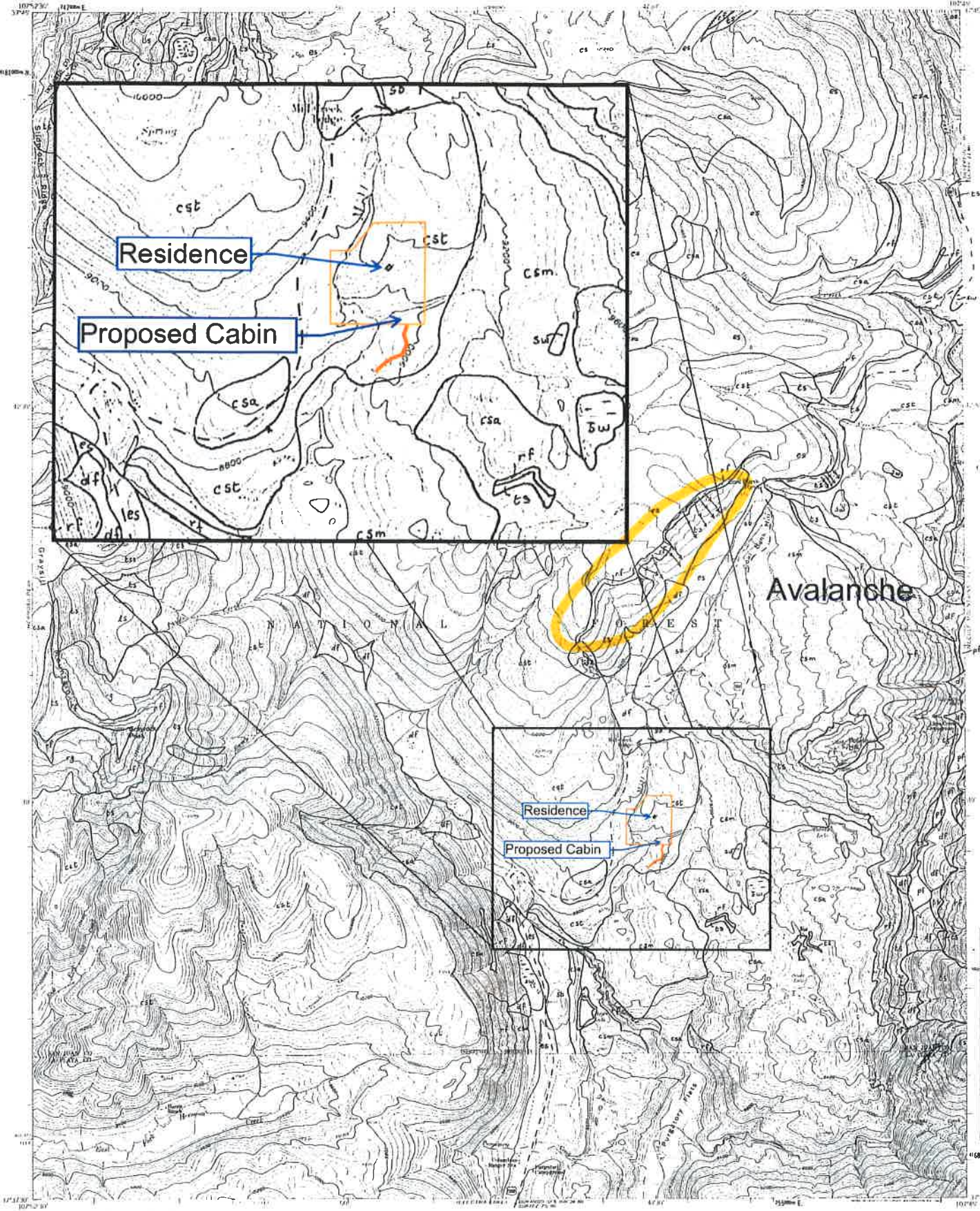


ENGINEER MOUNTAIN QUADRANGLE
COLORADO

AVAILANCHE HAZARD
INSTAAR
Final Approved: 6/2/76

SCALE IN FEET
1:50,000
1 inch = 4,167 feet
U.S. MAP

ENGINEER MOUNTAIN COLO
7.5 MINUTE SERIES (TOPOGRAPHIC)
813375 WESTERLY



Col. J. of an J. J. S. W.
Filed for record the 22nd day of
June, A.D. 1976, at 9:00 a.m.
Book 212, Page 29
Recorder

Mapped, edited, and published by the Geological Survey
Control by USGS and 1:25,000.
Topography by photogrammetry method; from aerial
photography taken 1974. Field checked 1975.
Elevation in feet. 100-foot contours are shown at
10-foot intervals based on Culebra candidate section
south base. 100-foot contours of 100-foot intervals are
shown in blue.
Land lines limited because of small-scale data
All unimproved features are shown.

Geologic Hazard Map

GEOLOGIC HAZARD MAP
INSTAAR
1976

ENGINEER MOUNTAIN, COLO.
1976

Cumulative Impact Report

Proposed Accessory Cabin for 66 Mill Creek Dr

Vicinity Development Potential List

Parcel #	Property	Owner	Acres	Existing Use	Tundr	County Needs		Needs		Development Potential
						Access	Study	Avalan.	Study	
						Rd	Study	Study	Study	opable
50917310000001	Know Your Neighbor Tract #1	Mc Cormack Robert & Chrystal	5	Residence	-	-	-	-	-	Existing Cabin
50917310000002	Know Your Neighbor Tract #2	Mc Cormack Robert M & Chrystal R	4	Vacant	No	Yes	No	No	Yes	Possible Future Cabin
50917310000015	Know Your Neighbor Tract #3	152 Macfire Tree Lane Llc Lisa Leighton	3.97	Residence	-	-	-	-	-	Existing Cabin
50917310000004	Know Your Neighbor Tract #4	Westerholm Eva M Molin Wise Boris C	0.84	Pending Cabin	No	Yes	No	No	Yes	In Progress
50917310000005	Know Your Neighbor Tract #5	Murray Timothy	1.94	Residence	-	-	-	-	-	Existing Cabin
50917310000006	Know Your Neighbor Tract #6	Paul O & Ruth H Cline Trust	1.46	Vacant	No	Yes	No	No	Yes	Possible Future Cabin
50917310000007	Know Your Neighbor Tract #7	Davenport Cole	2.24	Pending Cabin	No	Yes	No	No	Yes	Approval Pending
50917310000008	Know Your Neighbor Tract #8	Robertson Alvin	1.82	Residence	-	-	-	-	-	Existing Cabin
50917310000010	Know Your Neighbor Tract #9 And #10	Emery Martin & Mindy K	3.14	Residence	-	-	-	-	-	Existing Cabin
50917310000011	Know Your Neighbor Tract #11	Williams Trust Craig C & Valenta-Williams Trust Carol K	2.02	Vacant	No	Yes	No	No	Yes	Possible Future Cabin
50917310000012	Know Your Neighbor Tract #12	Andorka Family Trust The Mark	2.67	Residence	-	-	-	-	-	Existing Cabin
50917310000013	Know Your Neighbor Tract #13	Huffman Dorothy E	3.05	Vacant	No	Yes	No	No	Yes	Possible Future Cabin
50910000070001	1208 County Rd 1 (Lime Creek Rd)	Dooley Thomas W And Nancy J	4 (5.76)	Residence	-	-	-	-	-	Existing Cabin
50917310000003	Forest Service Special Use Permit Land	Master Plan Ministries Inc	~.34	Group Events Non-Profit	No	Yes	No	No	Yes	Existing Event Lodge
50910000070010	Mill Creek Lodge Estates Lot 1	Balekian Robert A & Barbara R	4.63	Vacant	No	Highway	No	No	Yes	Possible Future Cabin
50910000070011	Mill Creek Lodge Estates Lot 2	Bullock Louis W & Patricia W	4.18	Vacant	No	Highway	No	No	Yes	Possible Future Cabin
50910000070028	Mill Creek Lodge Estates Lot 3	Namkraps 3 Holdings	3.04	Residence	-	-	-	-	-	Existing Cabin
50910000070013	Mill Creek Lodge Estates Lot 4	Stewart Family Trust	3.29	Vacant	No	Highway	No	No	Yes	Possible Future Cabin
50910000070014	Mill Creek Lodge Estates Lot 5	Keffler Family Partnership Ltc	4.4	Vacant	No	Highway	No	No	Yes	Possible Future Cabin
50910000070015	Mill Creek Lodge Estates Lot 6	Kovacic Jan P & Cummings Juli	3.06	Vacant	No	Highway	No	No	Yes	Existing Cabin
50910000070016	Mill Creek Lodge Estates Lot 7	Keffler Family Partnership Ltd	3.05	Vacant	No	Highway	No	No	Yes	Possible Future Cabin
50910000070025	Mill Creek Lodge Estates Lot 8 Und 3/7	Bush, James Albert Living Trust	5.57	Vacant	No	Highway	No	No	Yes	Possible Future Cabin
50910000070029	Mill Creek Lodge Estates Lot 8 Und 4/7	Grizzly Peak Investments, Llc	5.57	Vacant	No	Highway	No	No	Yes	Possible Future Cabin
50910000070018	Mill Creek Lodge Estates Lot 9	Blue Skies Development Llc	4.89	Residence	-	-	-	-	-	Existing Cabin
50910000070019	Mill Creek Lodge Estates Lot 10	Keffler Family Partnership Ltd	4.68	Vacant	No	Highway	No	No	Yes	Possible Future Cabin
50910000070020	Mill Creek Lodge Estates Lot 11	Beartree Ltd	3.78	Vacant	No	Highway	No	No	Yes	Possible Future Cabin
50910000070009	53001 N Hwy 550	Brady John E & Alice K	41.34	Residence	-	-	-	-	-	Existing Cabin



Willy Tookey <admin@sanjuancolorado.us>

Campbell ADU

2 messages

M Emery <memery86@msn.com>

Mon, Mar 8, 2021 at 10:46 AM

To: Willy Tookey <admin@sanjuancolorado.us>, "mackie@gobrainstorm.net" <mackie@gobrainstorm.net>, "ladair@silverton.co.us" <ladair@silverton.co.us>

Dear County Commissioners:

This is another attempt by the Campbell family (fourth proposal) to edge their way into a major development of multiple commercial/camping units adjacent to the KYN Subdivision.

The Campbell property is accessed by driving up through the KYN Subdivision which was granted by a Road Easement and Right-of-Way Agreement. They were aware when they purchased their property, that said Easement Agreement precludes commercial development for 99 years (from September 21, 1988):

"No business, commercial, or high density dwelling units will be constructed on the property described in exhibit B."
See Attached.

Normally, we would support a neighbor wanting to rent out their home as long as there is common courtesy and respect. The Campbell's tiny home rental in the summer of 2018 could be considered a trial run on how well they manage a rental and respect area neighbors. Their rental was nightly and check in was as late as 2am (per their rental advertisement). Their property is not easy to find in the daylight, much less in the middle of the night. Frequent late night traffic/lost renters disturbed area residents. The Campbells also allowed a multitude of garbage to accumulate on their property and, as a result, we had a bear problem that summer. That was just one tiny home.

In conclusion, the Campbell family does not have access through the KYN Subdivision for a commercial business until the year 2086, when the easement agreement expires. The endgame here is to develop multiple units as evidenced by past proposals. If the project is approved and they rent their ADU using KYN Subdivision road for access, we will seek a restraining order to stop their breach of the Easement Agreement.

Thank you,

Martin and Mindy Emery
KYN Subdivision Lot #9, 10

Easement.pdf

The undersigned Grantor, being the owner of Tract 9 of the surveyed plat of Lime Creek Area (Frederick H. Reed, Registered Land Surveyor, State of Colorado, No. 4431), as revised August 4, 1969, File No. 69037, (being part of the Northeast 1/4 of the Southwest 1/4 of Section 7, Township 39 North, Range 8 West), hereby grants unto the Grantees, Ronald Grob, Rebecca J. Grob, Arlene G. Perry, Robert J. Sauer, Alice Sauer, Theodore Grob, Jr., Kay E. Grob and Gideon Murray, and their successors and assigns, an easement and right-of-way described on Exhibit A for road purposes to ingress and egress over said road to a parcel of land owned by Grantees and described in Exhibit B.

This road easement and right-of-way is granted with the following restrictions:

1. The Grantees and their successors and assigns (hereinafter referred to as "Grantees") shall not subdivide the parcel of land described in Exhibit B into more than four parcels without the written consent of the owner of said Tract 9 of Lime Creek Area.

2. No business, commercial, or high density dwelling units will be constructed on the property described in Exhibit B.

3. The road granted by this easement and right-of-way shall not be connected to another road that services property other than the property described on Exhibit B.

4. In the event that Grantees independently improve the road described in Exhibit A, any such improvement shall be done at the sole expense of Grantees.

5. The easement and right-of-way described in Exhibit A shall be nonexclusive and shall be a covenant running with the land.

6. The above restrictions shall terminate 99 years after this road easement and right-of-way has been recorded.

It is the intent of this easement and right-of-way to grant the owners, their successors and assigns, of the property described in Exhibit B with an access road described in Exhibit A to the property described in Exhibit B which access road crosses over part of said Tract 9 of Lime Creek Area owned by Grantor.

Dated: September 21, 1988

[Signature]
D. McNeil

Application for Improvement Permit

Sketch Plan Submittal

Proposed Sams Residence

4760 County Road 2
Silverton, Colorado 81433
Cole Ranch Subdivision – Lot 1
Part of the John H French Placer
Recorded Reception #149440



Applicant:
Todd and Julie Sams
P.O. Box 215
Oologah, OK 74053
(918) 606-0558

Prepared By:
Chris Clemmons
Mountain Grain, LLC
Architecture Studio
1389 CR 240
Durango, Colorado 81301
(970) 515-7882

September 2, 2020

San Juan County
Attn: Lisa Adair, Planning Director
1360 Greene St
Silverton, Colorado 81433

Subject: Application for Improvement Permit – Sketch Plan Review

Proposed Sams Residence, located at 4760 County Rd 2, Lot 1 of the Cole Ranch Subdivision, located in part of the John H French Placer, near Middleton, San Juan County, Colorado.

Dear Lisa Adair and Commissioners,

This submittal has been prepared to describe the proposed amended plat and improvements on Lot 4 of the Cole Ranch Subdivision, owned by Todd and Julie Sams. Cole Ranch is an approved Subdivision which was established for residential use in 2001.

The attached documents have been prepared for a San Juan County Application for Improvement Permit as a "Sketch Plan Review". The Applicant requests review of this project by the County Commissioners at their meeting on September 23, 2020, and to consider approval contingent upon receiving supporting documentation of deferred items listed in the Table of Contents.

The proposed amended plat consists of a relocated building envelope and redistributed open space, which is now larger than the approved plat's open space. The improvements include a single-family residence along with associated road access and utility connections. The new building envelope on the west side of County Road 2 will adhere to all San Juan County setback requirements and will be further setback and more appropriately screened from the road. The property is located within San Juan County's Future Land Use Plan "Economic Corridor", which is designated to be suitable for residential development because of its moderately sloping terrain and year-round access.

The applicant has provided a letter, which follows, to describe in detail the hardships associated with locating the home in the previously approved building envelope on the east site of County Road 2 and the benefits of approving the homesite location proposed in this application.

Please contact Mountain Grain, LLC if you have any questions.

Sincerely,



Christopher M. Clemmons
Mountain Grain, LLC
Architecture Studio

To whom it may concern:

We are Todd and Julie Sams as well as our daughter Shiloh Sams. We have been blessed for 25+ years of vacationing in and around Silverton. Over the years we have frequented Fetch's Store, been on the tour with Ernie at the Old 100, visited the wonderful museum and of course rode the train numerous times. On one of our many trips around the Alpine Loop we noticed "Cole Ranch" properties and the old worn out "For Sale" sign on the ground. We inquired about the property and thanks to Steve at Silverton Realty, we were the new owners of Lot 1. Now it's finally time to make our dreams come true and make Silverton our permanent home.

Over the past 7 years we have slowly been doing a little clean up to the property getting it ready for our home. Then the mess of last year happened and it unfortunately gave us a few new concerns. With the avalanches, flooding of County Road 2, and the heavy detoured traffic on County Road 2D (which we personally moved a few years ago) it was eye opening. We even cut our vacation short due to the increased amount of traffic and the dust. In fact, we couldn't even walk the dogs without fear of being hit by a jeep or 4-wheeler driving way too fast. Louie from the county maintenance dept. put up additional speed signs trying to slow traffic down but we still called the sheriff's department multiple times to stop the insane behavior. So now we have spent the past winter months reconsidering if we truly want to build in the assigned building envelope and subject ourselves to the possibility of more unnecessary chaos.

In 2017, while on vacation on our property, we were visited by several individuals doing research on the adjacent land. Those individuals included Lisa Richardson from Bureau of Land Management, County Commissioner Scott Fetchenhier, members of the EPA and a few others. We were informed they were taking soil samples and doing other research regarding the Forest Queen mine. We were told we would be kept in the loop about the findings, but we never heard anything else. This June when we arrived at our property we were surprised to discover work had been started on the Forest Queen mine site and the adjacent property was now being used as a staging area for all of the other projects being done in that area. I met with Lisa Richardson who educated me on what was currently happening with the project and what could take place in the future when work resumed in September. Lisa did tell me that Bureau of Land Management could tidy up the area if we wanted them to but that area would continue to be the staging area. I also was informed that the EPA has listed this area as a Super Fund Site Study. I reached out to the EPA's Kathrine Jenkins by email on June 22 and spoke to her by telephone on June 26, but have not heard back from her again to find out what is actually taking place with that property. We are very concerned at all of the unknowns and what the future brings regarding this area.

While we were in town this past June I not only spoke with Lisa Richardson, but also William Tookey, Lisa Adair and Scott Fetchenhier. To my dismay, not one single person could give an answer as to what is going to take place with the area that I am supposed to build my house on. There are too many variables with this situation, including multiple agencies with multiple ideas, but no one with definite plans to give me an idea of how to proceed. We are very concerned of what could come from living near a Super Fund Site and what this means to our health. What will we be breathing from the pile of old mining debris that has been piled right next to my property? Not to mention how close we are to what is now labeled as "Hot" water, which could possibly have an effect my well water, what could we be drinking? For my family this property isn't going to be an occasional vacation spot, this is going to be our home.

One we plan to enjoy for generations to come. So all these concerns are not only for the immediate future, but for the long term effects to our family.

With the property sectioned off like it is, we do have other options for the location of our home. Although our largest concern is the above topic but other reasons would be:

- 1) If we build our home on the East side which is the approved building site, we will have 1 tree that will be in front of the house, otherwise there is NO screening of the house, this will make our home totally visible from the County Road 2 & 2D. On the West side we have a cluster of trees and the railroad berm that will help with the obviousness of a house in the area. This will help to protect the untouched natural vibe of the area and not obscure the views.
- 2) There is the issue of the size of the house comparably with the size of the existing building envelope. The building envelope leaves little to no room for a yard or any possibilities of further growth of vegetation in the area. The building envelope also leaves no room for all the septic system components (which Willie Tookey was aware of per our conversation). This means the septic lines will have to be routed underneath County Road 2 to the other side of our property, which would cause us to lose some of the trees that run parallel with County Road 2 on both sides of the road. I would assume this would mean some road closures for a period of time, as well as possible disruption and maintenance issues years down the road?
- 3) Due to the size of the property on the East side the house would be extremely close to the tree line (which is becoming more beetle kill than live trees). This is an extreme fire hazard. On the other hand, the trees on the West side have not been affected by the beetles at this point and we have more room to distance the house from these trees and certainly the rest of the forest.
- 4) If the house is on the East side, the dust is a larger factor than on the West side. Visibility issues are always a concern during the peak dry season. This was a large factor last summer when the out-of-control drivers were throwing so much dust they had virtually no visibility of the road. The drivers could not see well enough and were driving off the road and onto our property, nearly causing our daughter and dogs to be hit on an afternoon walk.
- 5) One of our biggest assets to the property, aside from the incredible views, is the historical value of the area. This includes the railroad bed that runs through our property. Our plan is to do minimal damage if any, to the rail bed, as only to provide a driveway crossing it. We wish to preserve as much of the surrounding area as we can.
- 6) In the past couple of years, the moose have become prominent in the area across from the existing building envelope. By moving across the road, we will be less intrusive in their habitat and give more of a quiet area to graze. Bears have also been seen more on the East side of the property, so we would be less disturbing to their habitat by not building there. According to Lisa Richardson she would like to eventually see a wildlife sanctuary become of the BLM area. She also stated at this point a few different animals have been dissected to see if any damage has been done to them by the so called "Hot" water and vegetation they are consuming in this area.

They also believe the animals are not solely living in or eating/drinking from that area, so the findings are not completely accurate at this time.

- 7) The smell of the Forrest Queen as we all know has at times given off a Hydrogen Sulfide smell. There is a possibility with the work being done this might not happen anymore, but we do not know that for sure.
- 8) Overall, in conversation with Lisa Richardson, we have discussed the fact that there are no immediate or future concerns from the BLM for the west side of the property.

We are really looking forward to starting the building process soon but need clarification on the building envelope in order to get on contractors' schedules for next year. We are trying to use as many local contractors as possible to help with the local economy as well as using their expertise in building in the area.

Thanks for considering our move to the West side of County Road 2.

Todd & Julie Sams

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13. San Juan County Driveway and Road Access Permit Forms
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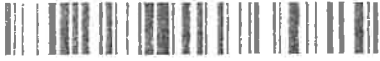
NOTE:

The following materials will be completed and submitted to the County pending approval of the adjusted home location, as these items are dependent upon the final home siting.

- I. Well Permit Application
- II. Full Septic Design and Permitting
- III. Complete Wetlands Investigation (Prelim. analysis suggests no wetlands present)

Application for Improvement Permit

		APPROVAL CHECKLIST		Initial	Date
Applicant	Name	Todd A. Sams			
	Address	PO Box 215			
		Oologah Ok 74053	Phone 9186405447	Land Use Administrator	
Owner	Name	Todd & Julie Sams			
	Address	PO Box 215			
		Oologah Ok 74053	Phone 9186060558	Ownership of Surface	
Contractor	Name	N/A			
	Address				
				Ownership of Minerals	
	Phone			Vicinity Map	
Legal Description of Property:		Road System Relationship			
Lot 1 Cole Ranch Subdivision Amended Plat #1, located in Part of the John H French Placer Recorded Reception # 149440 March 14, 2014. Tax Parcel # 47730300051000 Township 42 N, Range 6 W, Section 30		Zoning Compatibility			
		State Mining Permit			
		Owner Notification			
		Avalanche Hazard			
		Geologic Hazard			
		Floodplain Hazard			
		Wildfire Hazard			
		Mineral Resource Impact			
		Wildlife Impact			
		Historic Site Impact			
Nature of Improvement Planned:		Watershed Gearance			
Proposed single family Residence + associated Utility Improvements					
Land Use Zone:		County Building Inspector			
mountain zone		Building Permit			
Applicant Signature		State Electrical Inspector			
Todd A. Sams		Electrical Permit			
Date Application Requested		San Juan Basin Health Unit			
		Sewage Disposal: Test			
Date Submitted for Permit		Design			
		Central Sewage Collection			
Date Permit Issued		State Division of Water Resources			
		Adequate Water Source			
Date Permit Denied		Well Permit			
		Central Water Distribution			
Reason for Denial		U.S. Forest Service/BLM			



State Documentary Fee
Date: August 22, 2013
\$ 3.80

Special Warranty Deed
(Pursuant to 38-30-115 C.R.S.)

THIS DEED, made on August 22, 2013 by BANK OF THE WEST Grantor(s), of the County of _____ and State of CALIFORNIA for the consideration of (\$38,000.00) *** Thirty Eight Thousand and 00/100 *** dollars in hand paid, hereby sells and conveys to TODD ALAN SAMS AND JULIE ANN SAMS Grantee(s), as Joint Tenants whose street address is P.O. BOX 215 OOLOGAH, OK 74053, County of _____, and State of OKLAHOMA, the following real property in the County of San Juan, and State of Colorado, to wit:

LOT 1, COLE RANCH SUBDIVISION, COUNTY OF SAN JUAN, STATE OF COLORADO,

also known by street and number as: 4768 COUNTY ROAD 2 SILVERTON CO 81433

with all its appurtenances and warrants the title against all persons claiming under the Grantor(s)

BANK OF THE WEST

BY: *John A. Matuszak* AS *Vice President*

State Nebraska)
County of Douglas) ss.

WALTER R. HESS
General Notary
State of Nebraska
My Commission Expires May 5, 2014

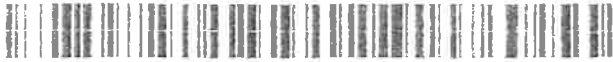
The foregoing instrument was acknowledged before me on this day of August 20, 2013
by *John A. Matuszak* *Vice President* OF BANK OF THE WEST

Witness my hand and official seal.
My commission expires 5-5-14

Walter R. Hess
Notary Public

When Recorded Return to: TODD ALAN SAMS AND JULIE ANN SAMS
P.O. BOX 215 OOLOGAH, OK 74053





FOREIGN INVESTMENT IN REAL PROPERTY TAX ACT OF 1980
(26 U.S.C. 1445) ("FIRPTA")

CERTIFICATION BY TRANSFEROR (ENTITY)
(Pursuant to Regulation C.F.R. 1.1445-2(b)(2)(i))

To: TODD ALAN SAMS AND JULIE ANN SAMS, (hereinafter referred to as the "Transferee");

Section 1445 of the Internal Revenue Code provides that a transferee of a U.S. real property interest must withhold tax if the transferor is a foreign person. For U.S. tax purposes (including section 1445), the owner of a disregarded entity (which has legal title to a U.S. real property interest under local law) will be the transferor of the property and not the disregarded entity.

To inform the transferee that withholding of tax is not required upon the disposition of a U.S. real property interest by BANK OF THE WEST, hereinafter referred to as the transferor, the undersigned hereby certifies the following on behalf of the transferor:

1. The transferor is not a foreign corporation, foreign partnership, foreign trust, or foreign estate (as those terms are defined in the Internal Revenue Code and Income Tax Regulations);
2. The transferor is not a disregarded entity as defined in section 1.1445-2(b)(2)(ii);
3. The transferor's U.S. employer identification number is [REDACTED] and
4. The transferor's office address is:
[REDACTED]
5. The transferor understands that this certification will be disclosed to the Internal Revenue Service and the transferee and that any false statement contained therein could be punished by fine, imprisonment, or both.
6. Under penalty of perjury, I declare that I have examined this certification and to the best of my knowledge and belief it is true, correct and complete, and I further declare that I have authority to sign this document on behalf of the transferor (i.e. a responsible officer if a corporation, by a general partner if a partnership, and by a trustee or equivalent fiduciary of the case of a trust or estate).

BANK OF THE WEST

Date: August 22, 2013

BY John A. Matuzedel AS Vice President

All information required to be obtained in connection with document has been obtained from information supplied by the transferor to Land Title Guarantee Company. For privacy and security reasons, Land Title will retain this information. In the event you are contacted by the Internal Revenue Service concerning FIRPTA, please contact the Company immediately for a copy of this Affidavit which discloses the transferor's Tax Identification Number.

State of Nebraska)
County of Douglas) ss.

Sworn to before me on this day of August 20, 2013 by John A. Matuzedel AS Vice President

My Commission expires: 5-5-14
Witness my hand and official seal

WALTER R. HESS
General Notary
State of Nebraska
My Commission Expires May 5, 2014

Walter Hess
Notary Public

Note:

1. If you have any questions or concerns arising from your obligation as transferor in regard to this tax, it is suggested that you immediately contact your local Internal Revenue Service office, attorney or accountant if you do not fully understand these regulations. More information, including the regulations promulgated under FIRPTA, is available at the website for the Internal Revenue Service, www.irs.gov/businesses/small/international
2. The transferee is required to retain this certification until the end of the fifth taxable year following the taxable year in which the transfer takes place. The transferee must make this certification available to the Internal Revenue Service when requested in accordance with the requirements of 26 U.S.C 6001 and regulations thereunder.

Amended Plat No. 1 - Lots 1 & 2

Cole Ranch Subdivision
 Located in Part of the John H. French Placer
 Mineral Survey No. 45, Mining District No. 7
 Suspended Sec. 30, T42N, R6W, N.M.P.M.

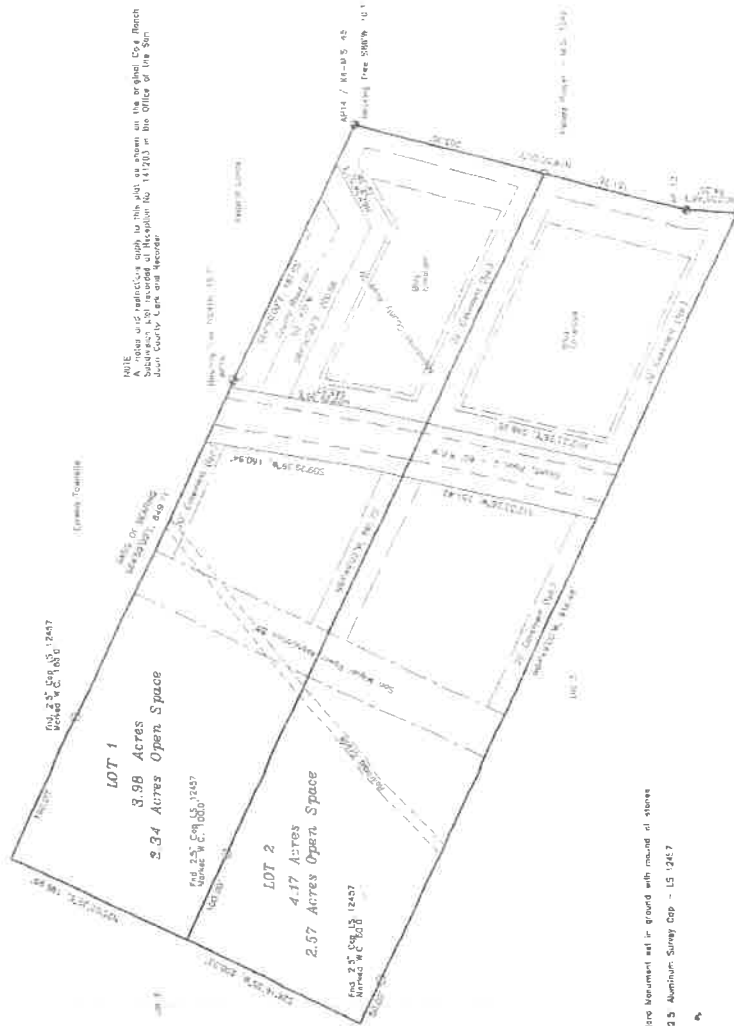
Eureka Mining District
 San Juan County, Colorado



North



Scale 1"=60'



NOTE:
 A. Index and reference to this plat as shown on the original Cole Ranch
 Subdivision plat recorded at Reception No. 141293 in the Office of the San
 Juan County Clerk and Recorder.

LOT 1
 3.98 Acres
 2.34 Acres Open Space

LOT 2
 4.17 Acres
 2.57 Acres Open Space

APPROVAL OF BOARD OF COUNTY COMMISSIONERS
 I, _____, Clerk and Recorder of San
 Juan County, Colorado, do hereby certify that the plat
 submitted herewith complies with the provisions of
 Article 10, Section 1, of the Constitution of the State of
 Colorado, and that the same is a true and correct
 copy of the original as filed in my office, and that I
 have caused the same to be recorded in my office.
 In testimony whereof, I have hereunto set my hand
 and the seal of said County at _____, Colorado,
 this _____ day of _____, A.D. 19____.

APPROVAL OF COUNTY ATTORNEY:
 I, _____, County Attorney,
 do hereby certify that the plat submitted herewith
 complies with the provisions of Article 10, Section 1,
 of the Constitution of the State of Colorado, and
 that the same is a true and correct copy of the
 original as filed in my office, and that I have
 caused the same to be recorded in my office.
 In testimony whereof, I have hereunto set my hand
 and the seal of said County at _____, Colorado,
 this _____ day of _____, A.D. 19____.

RECORDS COMMISSIONER
 I, _____, Records Commissioner,
 do hereby certify that the plat submitted herewith
 complies with the provisions of Article 10, Section 1,
 of the Constitution of the State of Colorado, and
 that the same is a true and correct copy of the
 original as filed in my office, and that I have
 caused the same to be recorded in my office.
 In testimony whereof, I have hereunto set my hand
 and the seal of said County at _____, Colorado,
 this _____ day of _____, A.D. 19____.

Amended Plat
 Surveyed For
 Jessie SOMES

RECORDED BY: JESSIE SOMES
 DATE: _____
 T.A.P. 1"=60' SHEET 1 of 1

RECORDED BY: _____
 DATE: _____
 T.A.P. _____

RECORDED BY: _____
 DATE: _____
 T.A.P. _____

RECORDED BY: _____
 DATE: _____
 T.A.P. _____

RECORDED BY: _____
 DATE: _____
 T.A.P. _____

NOTE: Legal description from the Cole Ranch Subdivision B.M. recorded at
 Reception No. 141293 in the records of the San Juan County Clerk &
 Recorder's Office.

NOTE: According to California law, any plat submitted to the Recorder for
 recording which does not comply with the provisions of Article 10, Section 1,
 of the Constitution of the State of Colorado, shall be void and of no effect.
 The undersigned hereby certifies that the above plat complies with the
 provisions of Article 10, Section 1, of the Constitution of the State of
 Colorado, and that the same is a true and correct copy of the original
 as filed in my office, and that I have caused the same to be recorded
 in my office.

DATE OF READING:
 The reading between a 3-1/2" Survey Monument marked with a witness corner for the northeast
 corner of Lot 1, Cole Ranch Subdivision, a 2-1/2" Aluminum Survey Cap, and a 2-1/2" Survey Monument
 marked with a witness corner for the southwest corner of Lot 1, Cole Ranch Subdivision, was
 made on the _____ day of _____, 19____, at _____, San Juan County Clerk and Recorder's Office.

**COLE RANCH SUBDIVISION
DEED RESTRICTIONS**

1. Structural foundations shall be designed by a professional structural and/or geotechnical engineers to determine the amount and variability of the load bearing capacity and expansive nature of the debris fan deposits.
2. The portions of lots 1-3 lying west of County Road 2 are limited to outbuildings with an aggregate of 1500 square feet per lot.
3. An erosion control plan shall be required as a condition of any improvements or use permit issued by San Juan County.
4. Structures shall be constructed within the building envelopes. Only one residential unit can be constructed per lot.
5. Site grading and drainage shall be designed to move water away from structures and should be performed in a manner that does not substantially change existing natural drainage patterns.
6. No buildings shall be constructed within 50 feet of the centerline of Minnie Gulch Creek.
7. A satellite phone, or operable cellular phone must be available at each home site until a landline is available.
8. Trees shall not be removed within 25 feet of the base of the slope.
9. All driveways shall require access permits to be issued by San Juan County.

Merlin Schaefer

Sandra Ippolite

STATE OF COLORADO)
)
COUNTY OF _____)

The foregoing instrument was acknowledged before me this _____ day of _____, 2001 by Merlin Schaefer and by Sandra Ippolite.

Witness my hand and official seal.

Notary Public

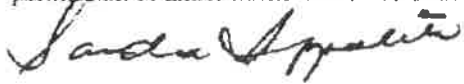
My Commission Expires: _____

R. [Signature]

Nov. 25, 2005

To whom it may concern,

As 50% owner of Cole Ranch Subdivision, by this letter I am hereby giving my permission to allow homesites to be built by the river on Lots 1 and 3.

A handwritten signature in cursive script, appearing to read "Sandra Ippolite".

Sandra Ippolite
1687 Floyd St.
Sarasota, FL 34239
941-362-3924

List of Adjacent Landowners

Sams Residence, Cole Ranch Subdivision

Adjacent Landowners:

School of the Ozarks
PO Box 17
Point Lookout, MO 65726

Elaine Hintz
4015 W 93 Terrace Apt 110
Prairie Village, KS 66207

Houghton Unlimited LLC
4936 S Fillmore Ct
Englewood, CO 80113

Keefe Family Revocable Trust
6219 Saddletree Ln
Yorba Linda, CA 92886

Jay & Janet Scherer
230 River Front Rd
Durango, CO 81303

Dr Builders LLC
721 Pike Dr
Pagosa Springs, CO 81147

Joseph Jepson
PO Box 729
Silverton, CO 81433

Jack & Barbara Clark
PO Box 767
Silverton, CO 81433

Derek & Megan Wendt
PO Box 504
Cheyenne Wells, CO 80810

List of Adjacent Landowners (cont.)

Sams Residence, Cole Ranch Subdivision

Adjacent Landowners:

George & Anna Riley
5 Road 5221
Bloomfield, NM 87413

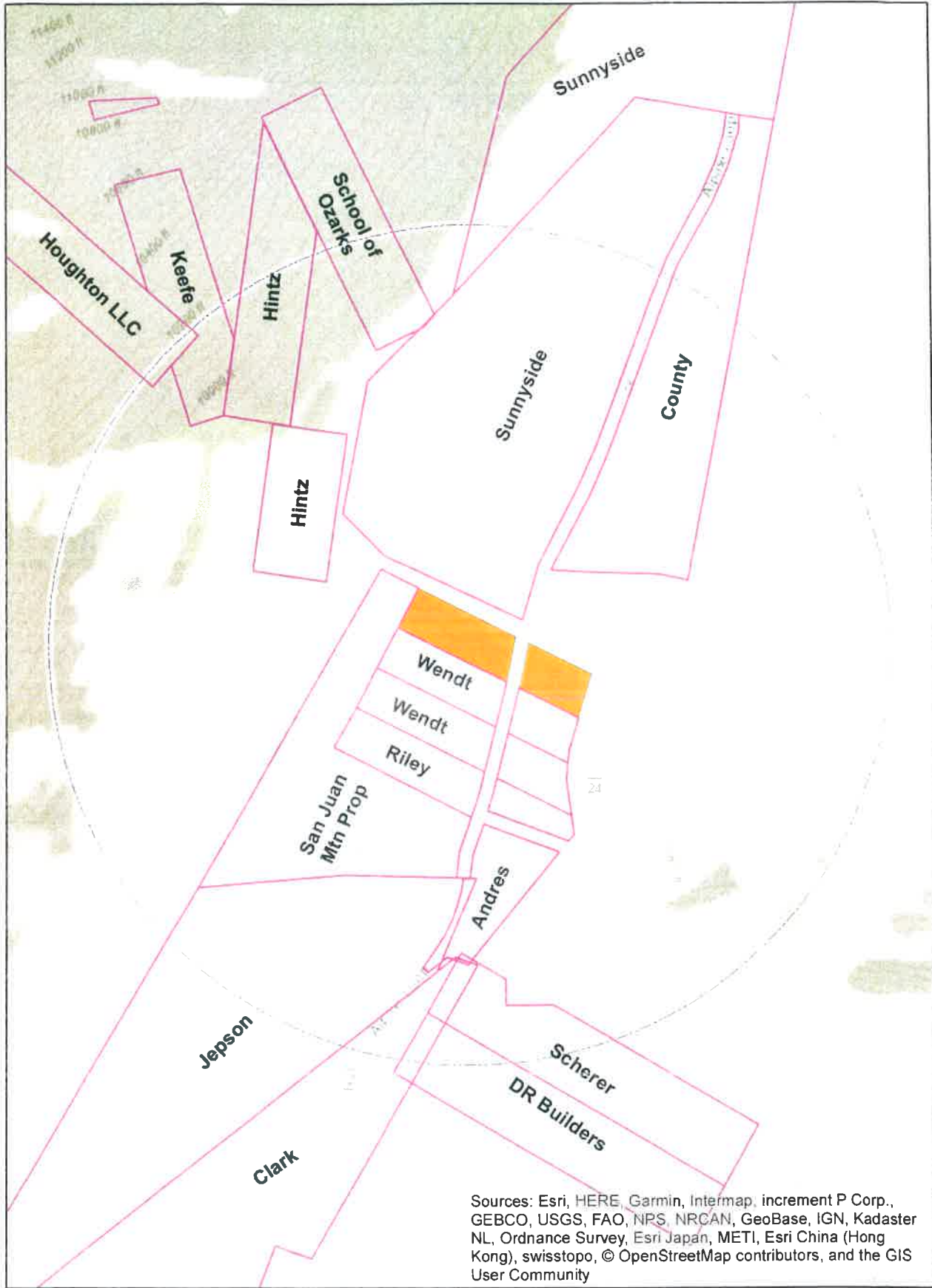
San Juan Mountain Properties LLC
7592 Aguila Dr
Sarasota, FL 34240

John & Annette Andres
7996 Peter Hoover Rd
New Albany, OH 43054

Sunnyside Gold Corp
PO Box 177
Silverton, CO 81433

San Juan County
PO Box 466
Silverton, CO 81433





Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NRS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, © OpenStreetMap contributors, and the GIS User Community

Project Narrative

Sams Residence, Cole Ranch Subdivision

Applicant Name and Address:

Todd and Julie Sams
P.O. Box 215
Oologah, OK 74053
(918) 606-0558

Project Location:

Cole Ranch Subdivision – Lot 1
4760 County Road 2
Silverton, Colorado 81433

Legal Description

Located in part of the John H. French Placer Mineral Survey No. 45, Mining District No. 7, Sec. 30, T 42 N, R 6 W, N.M.P.M., Eureka Mining District, San Juan County, Colorado

Proposed Development:

One single-family residence of approximately 2,600 sf. The Applicant is requesting approval of a new building envelope and general home location within this envelope on the west side of County Road 2, which will adhere to all San Juan County setback requirements and hazard restrictions. Although this location is outside the original approved building envelope, there are many reasons for this proposal, which the Applicant has described in the Cover Letter. A proposed plat amendment has been included with the sketch plans.

Zoning:

Mountain Zoning District

Acreage:

3.98 acres

Water Service:

The Applicant plans to construct a new well near the west corner of the proposed residence. The proposed well will be an ordinary household use inside one single-family dwelling. The well will be constructed by a Colorado licensed well driller in

accordance with the Colorado Division of Water Resources regulations. The well permit will be processed once the home location has been approved.

Sewer Service:

An onsite septic system is proposed for the residence and will be located approximately where shown on the site plan. Septic test pits have been dug and analyzed on-site, and a septic designer has created recommendations for septic system siting, which is included in this application in letter form. The system will be engineered by a Colorado Licensed Professional Engineer in accordance with the San Juan Basin Health Department regulations. The septic permit will be processed once approval is granted for the proposed home location.

Power:

The Applicant plans to tie into the existing overhead electric line that runs across the western section of the property. The proposed line will be an underground service line.

Phone:

The nearby existing phone line located on the east side of County Road 2 will be used for phone service.

Access:

The site is accessed via County Road 2, which bisects the property. One driveway is being proposed to access the home on the west side of CR 2. The driveway will include a culvert, as well as any additional requirements of the County Road and Bridge Department Supervisor. A driveway permit form has been submitted to the Road and Bridge Supervisor.

Heating:

A forced air system will be used as the primary source of heat for the residence and a pellet/wood stove will be used as supplemental heat when necessary.

Exterior Lighting:

Minimal exterior lighting will be incorporated for safety and screened lighting under the deck. Exterior lighting will be in conformance with San Juan County requirements.

Solid Waste Management:

The Applicant will be responsible for bi-weekly trash disposal provided by Bruin Waste Management. On-site trash will be contained within the provided dumpster at all times until removal to the transfer station.

Landscaping:

Landscaping is to consist of raking and removal of combustible ground cover near the residence as recommended by the Colorado State Forest Service Firewise Practices, to develop adequate defensible space. Revegetation and screening will be provided by the Applicant in accordance with the requirements of San Juan County.

Surveying:

An amended survey plat for this lot was prepared by Robert A. Larson of Monadnock Mineral Services. A copy of this survey plat is included with this application submittal for your review. A revised plat will be recorded upon approval of this application.

Subsurface Conditions:

Subsurface conditions have been tested and recorded by Trautner Geotech LLC. A copy of the report is included with this application.

Building Envelope and Siting:

The lot is divided by County Road 2. The portion of the project site west of CR 2 contains a moderately sloped grassy meadow sloping gradually toward the Animas River with pine and aspens dispersed about the site and clustered adjacent the abandoned railroad bed. The proposed location for the home was chosen for several reasons, which are addressed in the Applicant's cover letter. These include geologic hazards, health concerns, septic fit/design, and proper screening from CR 2, among other justifications.

County Avalanche Map:

The Sketch Plan for this project has been overlaid onto the County Avalanche Map, which is included with this application submittal for your review. According to the County Avalanche Map, the site does not appear to be within a potential avalanche area.

County Geohazards Map:

The Sketch Plan for this project has been overlaid onto the County Geohazards Map, which is included with this application submittal for your review. According to the County Geohazards Map, the proposed building location appears to be in an area of physiographic floodplain (pf). However, per visual inspection and FEMA panel review, it has been determined that the proposed building envelope is not in a floodplain, and there is no actual floodplain hazard. A letter recording this determination has been included with this application.

Foundation:

The foundation of the residence will include concrete stem walls and spread footings that will extend below frost depth and 12" minimum below native grade if backfill is used at any locations. The garage will be slab-on-grade with frost-protected spread footings. The deck will include wood posts with concrete spot footings that will extend below frost depth.

Elevation at Structure:

The floor elevation of the proposed residence is approximately 9,787 ft, which is below 11,000 feet elevation, where the County has limits on cabin square footage.

Residence Size and Height:

The residence will be two stories and will be approximately 40'x44' with a 7' deep wraparound covered porch and additional 30'x30' attached garage. The plan utilizes a smaller second story footprint, which results in a lower, more integrated roof design. The conditioned home area will be approximately 2,600 sf and the garage will be 900 sf.

The maximum height of the residence, which is measured from the lowest adjacent native grade up to the ridge of the 8:12 primary gable roof, is approximately 32'-0", which is below the County height limit of 35 feet. This height is approximate as the plans are schematic and will be confirmed during the building permit process.

Building Plans:

Preliminary building plans for the proposed residence are included in the following section of this package.

Residence Style:

The design of the home will reflect the log cabin style seen throughout the San Juan Mountains.

Building Materials:

An image of the proposed building materials and design vernacular is included in the Scenic Quality Report for your review. The proposed materials consist of the following:

- Log siding with a medium, natural stain.
- Rough sawn wood accents with a medium, natural stain.
- Slate color standing seam metal roof with matching trim.
- Stacked river stone used at the column bases.

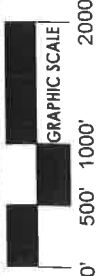
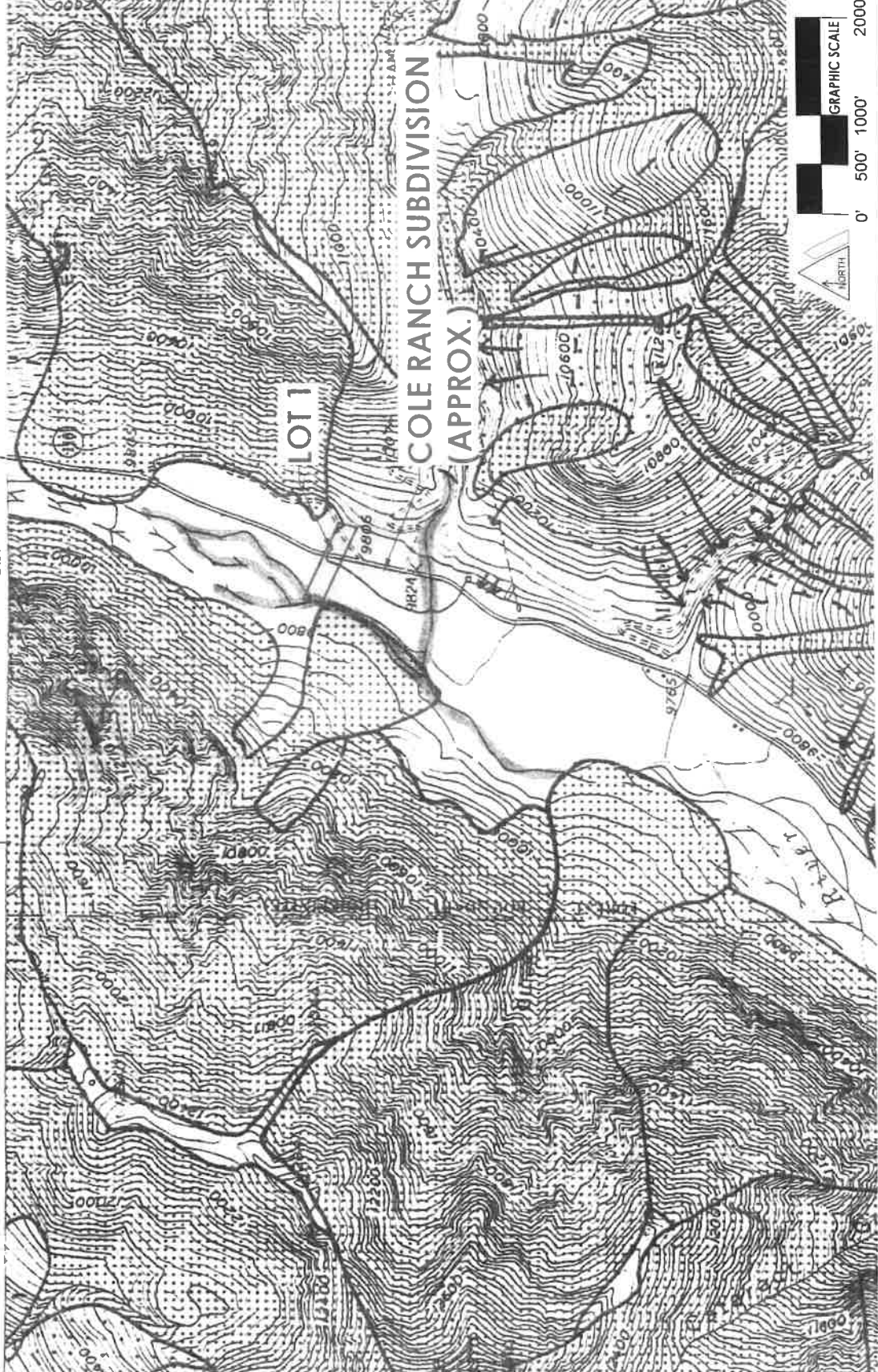


PROJECT # 20-02
ASSESSOR'S PARCEL # 47730300051000

NEW CONSTRUCTION OF:
THE SAMS RESIDENCE
LOT 1
COLE RANCH SUBDIVISION
SILVERTON, CO 81433

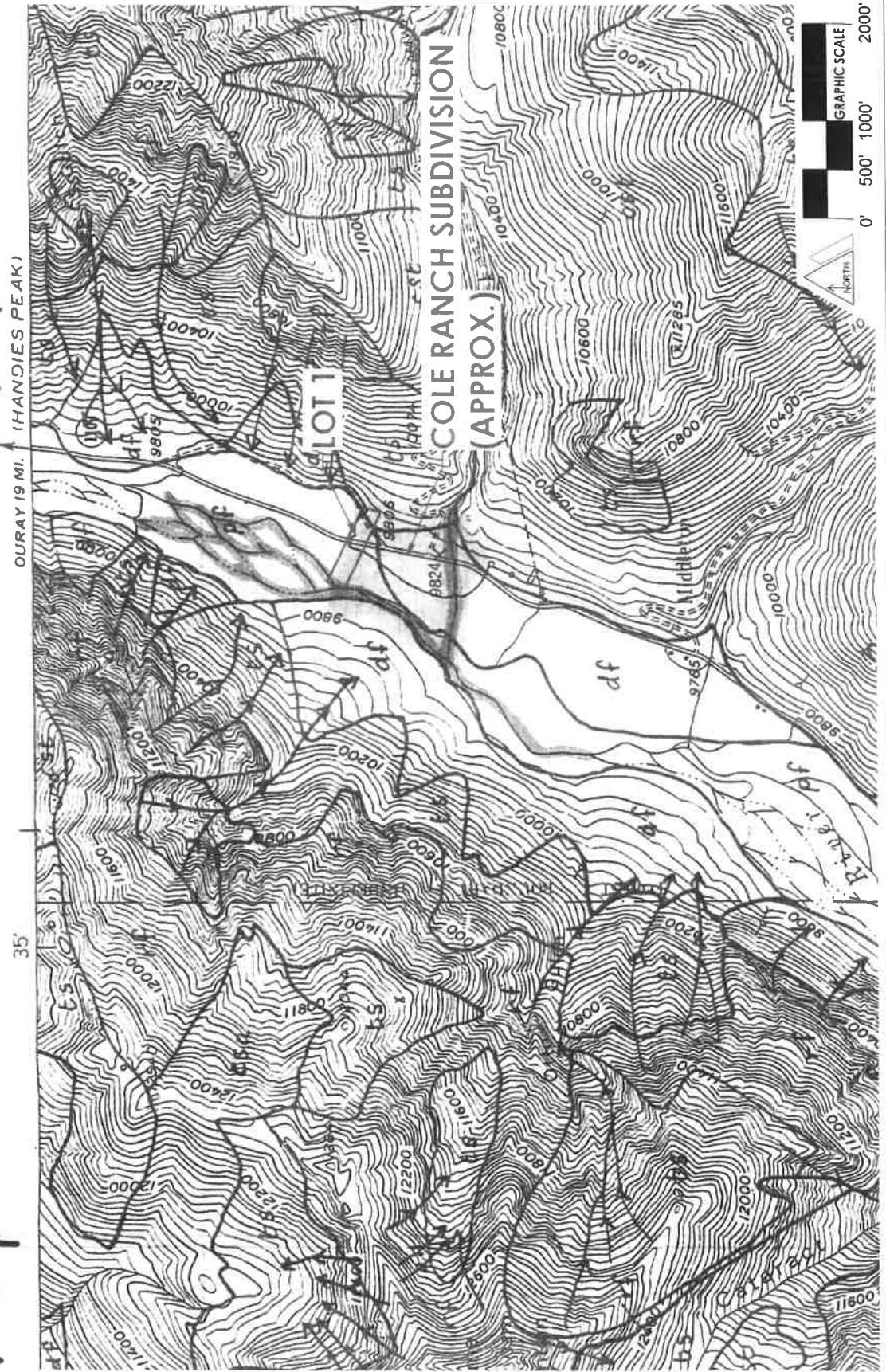
SHEET # C
SCALE: 1" = 1000'
SKETCH PLAN & COUNTY & COUNTY AVALANCHE MAP

COUNTY AVALANCHE HAZARD MAP 35
COLE RANCH 2/25/20 OMA
OURAY 19 MI | HANAU 5 14 AA1



COUNTY GEOHAZARD
MAP

COLE RANCH
2/25/20 dma



MOUNTAIN grain
ARCHITECTURE
LAWRENCE CURRANT
501 S 178C
mtnarch.com
505.225.1234

PROJECT #:	20-02
ASSESSOR'S PARCEL #:	47730300051000

NEW CONSTRUCTION OF:
THE SAMS RESIDENCE
LOT 1
COLE RANCH SUBDIVISION
SILVERTON, CO 81433

SHEET TITLE	SKETCH PLAN & COUNTY GEOHAZARD MAP
SHEET #	D
SCALE:	1" = 1000'

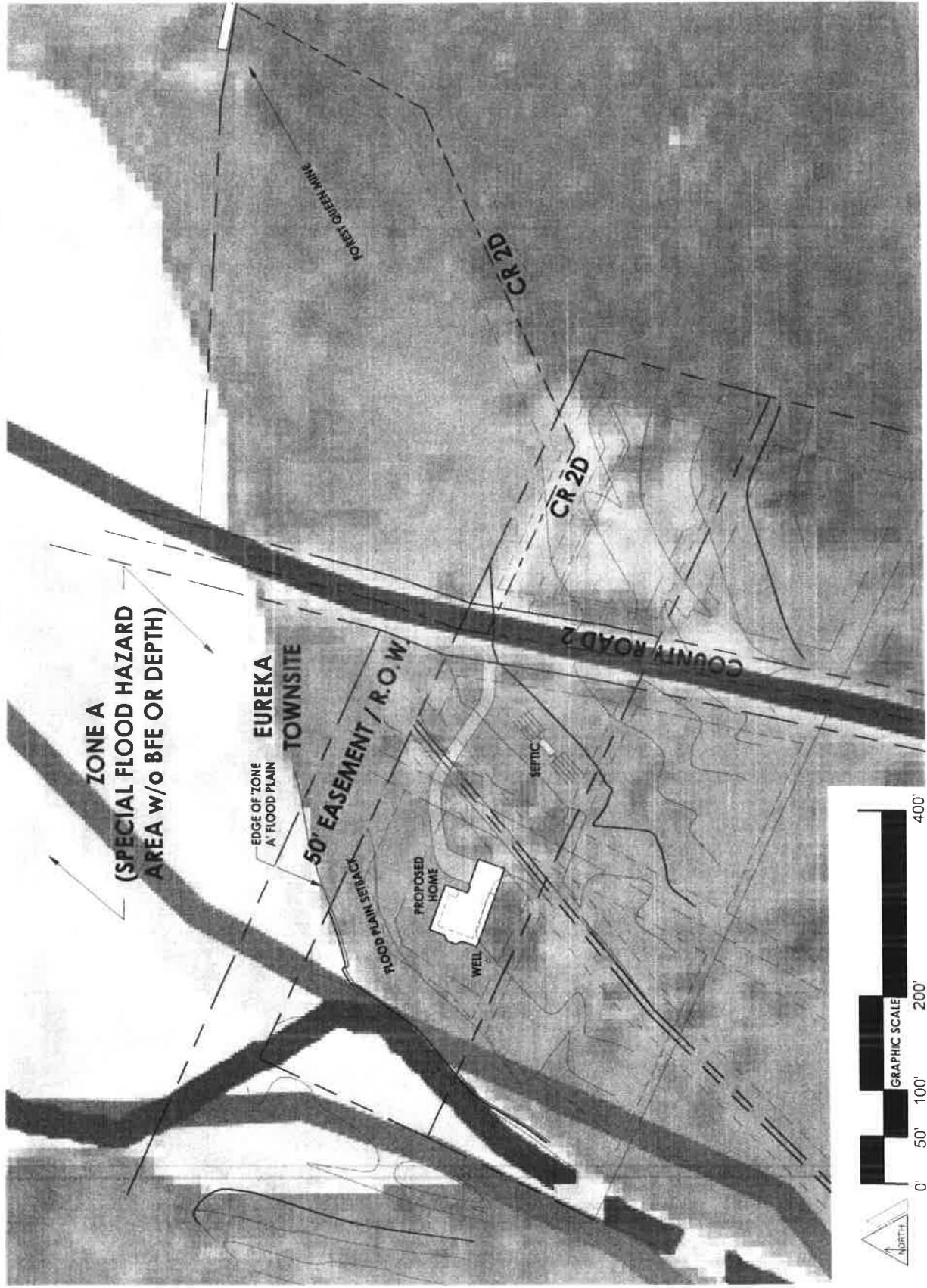


PROJECT #:
 20-02
 ASSESSOR'S FACEL #:
 4730300C51000

NEW CONSTRUCTION OF:
THE SAM'S RESIDENCE
 LOT 1
 COLE RANCH SUBDIVISION
 SILVERTON, CO 81433

SKETCH PLAN WITH FLOOD HAZARD MAP

E
 SCALE: 1" = 100'-0"



**ZONE A
 (SPECIAL FLOOD HAZARD
 AREA W/O BFE OR DEPTH)**

**EUREKA
 TOWNSITE**

50' EASEMENT / R.O.W.

**PROPOSED HOME
 WELL**

SEPTIC

COUNTY ROAD 2

CR 2D

CR 2D

FOREST GREEN AVE





MOUNTAIN grain
ARCHITECTURE

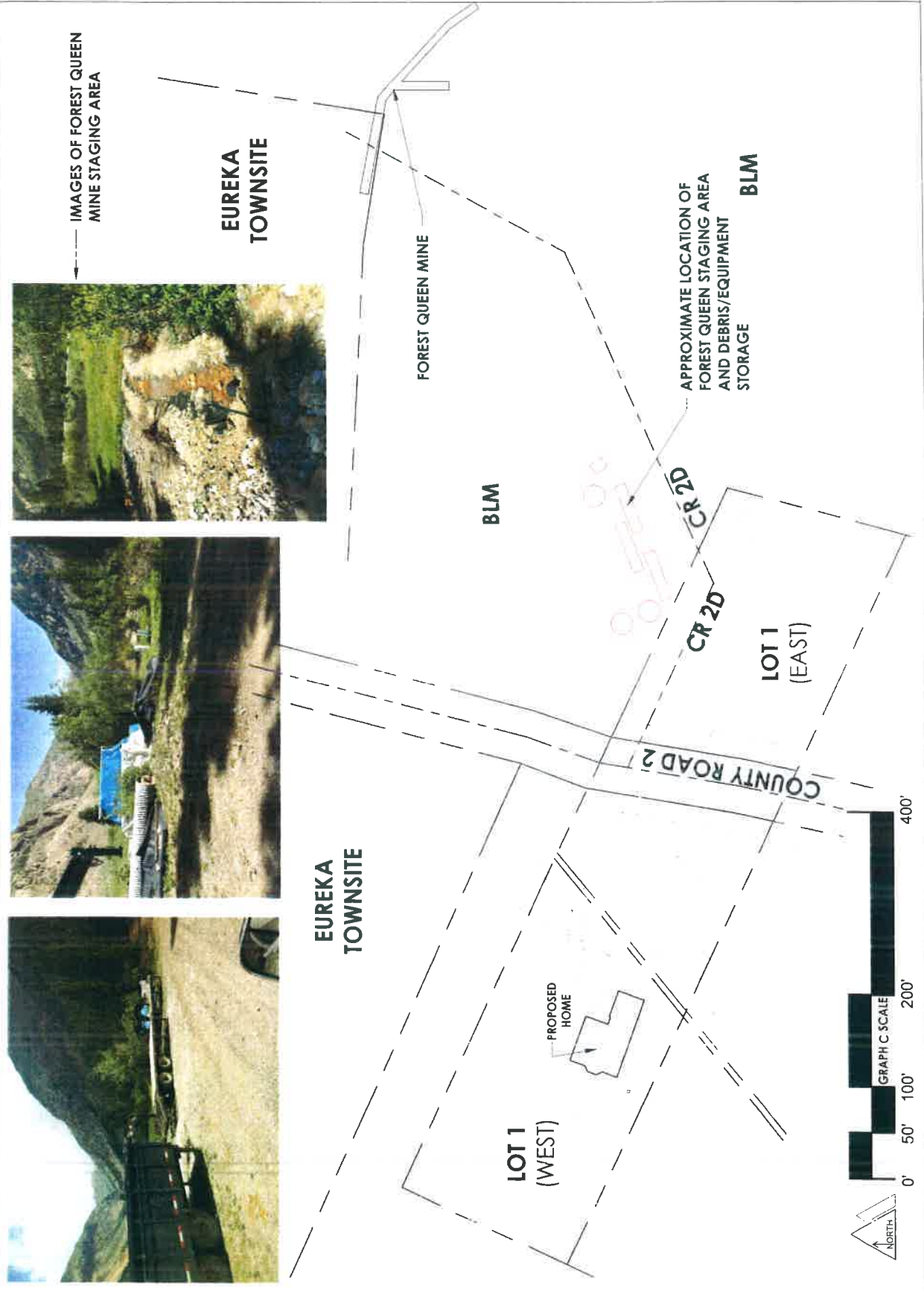
10000 S. COUNTY RD.
SILVERTON, CO 81433
TEL: 970.426.1111
WWW.MOUNTAINGRAINARCHITECTURE.COM

PROJECT #: 20-02
ASSESSOR'S PARCEL #: 4730300051000

NEW CONSTRUCTION OF:
THE SAMS RESIDENCE
LOT 1
COLE RANCH SUBDIVISION
SILVERTON, CO 81433

SKETCH PLAN WITH MINE HAZARDS

SCALE: 1" = 100'-0"



IMAGES OF FOREST QUEEN MINE STAGING AREA

EUREKA TOWNSITE

EUREKA TOWNSITE

FOREST QUEEN MINE

BLM

LOT 1 (WEST)

PROPOSED HOME

COUNTY ROAD 2

CR 2D

CR 2D

LOT 1 (EAST)

APPROXIMATE LOCATION OF FOREST QUEEN STAGING AREA AND DEBRIS/EQUIPMENT STORAGE

BLM



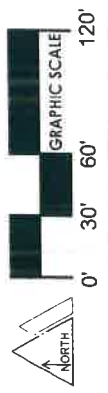
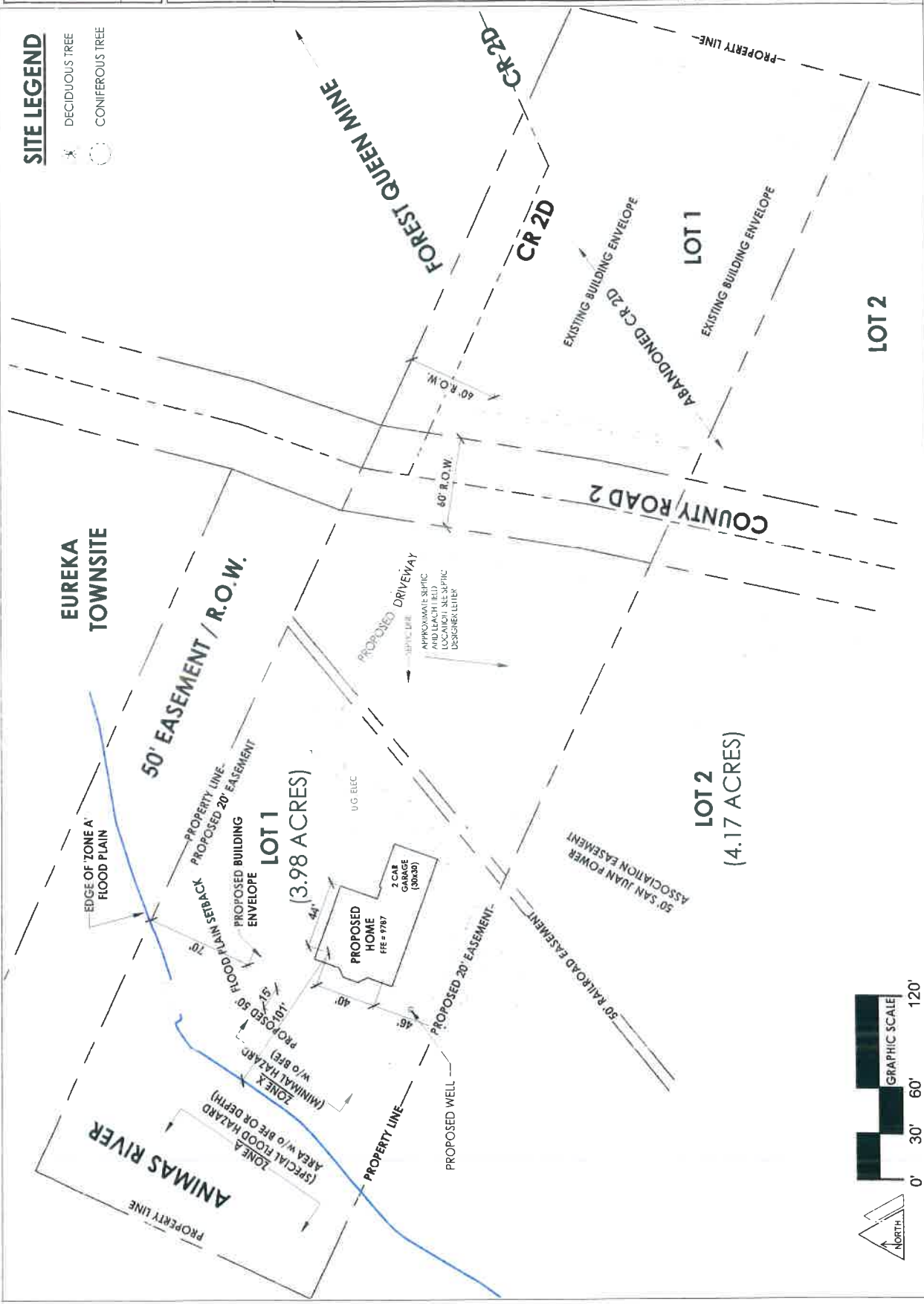


PROJECT #: 20-02
 ASSESSOR'S PARCEL #: 47730300051000

NEW CONSTRUCTION OF:
THE SAMS RESIDENCE
 LOT 1
 COLE RANCH SUBDIVISION
 SILVERTON, CO 81433

SHEET # G
 SCALE: 1" = 60'-0"

SITE LEGEND
 * DECIDUOUS TREE
 ○ CONIFEROUS TREE





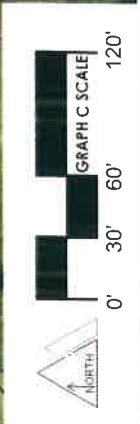
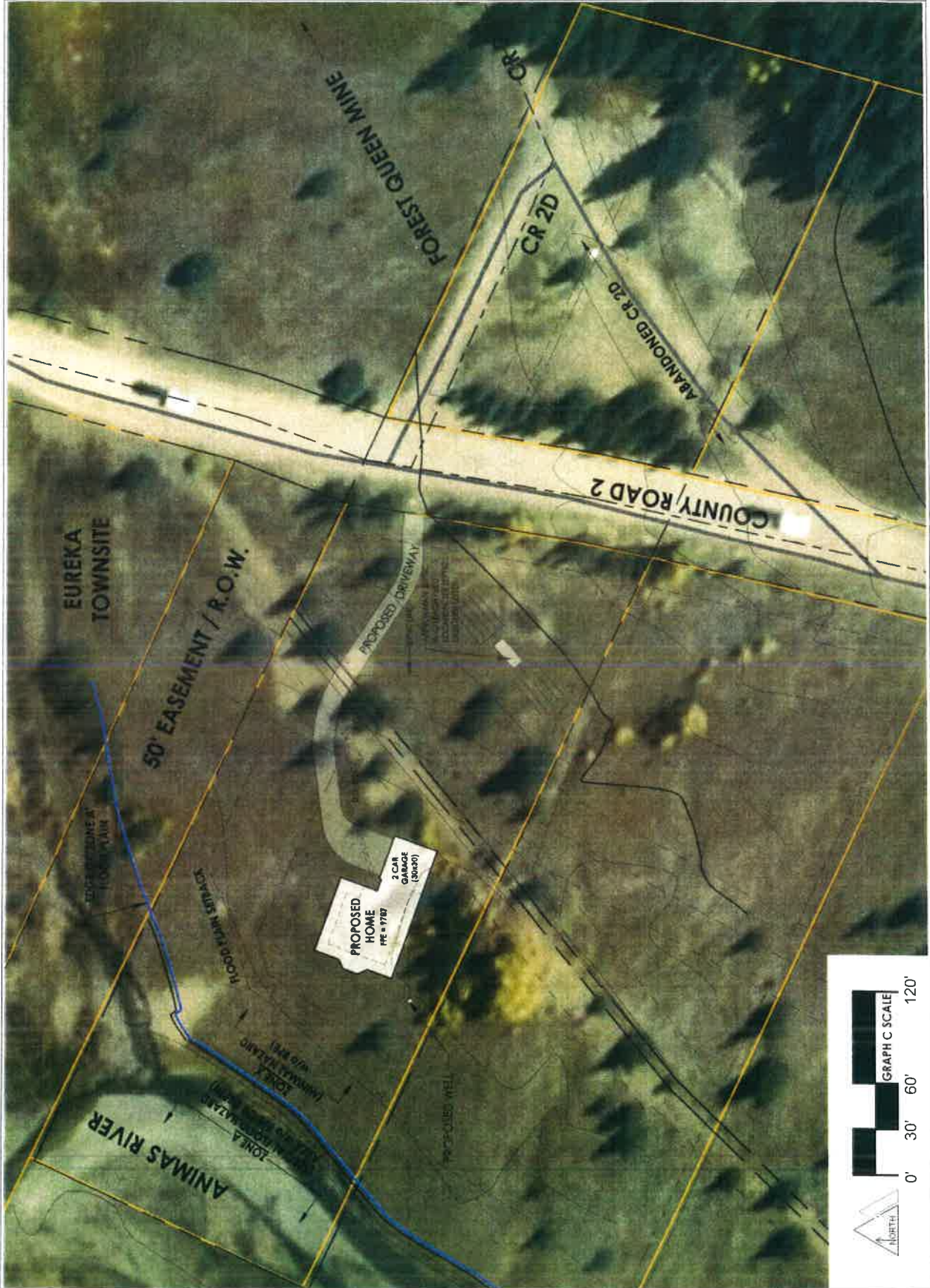
ARCHITECTURE
10101 10th Ave
Silverton, CO 81433

PROJECT #: 20-02
ASSESSORS PARCEL #: 4730300051000

NEW CONSTRUCTION OF:
THE SAM'S RESIDENCE
LOT 1
COLE RANCH SUBDIVISION
SILVERTON, CO 81433

SHEET # H
SHEET # H
SCALE: 1" = 60'-0"

SKETCH PLAN WITH AERIAL IMAGE



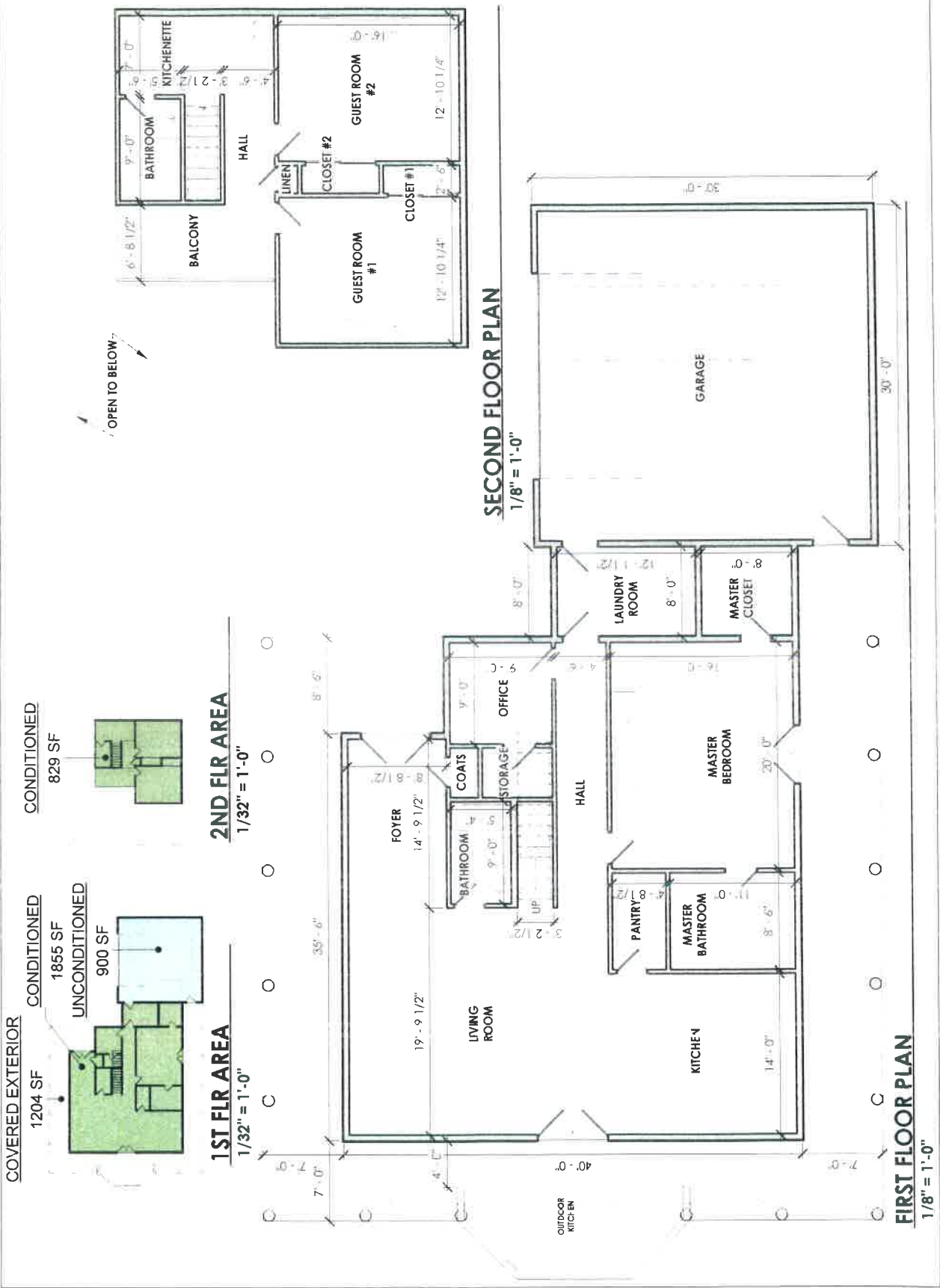


PROJECT #: 47730300051000
ASSESSOR'S PARCEL #: 47730300051000
CO-02

NEW CONSTRUCTION OF:
THE SAMS RESIDENCE
LOT 1
COLE RANCH SUBDIVISION
SILVERTON, CO 81433

SHEET TITLE: DRAFT FLOOR PLANS
SCALE: As indicated

APPLICATION FOR IMPROVEMENT PERMIT | 09 02 2020



Christopher Clemmons

From: Chad Engelhardt <engelhardtenvironmental@gmail.com>
Sent: Friday, July 31, 2020 2:22 PM
To: Christopher Clemmons
Cc: animaspines@gmail.com; sds@durango.net
Subject: RE: Cole Ranch Lot 1
Attachments: OWTS Site Plan.pdf

Chris,

With regard to the possible OWTS (on-site wastewater treatment system) options for the Sams' property at Lot 1 of the Cole Ranch Subdivision in Silverton, CO, I submit the following:

On June 4, 2020, I conducted a site and soil evaluation to determine the most suitable OWTS location respective to the proposed building envelope, among other limiting factors; please refer to the attached OWTS site plan. At the proposed OWTS location, I believe that conditions are the most conducive for OWTS construction. In this scenario, grade is such that a pressurized OWTS would be required and I would recommend placing the force main in alignment with the proposed driveway, where there is already a cut in the old railroad bed. The desired building envelope overlaps the alternate OWTS location, and it is for this reason, deemed "alternate". However, at the alternate OWTS location, I would characterize the soils as more suitable for effluent treatment than that of the proposed OWTS location.

On July 17, 2020, I returned to the property to evaluate the viability of placing the OWTS and all other improvements on the east side of County Road 2. Given the available area, among other limiting factors, it is my opinion that placing all of the proposed improvements may not be possible. If placing the building envelope on the east side of County Road 2 is subsequently desired, it may be possible to trench the sewer line to the west, beneath County Road 2, and construct the OWTS at the aforementioned proposed or alternate locations.

Please let me know if you have any questions or need anything further from me at this time.

Thank you.

Chad Engelhardt
Engelhardt Environmental, LLC.
engelhardt.environmental@gmail.com
970.946.8657



ARCHITECTURE
 MOUNTAIN GRAIN
 100 S. 1st St.
 Eureka, CA 95501
 (707) 441-1111

PROJECT # 20102
 DATE 06/20/10
 SHEET # 01

THE SAMS RESIDENCE
 LOT 1
 COLE RANCH SUBDIVISION
 SILVERTON, CO 81433
 4773000001001

SKETCH PLAN
 WITH AERIAL
 IMAGE

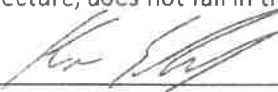
E

SCALE: 1" = 60.0'



To whom it may concern:

The bore holes on Lots 1 and 4 of the Cole ranch Subdivision, located in San Juan County, Colorado, as shown on the enlarged Geohazard Map sheet G as provided by Mountain Grain Architecture, does not fall in the Flood Plain.



Kenneth E. Schaaf PLS 38114



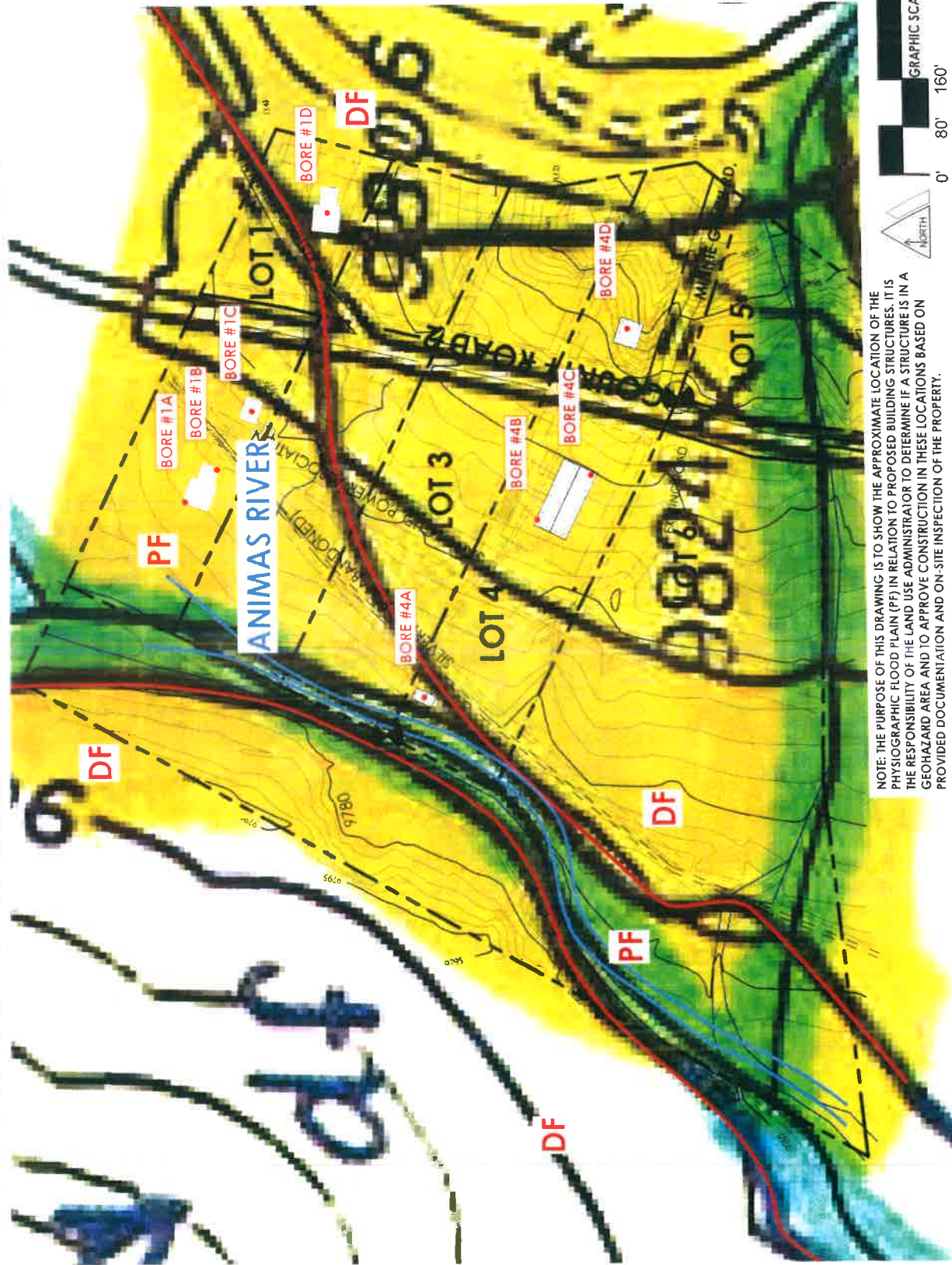
ENLARGED GEOHAZARD MAP

1-281 4

G

SCALE: 1" = 160'-0"

SOILS COORDINATION | 05/27/2020



NOTE: THE PURPOSE OF THIS DRAWING IS TO SHOW THE APPROXIMATE LOCATION OF THE PHYSIOGRAPHIC FLOOD PLAIN (PF) IN RELATION TO PROPOSED BUILDING STRUCTURES. IT IS THE RESPONSIBILITY OF THE LAND USE ADMINISTRATOR TO DETERMINE IF A STRUCTURE IS IN A GEOHAZARD AREA AND TO APPROVE CONSTRUCTION IN THESE LOCATIONS BASED ON PROVIDED DOCUMENTATION AND ON-SITE INSPECTION OF THE PROPERTY.



San Juan County Historic Impact Review Committee
Silverton, CO 81433

Re: Lots 1 & 2 Cole Ranch Subdivision – Merlin Schaefer, Applicant

Date: January 24, 2006

The Historic Impact Review Committee reviewed the above project at the request of the county planner. Present were Bill Jones, Steve Fearn, and Scott Fetchenheir. David Singer met earlier with Bill Jones to give his input.

No site visit was performed due to winter snow conditions. The site maps prepared by Engineer Mountain were reviewed, and specific details of the site and project were obtained from Lisa Adair and Beverly Kaiser by telephone. The principal historic site under review is the Silverton Northern Railroad grade crossing the site. This right of way has previously been determined by San Juan County to be an historic site.

The principal impact to site is potential crossing by driveways to access proposed building envelopes. The grade is in a cut where it enters the northerly sideline of lot 1 and this cut diminishes to the south. No ties are said to remain on the grade, which is otherwise very intact and shows good historic integrity. A 20 foot setback on each side of the grade center line has already been established by plat survey. The Impact Committee deems the grade a significant historic site and should be preserved intact. The committee has the following recommendations:

1. Any road crossing shall be made at the grade of the existing roadbed, to preserve the existing railroad grade elevation. If crossed where the railroad grade lies in a cut the cut's sides should be excavated and re-graded to bring the new road down to the railroad grade elevation. The historic grade and cut shall not be filled. If crossed where the historic grade is elevated from the adjacent topography, the new road should be filled to the top of the existing railroad grade elevation, not cut through.
2. Spoil from cut and fill operations should not be placed within the 40 foot railroad right of way.
3. The new road(s) should be limited to a roadway width of 10 to 12 feet to prevent excessive cut and fill work and subsequent excessive impact to the railroad grade.
4. The driveway for lots 1 and 3 should be located along the south side boundary line to minimize cuts needed to reach grade as the topography in this area is less. In addition locating the driveways here would permit them to be used in future to access lots 2 and 4. The committee recommends keeping crossings of the historic railroad grade to a minimum. Two crossings could potentially access four lots.
5. The 20 foot set back from the railroad grade center line should be maintained as a minimum for all construction on the site.
6. If site conditions in the spring show different conditions than assumed above, a site visit should be requested for further review. If conditions are essentially as described above, no additional site visit is necessary.

Sincerely,

San Juan County Historic Impact Review Committee


By: William R Jones

Copy: Engineer Mountain

GEOTECHNICAL ENGINEERING STUDY

SAMS RESIDENCE

LOT 1 COLE RANCH

SILVERTON, COLORADO

JULY 9, 2020

PREPARED FOR:
Todd and Julie Sams
c/o Christopher Clemmons, RA, NCARB
Mountain Grain Architecture
PROJECT NO. 56082GE

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Project No. 56082GE
July 9, 2020

1.0 REPORT INTRODUCTION

This report presents our geotechnical engineering recommendations for the proposed Sams residence and shop structure located on Lot 1 Cole Ranch, Silverton, San Juan County, Colorado. This report was requested by Christopher Clemmons, RA, NCARB, Mountain Grain Architecture, on behalf of Todd and Julie Sams, and was prepared in accordance with our proposal dated May 22, 2020, Proposal No. 20128P.

As outlined within our proposal for services for this project the client is responsible for appropriate distribution of this report to other design professionals and/or governmental agencies unless specific arrangements have been made with us for distribution.

Geotechnical engineering is a discipline which provides insight into natural conditions and site characteristics such as; subsurface soil and water conditions, soil strength, swell (expansion) potential, consolidation (settlement) potential, and often slope stability considerations. The information provided by the geotechnical engineer is utilized by many people including the project owner, architect or designer, structural engineer, civil engineer, the project builder and others. The information is used to help develop a design and subsequently implement construction strategies that are appropriate for the subsurface soil and water conditions, and slope stability considerations. We are available to discuss any aspect of this report with those who are unfamiliar with the recommendations, concepts, and techniques provided below.

This geotechnical engineering report is the beginning of a process involving the geotechnical engineering consultant on any project. It is imperative that the geotechnical engineer be consulted throughout the design and construction process to verify the implementation of the geotechnical engineering recommendations provided in this report. Often the design has not been started or has only been initiated at the time of the preparation of the geotechnical engineering study. Changes in the proposed design must be communicated to the geotechnical engineer so that we have the opportunity to tailor our recommendations as needed based on the proposed site development and structure design.

The following outline provides a synopsis of the various portions of this report;

- ❖ Sections 1.0 provides an introduction and an establishment of our scope of service.
- ❖ Sections 2.0 and 3.0 of this report present our geotechnical engineering field and laboratory studies
- ❖ Sections 4.0 through 7.0 presents our geotechnical engineering design parameters and recommendations which are based on our engineering analysis of the data obtained.
- ❖ Section 8.0 provides a brief discussion of construction sequencing and strategies which may influence the geotechnical engineering characteristics of the site. Ancillary information such as some background information regarding soil corrosion and radon considerations is also presented as general reference.
- ❖ Section 9.0 provides our general construction monitoring and testing recommendations.
- ❖ Section 10.0 provides our conclusions and limitations.

The data used to generate our recommendations are presented throughout this report and in the attached figures.

Project No. 56082GE

July 9, 2020

All recommendations provided throughout within this report must be followed in order to achieve the intended performance of the foundation system and other components that are supported by the site soil.

1.1 Proposed Construction

We understand the proposed construction will consist of a new single-family residential structure and shop structure. We assume the proposed structures will likely be a wood framed structure supported by a steel reinforced concrete foundation system. Grading for the structure is assumed to be relatively minor with cuts of approximately 3 to 8 feet below the adjacent ground surface. We assume relatively light foundation loadings, typical of the proposed type of construction.

When final building location, grading and loading information have been developed, we should be notified to re-evaluate the recommendations presented in this report.

2.0 FIELD STUDY

2.1 Site Description and Geomorphology

The approximate 3.98 acre property is currently vacant. The ground surface is relatively flat within the proposed building locations. The Animas River borders the lot to the west and an old railroad easement and CR 2 and 2D transects and borders the property. Vegetation consists primarily of coniferous and deciduous trees and grasses.

2.2 Subsurface Soil and Water Conditions

We advanced a total of four test borings in the vicinity of the proposed structures. A schematic showing the approximate boring locations is provided below as Figure 1. The logs of the soils encountered in our test borings are presented in Appendix A.

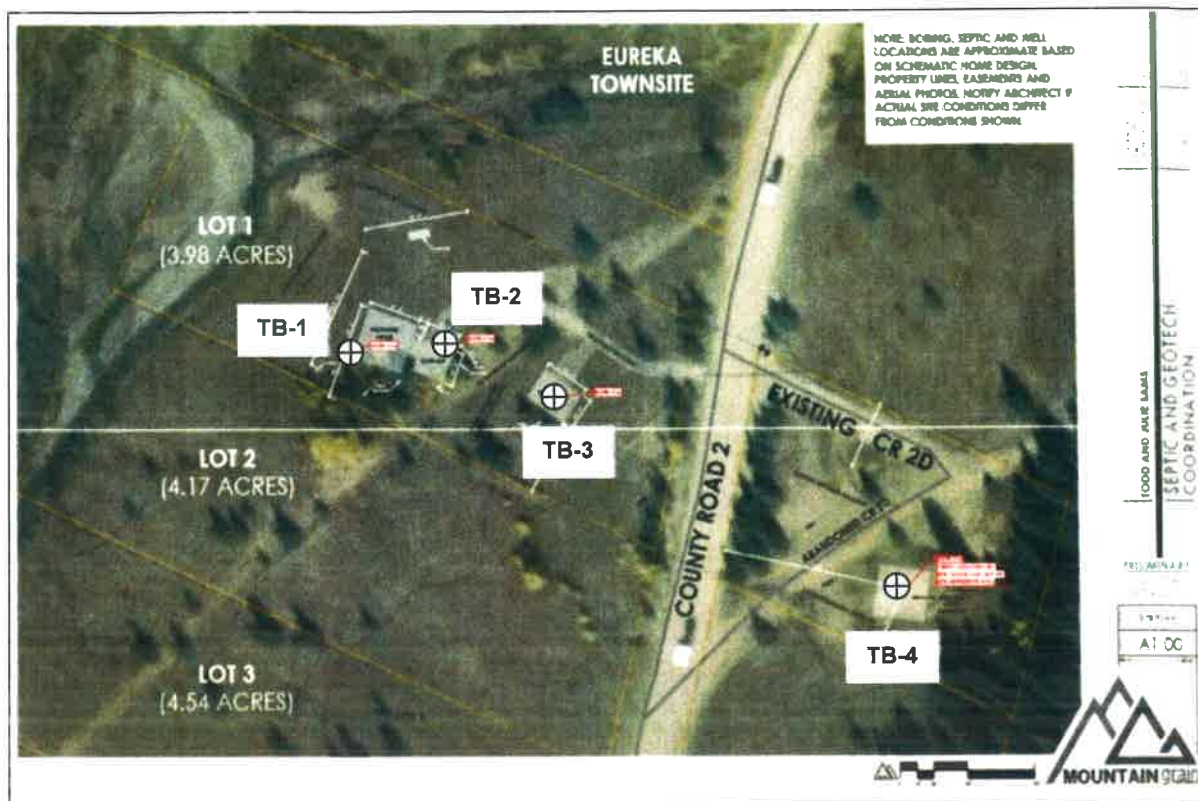


Figure 1: Locations of Exploratory Borings. Adapted from a Mountain Grain site plan dated June 4, 2020.

The schematic presented above was prepared using notes and field measurements obtained during our field exploration and is intended to show the approximate test boring locations for reference purposes only.

The subsurface conditions encountered in our test borings consisted of poorly graded gravel and cobbles with silt and sand and few boulders (GP-GM). Practical auger drilling refusal was encountered on cobble/small boulder size material at depths ranging from 3.5 to 5 feet.

We did not encounter free subsurface water in our test borings at the time of the advancement of our test borings at the project site. We suspect that the subsurface water elevation and soil moisture conditions will be influenced by snow melt and/or precipitation and local irrigation.

The logs of the subsurface soil conditions encountered in our test borings are presented in Appendix A. The logs present our interpretation of the subsurface conditions encountered exposed in the test borings at the time of our field work. Subsurface soil and water conditions are often variable across relatively short distances. It is likely that variable subsurface soil and water conditions will be encountered during construction. Laboratory soil classifications of samples obtained may differ from field classifications.

3.0 LABORATORY STUDY

The laboratory study included tests to estimate the strength, swell and consolidation potential of the soils tested. We performed the following tests on select samples obtained from the test

borings.

- Moisture Content and Dry Density
- Sieve Analysis (Gradation)
- Atterberg Limits, Liquid Limit, Plastic Limit and Plasticity Index
- Swell Consolidation Tests

A synopsis of some of our laboratory data for some of the samples tested is tabulated below.

Sample Designation	Percent Passing #200 Sieve	Atterberg Limits LL/PI	Moisture Content (percent)	Dry Density (PCF)	Measured Swell Pressure (PSF)	Swell or Consolidation Potential
TB-1 @ 0-4'	-	-	10.3	104.2	1,680*	0.8 (% under 500 psf load)
TB-2 @ 0-3 ½'	5	34/8	4.1	-	-	-
TB-3 @ 2'	-	-	6.9	106.3	0*	-0.2% (% under 500 psf load)

*NOTES

- 1 We determine the swell pressure as measured in our laboratory using the constant volume method. The graphically estimated load-back swell pressure may be different from that measured in the laboratory.
- 2 * = Swell-Consolidation test performed on remolded sample due to rock content. Test results should be considered an estimate only of the swell or consolidation potential at the density and moisture content indicated.

4.0 FOUNDATION RECOMMENDATIONS

There are two general types of foundation system concepts, “deep” and “shallow”, with the designation being based on the depth of support of the system. We have provided a discussion viable foundation system concepts for this project below. The choice of the appropriate foundation system for the project is best made by the project structural engineer or project architect. We should be contacted once the design choice has been made to provide consultation regarding implementation of our design parameters.

Deep foundations will provide for the least likelihood of post-construction movement of the structure. Deep foundation system design concepts may be viable for this project; however, we anticipate that only a shallow foundation system design is being considered at this time. We are available to develop deep foundation design parameters if desired.

4.1 Shallow Foundation System Concepts

Subsurface data indicate that GP-GM soils will likely be encountered beneath shallow foundations. Based on the laboratory analysis, the soils encountered in our borings were found to have a low swell potential of 1,680 pounds per square foot (psf) and a magnitude of 0.8 percent under a 500 psf surcharge load and a low consolidation potential. The anticipated soils at the foundation level are considered good for shallow foundation support.

There are numerous types of shallow foundation systems and variants of each type. Shallow foundation system concepts discussed below include:

Project No. 56082GE
July 9, 2020

- Spread Footings (continuous and isolated) and stem walls
- Mat or Raft Foundations

The integrity and long-term performance of each type of system is influenced by the quality of workmanship which is implemented during construction. It is imperative that all excavation and fill placement operations be conducted by qualified personnel using appropriate equipment and techniques to provide suitable support conditions for the foundation system.

4.1.1 Spread Footings

A spread footing foundation system consists of a footing which dissipates, or spreads, the loads imposed from the stem wall (or beam) from the structure above. We recommend that the footings be supported by a layer of moisture conditioned and compacted natural soil which is overlain by a layer of compacted structural fill material. This concept is outlined below:

- The foundation excavation should be excavated to at least six (6) inches below the proposed footing support elevation.
- The natural soils exposed in the bottom of the excavation should be scarified to a depth of about 6 to 8 inches
- The scarified soil should be thoroughly moisture conditioned to about 2 percent above the laboratory determined optimum moisture content and then compacted.
- After completion of the compaction of the moisture conditioned natural soil a six (6) inch thick layer of granular aggregate base course structural fill material should be placed, moisture conditioned and compacted.
- The moisture conditioned natural soil material and the granular soils should be compacted as discussed under the Compaction Recommendations portion of this report below.

Scattered boulders were encountered in our test borings and large boulders are known to be present throughout the vicinity. Due to the size of the boulders encountered in the vicinity, if encountered, they may be difficult to remove using conventional excavation techniques and equipment. Removal of large boulders can also create a void of loose soil beneath structural components, which may require additional removal of loose soil and replacement with structural fill. In some instances, it may be preferable to leave boulders in place. Reduction in the thickness of the recommended structural fill beneath footings and slabs may also be prudent to limit disturbance to the bearing soils. If large boulders are encountered in the building footprint, a representative of the geotechnical engineer can provide field observations and provide additional recommendations for subgrade preparation.

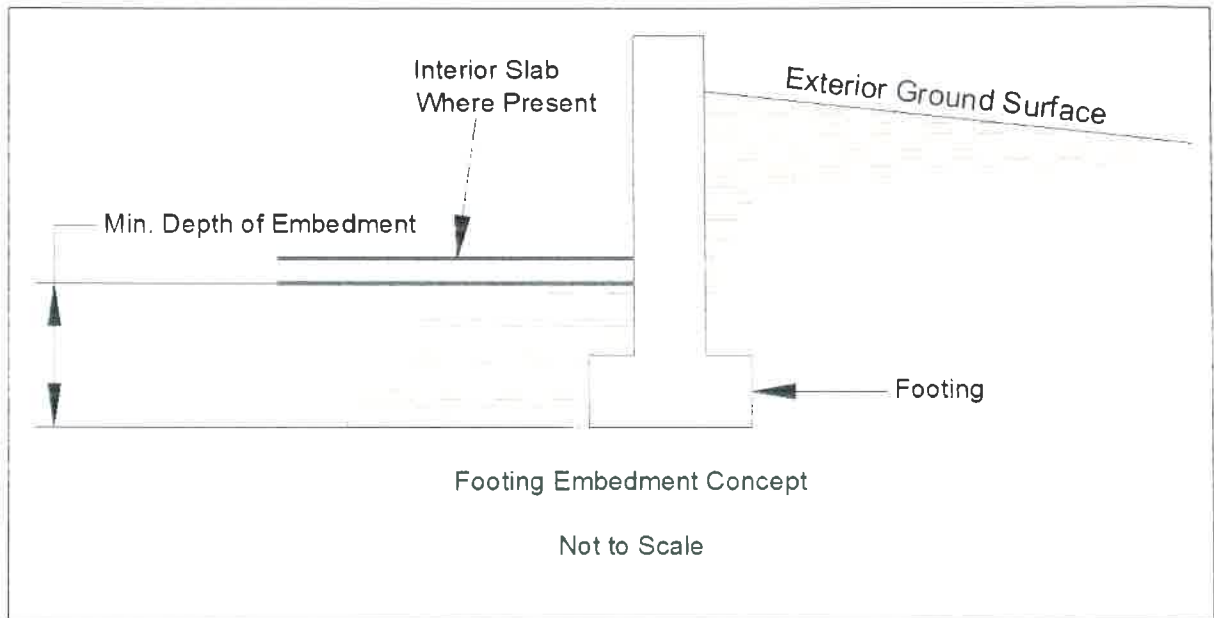
We recommend that particular attention and detail be given to the following aspects of the project construction for this lot;

- A subsurface drain system should be installed adjacent to the residential structure foundation system. Recommendations for a subsurface drain system concepts are presented in Section 5.0 of this report.
- The exterior foundation backfill must be well compacted and moisture conditioned to above optimum moisture content. Recommendations for exterior foundation backfill are provided later in this report.

We recommend below-grade construction, such as retaining walls, crawlspace and basement areas, be protected from wetting and hydrostatic pressure buildup by an underdrain and wall drain system. Topographic conditions on the site may influence the ability to install a subsurface drain system which promotes water flow away from the foundation system. The subsurface drain system concept is discussed under the Subsurface Drain System section of this report below.

The footing embedment is a relatively critical, yet often overlooked, aspect of foundation construction. The embedment helps develop the soil bearing capacity, increases resistance of the footing to lateral movement and decreases the potential for rapid moisture changes in the footing support soils, particularly in crawl space areas. Interior footing embedment reduces the exposure of the crawl space support soils to dry crawl space air. Reduction in drying of the support soil helps reduce downward movement of interior footings due to soil shrinkage.

All footings should have a minimum depth of embedment of at least one 1 foot. The embedment concept is shown below.



Spread footings located away from sloped areas may be designed using the bearing capacity information tabulated below.

Minimum Depth of Embedment (Feet)	Continuous Footing Design Capacity (psf)	Isolated Footing Design Capacity (psf)
1	2,000	2,500
2	2,500	3,000
3	3,000	3,500

The bearing capacity values tabulated above may be increased by 20 percent for transient conditions associated with wind and seismic loads. Snow loads are not transient loads.

The bearing capacity values above were based on footing placed directly on the natural soils and on a continuous spread footing width of 1 ½ feet and an isolated footing width of 3 ½ feet. Larger footings and/or footings placed on a blanket of compacted structural fill will have a higher design soil bearing capacity. Development of the final footing design width is usually an iterative process based on evaluation of design pressures, footing widths and the thickness of compacted structural fill beneath the footings. We should be contacted as the design process continues to re-evaluate the design capacities above based on the actual proposed footing geometry.

The settlement of the spread footing foundation system will be influenced by the footing size and the imposed loads. We estimated the total post construction settlement of the footings based on our laboratory consolidation data, the type and size of the footing. Our analysis below assumed that the highest bearing capacity value tabulated above was used in the design of the footings. The amount of post construction settlement may be reduced by placing the footings on a blanket of compacted structural fill material.

The estimated settlement for continuous footing with a nominal width of about 1 ½ to 2 ½ feet are tabulated below

Thickness of Compacted Structural Fill (feet)	Estimated Settlement (inches)
0	½ - ¾
B/2	¼ - ½
B	About ¼

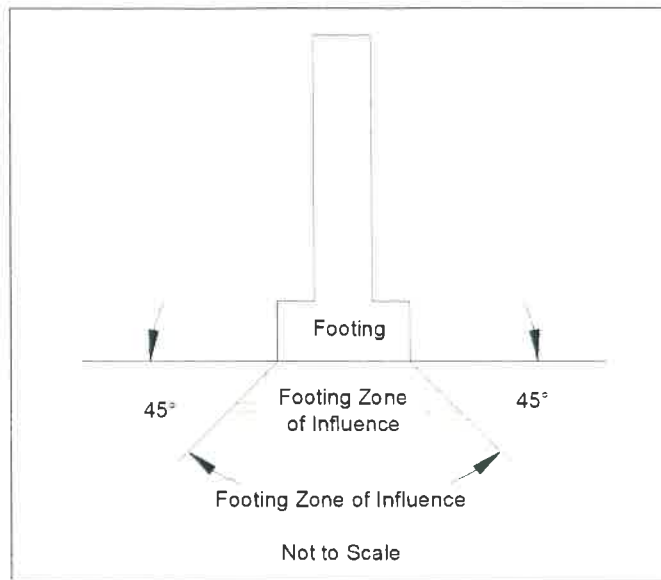
B is the footing width

The estimated settlement for isolated pad footings with a nominal square dimension of about 2 to 3 feet are tabulated below.

Thickness of Compacted Structural Fill (feet)	Estimated Settlement (inches)
0	¾ - 1
B/4	½ - ¾
B/2	¼ - ½
3B/4	About ¼

B is the footing width

The compacted structural fill should be placed and compacted as discussed in the Construction Considerations, "Fill Placement Recommendations" section of this report, below. The zone of influence of the footing (at elevations close to the bottom of the footing) is often approximated as being between two lines subtended at 45 degree angles from each bottom corner of the footing. The compacted structural fill should extend beyond the zone of influence of the footing as shown in the sketch below.



A general and simple rule to apply to the geometry of the compacted structural fill blanket is that it should extend beyond each edge of the footing a distance which is equal to the fill thickness.

We estimate that the differential settlement may be about ½ inch. We estimate that the footings designed and constructed above will have a total post construction settlement of less than 1 inch.

All footings should be support at an elevation deeper than the maximum depth of frost penetration for the area. This recommendation includes exterior isolated footings and column supports. Please contact the local building department for specific frost depth requirements.

The post construction differential settlement may be reduced by designing footings that will apply relatively uniform loads on the support soils. Concentrated loads should be supported by footings that have been designed to impose similar loads as those imposed by adjacent footings.

Under no circumstances should any footing be supported by more than 3 feet of compacted structural fill material unless we are contacted to review the specific conditions supporting these footing locations.

The design concepts and parameters presented above are based on the soil conditions encountered in our test borings. We should be contacted during the initial phases of the foundation excavation at the site to assess the soil support conditions and to verify our recommendations.

4.1.2 General Shallow Foundation Considerations

Some movement and settlement of any shallow foundation system will occur after construction. Movement associated with swelling soils also occurs occasionally. Utility line connections through and foundation or structural component should be appropriately sleeved to reduce the potential for damage to the utility line. Flexible utility line connections will further reduce the potential for damage associated with movement of the structure.

5.0 RETAINING STRUCTURES

We anticipate that laterally loaded walls may be needed for project design. Lateral loads will be imposed on the retaining structures by the adjacent soils and, in some cases, surcharge loads on the retained soils. The loads imposed by the soil are commonly referred to as lateral earth pressures. The magnitude of the lateral earth pressure forces is partially dependent on the soil strength characteristics, the geometry of the ground surface adjacent to the retaining structure, the subsurface water conditions and on surcharge loads.

The retaining structures may be designed using the values tabulated below.

Lateral Earth Pressure Values

Type of Lateral Earth Pressure	Level Native Soil Backfill (pounds per cubic foot/foot)*	Level Granular Soil Backfill (pounds per cubic foot/foot)
Active	45	35
At-rest	65	55
Passive	340	460
Allowable Coefficient of Friction	0.33	0.45

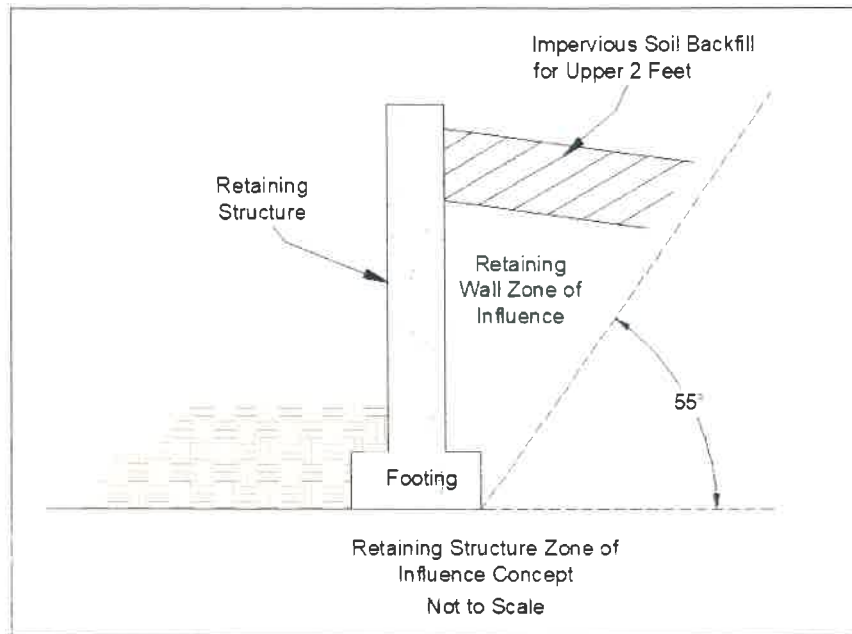
The site soils have a measured swell pressure of 1,680 pounds per square foot which may be exerted on the retaining wall should the backfill soils become moistened. If the site clay soils are used as backfill they must be moisture conditioned to above optimum moisture content during the backfill placement. The retaining wall should be designed to resist forces associated with swelling of the soils used as backfill adjacent to the retaining walls.

The site soils have a measured swell pressure of 1,680 pounds per square foot. A 1,680 pound per square foot swell pressure may exert approximately 13,440 pounds of force per lineal foot for a wall that retains eight (8) feet of soil. The forces from the swelling soil may be treated as a uniformly distributed load for structural design purposes.

The granular soil that is used for the retaining wall backfill may be permeable and may allow water migration to the foundation support soils. There are several options available to help reduce water migration to the foundation soils, two of which are discussed here. An impervious geotextile layer and shallow drain system may be incorporated into the backfill, as discussed in Section 9.5, Landscaping Considerations, below. A second option is to place a geotextile filter material on top of the granular soils and above that place about 1½ to 2 feet of moisture conditioned and compacted site clay soils. It should be noted that if the site clay soils are used volume changes may occur which will influence the performance of overlying concrete flatwork or structural components.

The values tabulated above are for well drained backfill soils. The values provided above do not include any forces due to adjacent surcharge loads or sloped soils. If the backfill soils become saturated the imposed lateral earth pressures will be significantly higher than those tabulated above.

The granular imported soil backfill values tabulated above are appropriate for material with an angle of internal friction of 35 degrees, or greater. The granular backfill must be placed within the retaining structure zone of influence as shown below in order for the lateral earth pressure values tabulated above for the granular material to be appropriate.



If an open graded, permeable, granular backfill is chosen it should not extend to the ground surface. Some granular soils allow ready water migration which may result in increased water access to the foundation soils. The upper few feet of the backfill should be constructed using an impervious soil such as silty-clay and clay soils from the project site, if these soils are available. The 55 degree angle shown in the figure above is approximately correct for most clay soils. The angle is defined by $45 + (\phi/2)$ where “ ϕ ” is the angle of internal friction of the soil.

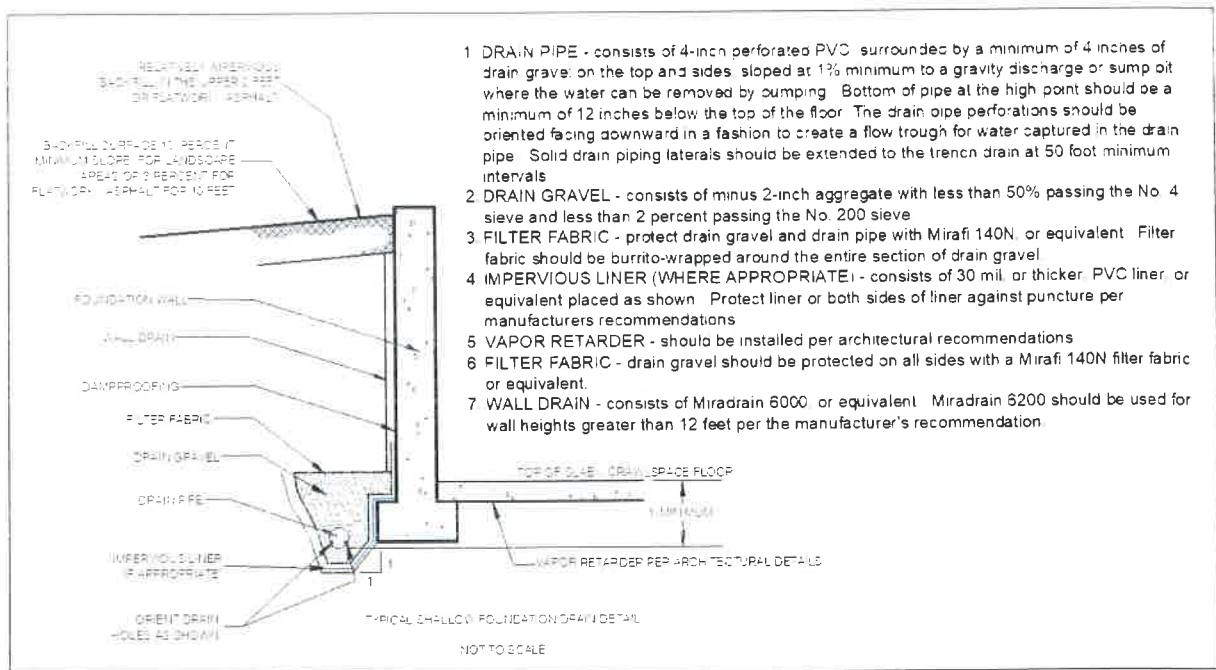
Backfill should not be placed and compacted behind the retaining structure unless approved by the project structural engineer. Backfill placed prior to construction of all appropriate structural members such as floors, or prior to appropriate curing of the retaining wall concrete, may result in severe damage and/or failure of the retaining structure.

6.0 SUBSURFACE DRAIN SYSTEM

We recommend below-grade construction, such as retaining walls, crawlspace and basement areas, be protected from wetting and hydrostatic pressure buildup by an underdrain and wall drain system. Exterior retaining structures may be constructed with weep holes to allow subsurface water migration through the retaining structures. Topographic conditions on the site may influence the ability to install a subsurface drain system which promotes water flow away from the foundation system. The subsurface drain system concept is discussed under the Subsurface Drain System section of this report below.

A drain system constructed with a free draining aggregate material and a 4 inch minimum diameter perforated drain pipe should be constructed adjacent to retaining structures and/or adjacent to foundation walls. The drain pipe perforations should be oriented facing downward. The system should be protected from fine soil migration by a fabric-wrapped aggregate which surrounds a rigid perforated pipe. We do not recommend use of flexible corrugated perforated pipe since it is not possible to establish a uniform gradient of the flexible pipe throughout the drain system alignment. Corrugated drain tile is perforated throughout the entire circumference of the pipe and therefore water can escape from the perforations at undesirable locations after being collected. The nature of the perforations of the corrugated material further decreases its effectiveness as a subsurface drain conduit.

The drain should be placed at each level of excavation and at least 12 inches below lowest adjacent finish floor or crawlspace grade. The drain system pipe should be graded to surface outlets or a sump vault. The drain system should be sloped at a minimum gradient of about 2 percent, but site geometry and topography may influence the actual installed pipe gradient. Water must not be allowed to pool along any portion of the subsurface drain system. An improperly constructed subsurface drain system may promote water infiltration to undesirable locations. The drain system pipe should be surrounded by about 2 to 4 cubic feet per lineal foot of free draining aggregate. If a sump vault and pump are incorporated into the subsurface drain system, care should be taken so that the water pumped from the vault does not recirculate through pervious soils and obtain access to the basement or crawl space areas. An impervious membrane should be included in the drain construction for grade beam and pier systems or other foundation systems such as interrupted footings where a free pathway for water beneath the structure exists. A generalized subsurface drain system concept is shown below.



There are often aspects of each site and structure which require some tailoring of the subsurface drain system to meet the needs of individual projects. Drain systems that are placed adjacent to void forms must include provisions to protect and support the impervious liner adjacent to the void form. We are available to provide consultation for the subsurface drain system for this project, if desired.

Water often will migrate along utility trench excavations. If the utility trench extends from areas above the site, this trench may be a source for subsurface water within a crawl space or basement. We suggest that the utility trench backfill be thoroughly compacted to help reduce the amount of water migration. The subsurface drain system should be designed to collect subsurface water from the utility trench and fractures within the formational material and direct it to surface discharge points.

7.0 CONCRETE FLATWORK

We anticipate that both interior and exterior concrete flatwork will be considered in the project design. Concrete flatwork is typically lightly loaded and has a limited capability to resist shear forces associated with uplift from swelling soils and/or frost heave. It is prudent for the design and construction of concrete flatwork on this project to be able to accommodate some movement associated with swelling soil conditions, if possible.

The soil samples tested have a measured swell pressure of about 1,680 pounds per square foot and a magnitude swell potential of about 0.8 percent under a 500 pound per square foot surcharge load. Due to the measured swell potential and swell pressure, interior floors supported over a crawl space are less likely to experience movement than are concrete slabs support on grade. The following recommendations are appropriate for garage floor slabs and for interior floor slabs if the owner is willing to accept the risk of potential movement beyond normal tolerances.

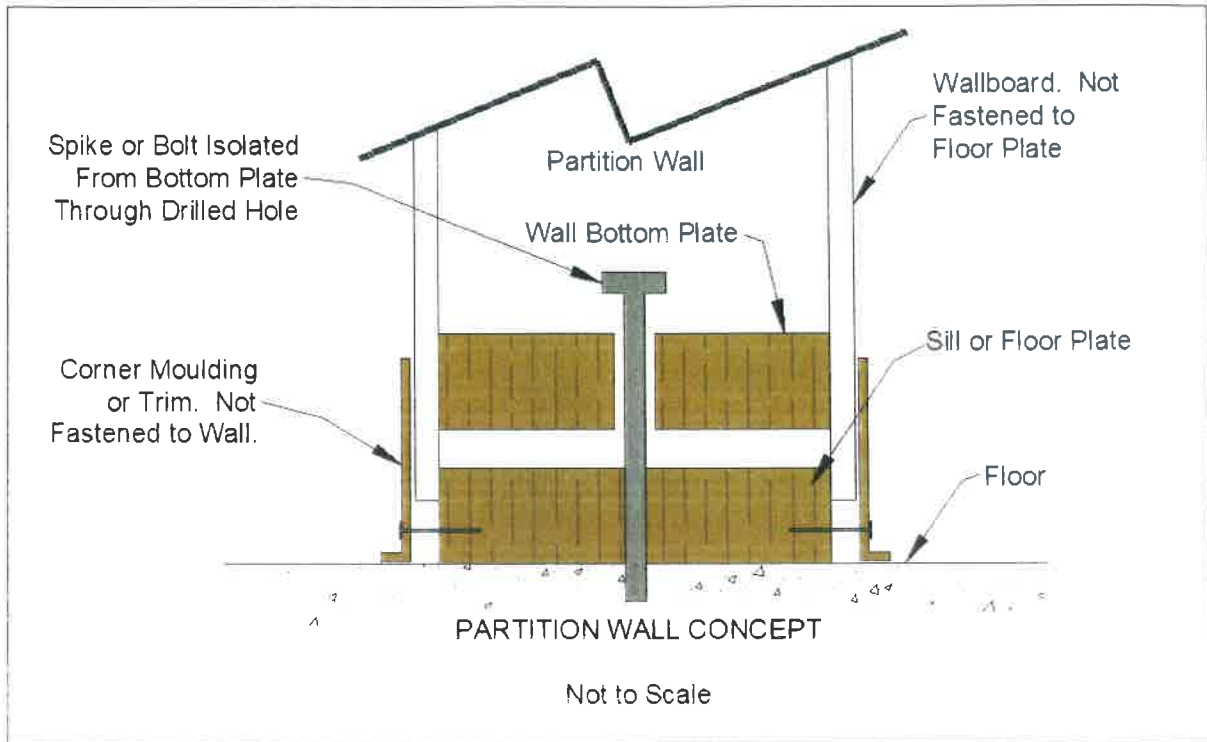
7.1 Interior Concrete Slab-on-Grade Floors

A primary goal in the design and construction of concrete slab-on-grade floors is to reduce the amount of post construction uplift associated with swelling soils, or downward movement due to consolidation of soft soils. A parallel goal is to reduce the potential for damage to the structure associated with any movement of the slab-on-grade which may occur. There are limited options available to help mitigate the influence of volume changes in the support soil for concrete slab-on-grade floors, these include:

- Preconstruction scarification, moisture conditioning and re-compaction of the natural soils in areas proposed for support of concrete flatwork, and/or,
- Placement and compaction of granular compacted structural fill material

Damage associated with movement of interior concrete slab-on-grade floor can be reduced by designing the floors as “floating” slabs. The concrete slabs should not be structurally tied to the foundations or the overlying structure. Interior walls or columns should not be supported on the interior floor slabs. Movement of interior walls or columns due to uplift of the floor slab can cause severe damage throughout the structure. Interior walls may be structurally supported from

framing above the floor, or interior walls and support columns may be supported on interior portions of the foundation system. Partition walls should be designed and constructed with voids above, and/or below, to allow independent movement of the floor slab. This concept is shown below.



The sketch above provides a concept. If the plans include isolation of the partition walls from the floor slab, the project architect or structural engineer should be contacted to provide specific details and design of the desired system.

If the owner chooses to construct the residence with concrete slab-on-grade floors, the floors should be supported by a layer of granular structural fill overlying the processed, moisture conditioned and compacted natural soils. Interior concrete flatwork, or concrete slab-on-grade floors, should be underlain by 6 inch minimum layer of compacted structural fill that is placed and compacted as discussed in the Construction Considerations, "Fill Placement Recommendations" section of this report, below.

The above recommendations will not prevent slab heave if the expansive soils underlying slabs-on-grade become wet. However, the recommendations will reduce the effects if slab heave occurs. All plumbing lines should be pressure tested before backfilling to help reduce the potential for wetting. The only means to completely mitigate the influence of volume changes on the performance of interior floors is to structurally support the floors over a void space. Floors that are suspended by the foundation system will not be influenced by volume changes in the site soils. The suggestions and recommendations presented below are intended to help reduce the influence of swelling soils on the performance of the concrete slab-on-grade floors.

7.1.1 Capillary and Vapor Moisture Rise

Capillary and vapor moisture rise through the slab support soil may provide a source for moisture in the concrete slab-on-grade floor. This moisture may promote development of mold or mildew in poorly ventilated areas and may influence the performance of floor coverings and mastic placed directly on the floor slabs. The type of floor covering, adhesives used, and other considerations that are not related to the geotechnical engineering practice will influence the design. The architect, builder and particularly the floor covering/adhesive manufacturer should be contacted regarding the appropriate level of protection required for their products.

Comments for Reduction of Capillary Rise

One option to reduce the potential for capillary rise through the floor slab is to place a layer of clean aggregate material, such as washed concrete aggregate for the upper 4 to 6 inches of fill material supporting the concrete slabs.

Comments for Reduction of Vapor Rise

To reduce vapor rise through the floor slab, a moisture barrier such as a 6 mil (or thicker) plastic, or similar impervious geotextile material is often placed below the floor slab. The material used should be protected from punctures that will occur during the construction process.

There are proprietary barriers that are puncture resistant that may not need the underlying layer of protective material. Some of these barriers are robust material that may be placed below the compacted structural fill layer. We do not recommend placement of the concrete directly on a moisture barrier unless the concrete contractor has had previous experience with curing of concrete placed in this manner. As mentioned above, the architect, builder and particularly the floor covering/adhesive manufacturer should be contacted regarding the appropriate level of moisture and vapor protection required for their products.

7.1.2 Slab Reinforcement Considerations

The project structural engineer should be contacted to provide steel reinforcement design considerations for the proposed floor slabs. Any steel reinforcement placed in the slab should be placed at the appropriate elevations to allow for proper interaction of the reinforcement with tensile stresses in the slab. Reinforcement steel that is allowed to cure at the bottom of the slab will not provide adequate reinforcement.

7.2 Exterior Concrete Flatwork Considerations

Exterior concrete flatwork includes concrete driveway slabs, aprons, patios, and walkways. The desired performance of exterior flatwork typically varies depending on the proposed use of the site and each owner's individual expectations. As with interior flatwork, exterior flatwork is particularly prone to movement and potential damage due to movement of the support soils. This movement and associated damage may be reduced by following the recommendations discussed under interior flatwork, above. Unlike interior flatwork, exterior flatwork may be exposed to frost heave, particularly on sites where the bearing soils have a high silt content. It

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may be prudent to remove silt soils from exterior flatwork support areas where movement of exterior flatwork will adversely affect the project, such as near the interface between the driveway and the interior garage floor slab. If silt soils are encountered, they should be removed to the maximum depth of frost penetration for the area where movement of exterior flatwork is undesirable.

If some movement of exterior flatwork is acceptable, we suggest that the support areas be prepared by scarification, moisture conditioning and re-compaction of about 6 inches of the natural soils followed by placement of at least 6 inches of compacted granular fill material. The scarified material and granular fill materials should be placed as discussed under the Construction Considerations, "Fill Placement Recommendations" section of this report, below.

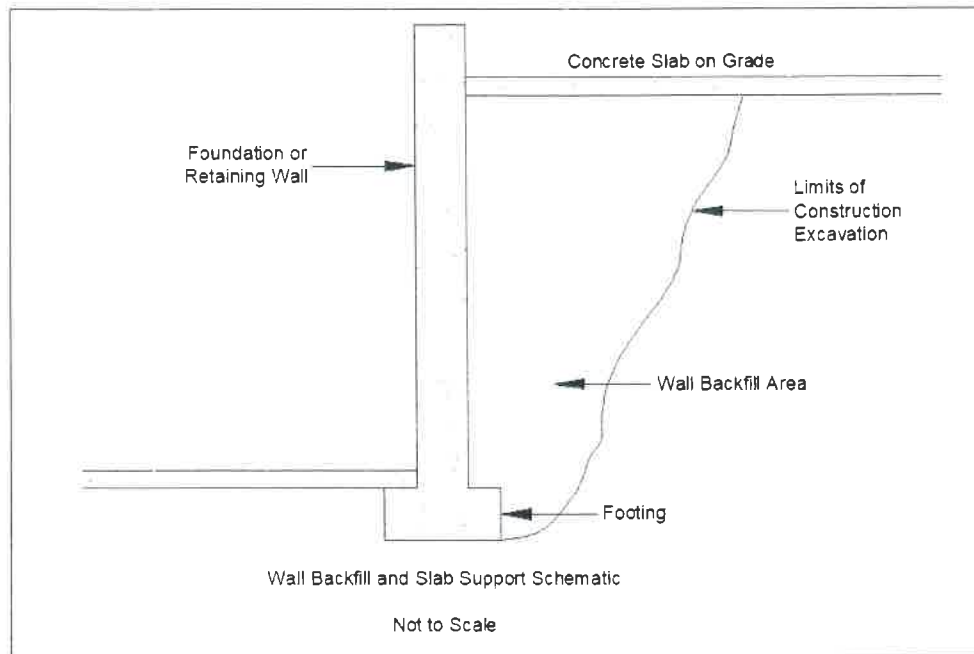
It is important that exterior flatwork be separated from exterior column supports, masonry veneer, finishes and siding. No support columns, for the structure or exterior decks, should be placed on exterior concrete unless movement of the columns will not adversely affect the supported structural components. Movement of exterior flatwork may cause damage if it is in contact with portions of the structure exterior.

It should be noted that silt and silty sand soils located near the ground surface are particularly prone to frost heave. Soils with high silt content have the ability to retain significant moisture. The ability for the soils to accumulate moisture combined with a relatively shallow source of subsurface water and the fact that the winter temperatures in the area often very cold all contribute to a high potential for frost heave of exterior structural components. We recommend that silty soils be removed from the support areas of exterior components that are sensitive to movement associated with frost heave. These soils should be replaced with a material that is not susceptible to frost heave. Aggregate road base and similar materials retain less water than fine-grained soils and are therefore less prone to frost heave. We are available to discuss this concept with you as the plans progress.

Exterior flatwork should not be placed on soils prepared for support of landscaping vegetation. Cultivated soils will not provide suitable support for concrete flatwork.

7.3 General Concrete Flatwork Comments

It is relatively common that both interior and exterior concrete flatwork is supported by areas of fill adjacent to either shallow foundation walls or basement retaining walls. A typical sketch of this condition is shown below.



Settlement of the backfill shown above will create a void and lack of soil support for the portions of the slab over the backfill. Settlement of the fill supporting the concrete flatwork is likely to cause damage to the slab-on-grade. Settlement and associated damage to the concrete flatwork may occur when the backfill is relatively deep, even if the backfill is compacted.

If this condition is likely to exist on this site it may be prudent to design the slab to be structurally supported on the retaining or foundation wall and designed to span to areas away from the backfill area as designed by the project structural engineer. We are available to discuss this with you upon request.

8.0 CONSTRUCTION CONSIDERATIONS

This section of the report provides comments, considerations and recommendations for aspects of the site construction which may influence, or be influenced by the geotechnical engineering considerations discussed above. The information presented below is not intended to discuss all aspects of the site construction conditions and considerations that may be encountered as the project progresses. If any questions arise as a result of our recommendations presented above, or if unexpected subsurface conditions are encountered during construction we should be contacted immediately.

8.1 Fill Placement Recommendations

There are several references throughout this report regarding both natural soil and compacted structural fill recommendations. The recommendations presented below are appropriate for the fill placement considerations discussed throughout the report above.

All areas to receive fill, structural components, or other site improvements should be properly prepared and grubbed at the initiation of the project construction. The grubbing operations should include scarification and removal of organic material and soil. No fill material or concrete should be placed in areas where existing vegetation or fill material exist.

8.1.1 Natural Soil Fill

Any natural soil used for any fill purpose should be free of all deleterious material, such as organic material and construction debris. Natural soil fill includes excavated and replaced material or in-place scarified material. Due to the expansive characteristics of the natural soil we do not recommend that it be used as fill material for direct support of structural components. The natural soils may be used to establish general site elevation. Our recommendations for placement of natural soil fill are provided below.

- The natural soils should be moisture conditioned, either by addition of water to dry soils, or by processing to allow drying of wet soils. The proposed fill materials should be moisture conditioned to between about optimum and about 2 percent above optimum soil moisture content. This moisture content can be estimated in the field by squeezing a sample of the soil in the palm of the hand. If the material easily makes a cast of soil which remains in-tact, and a minor amount of surface moisture develops on the cast, the material is close to the desired moisture content. Material testing during construction is the best means to assess the soil moisture content.
- Moisture conditioning of clay or silt soils may require many hours of processing. If possible, water should be added and thoroughly mixed into fine grained soil such as clay or silt the day prior to use of the material. This technique will allow for development of a more uniform moisture content and will allow for better compaction of the moisture conditioned materials.
- The moisture conditioned soil should be placed in lifts that do not exceed the capabilities of the compaction equipment used and compacted to at least 90 percent of maximum dry density as defined by ASTM D1557, modified Proctor test.
- We typically recommend a maximum fill lift thickness of 6 inches for hand operated equipment and 8 to 10 inches for larger equipment.
- Care should be exercised in placement of utility trench backfill so that the compaction operations do not damage underlying utilities.
- The maximum recommended lift thickness is about 6 to 8 inches; therefore, the maximum allowable rock size for natural soil fill is about 4 inches. If smaller compaction equipment is being used, such as walk behind compactors in trenches, the maximum rock size should be less than 3 inches. This may require on-site screening or crushing if larger rocks are present.

8.1.2 Granular Compacted Structural Fill

Granular compacted structural fill is referenced in numerous locations throughout the text of this report. Granular compacted structural fill should be constructed using an imported commercially produced rock product such as aggregate road base. Many products other than road base, such as clean aggregate or select crusher fines may be suitable, depending on the intended use. If a specification is needed by the design professional for development of project

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specifications, a material conforming to the Colorado Department of Transportation (CDOT) “Class 6” aggregate road base material can be specified. This specification can include an option for testing and approval in the event the contractor’s desired material does not conform to the Class 6 aggregate specifications. We have provided the CDOT Specifications for Class 6 material below

Grading of CDOT Class 6 Aggregate Base-Course Material	
Sieve Size	Percent Passing Each Sieve
¾ inch	100
#4	30 – 65
#8	25 – 55
#200	3 – 12

Liquid Limit less than 30

All compacted structural fill should be moisture conditioned and compacted to at least 90 percent of maximum dry density as defined by ASTM D1557, modified Proctor test. Areas where the structural fill will support traffic loads under concrete slabs or asphalt concrete should be compacted to at least 95 percent of maximum dry density as defined by ASTM D1557, modified Proctor test.

Although clean-screened or washed aggregate may be suitable for use as structural fill on sites with sand or non-expansive silt soils, or on sites where shallow subsurface water is present, clean aggregate materials must not be used on any site where expansive soils exist due to the potential for water to accumulate in the voids of the clean aggregate materials.

Clean aggregate fill, if appropriate for the site soil conditions, must not be placed in lifts exceeding 8 inches and each lift should be thoroughly vibrated, preferably with a plate-type vibratory compactor prior to placing overlying lifts of material or structural components. We should be contacted prior to the use of clean aggregate fill materials to evaluate their suitability for use on this project.

8.1.3 Deep Fill Considerations

Deep fills, in excess of approximately 3 feet, should be avoided where possible. Fill soils will settle over time, even when placed properly per the recommendations contained in this report. Natural soil fill or engineered structural fills placed to our minimum recommended requirements will tend to settle an estimated 1 to 3 percent; therefore, a 3 foot thick fill may settle up to approximately 1 inch over time. A 10 foot thick fill may settle up to approximately 3½ inches even when properly placed. Fill settlement will result in distress and damage to the structures they are intended to support. There are methods to reduce the effects of deep fill settlement such as surcharge loading and surveyed monitoring programs; however, there is a significant time period of monitoring required for this to be successful. A more reliable method is to support structural components with deep foundation systems bearing below the fill envelope. We can provide additional guidance regarding deep fills up on request.

8.2 Excavation Considerations

Unless a specific classification is performed, the site soils should be considered as an Occupational Safety and Health Administration (OSHA) Type C soil and should be sloped and/or benched according to the current OSHA regulations. Excavations should be sloped and benched to prevent wall collapse. Any soil can release suddenly and cave unexpectedly from excavation walls, particularly if the soils is very moist, or if fractures within the soil are present. Daily observations of the excavations should be conducted by OSHA competent site personnel to assess safety considerations.

Scattered boulders were encountered in our test borings and large boulders are known to be present throughout the vicinity. Due to the size of the boulders encountered in the vicinity, if encountered, they may be difficult to remove using conventional excavation techniques and equipment. Removal of large boulders can also create a void of loose soil beneath structural components, which may require additional removal of loose soil and replacement with structural fill. In some instances, it may be preferable to leave boulders in place. Reduction in the thickness of the recommended structural fill beneath footings and slabs may also be prudent to limit disturbance to the bearing soils. If large boulders are encountered in the building footprint, a representative of the geotechnical engineer can provide field observations and provide additional recommendations for subgrade preparation.

If possible, excavations should be constructed to allow for water flow from the excavation the event of precipitation during construction. If this is not possible it may be necessary to remove water from snowmelt or precipitation from the foundation excavations to help reduce the influence of this water on the soil support conditions and the site construction characteristics.

8.2.1 Excavation Cut Slopes

We anticipate that some permanent excavation cut slopes may be included in the site development. Temporary cut slopes should not exceed 5 feet in height and should not be steeper than about 1:1 (horizontal to vertical) for most soils. Permanent cut slopes greater than 5 feet or steeper than 2½:1 must be analyzed on a site specific basis.

We did not observe evidence of existing unstable slope areas influencing the site, but due to the steepness and extent of the slopes in the area we suggest that the magnitude of the proposed excavation slopes be minimized and/or supported by retaining structures.

8.3 Utility Considerations

Subsurface utility trenches will be constructed as part of the site development. Utility line backfill often becomes a conduit for post construction water migration. If utility line trenches approach the proposed project site from above, water migrating along the utility line and/or backfill may have direct access to the portions of the proposed structure where the utility line penetrations are made through the foundation system. The foundation soils in the vicinity of the utility line penetration may be influenced by the additional subsurface water. There are a few options to help mitigate water migration along utility line backfill. Backfill bulkheads constructed with high clay content soils and/or placement of subsurface drains to promote utility

line water discharge away from the foundation support soil.

Some movement of all structural components is normal and expected. The amount of movement may be greater on sites with problematic soil conditions. Utility line penetrations through any walls or floor slabs should be sleeved so that movement of the walls or slabs does not induce movement or stress in the utility line. Utility connections should be flexible to allow for some movement of the floor slab.

If utility line trenches are excavated using blasting techniques it is relatively common for surface and subsurface water to migrate along the fractures in the rock that may be created by blasting. If this water gains access to a utility line trench that has a gradient down toward the structure the water may gain access to the foundation support materials and/or subsurface portions of the proposed structure. Provisions should be made in the project construction plans to create an impervious barrier to prevent water from migrating into undesirable locations.

8.4 Exterior Grading and Drainage Comments

The following recommendations should be following during construction and maintained for the life of the structure with regards to exterior grading and surface drainage.

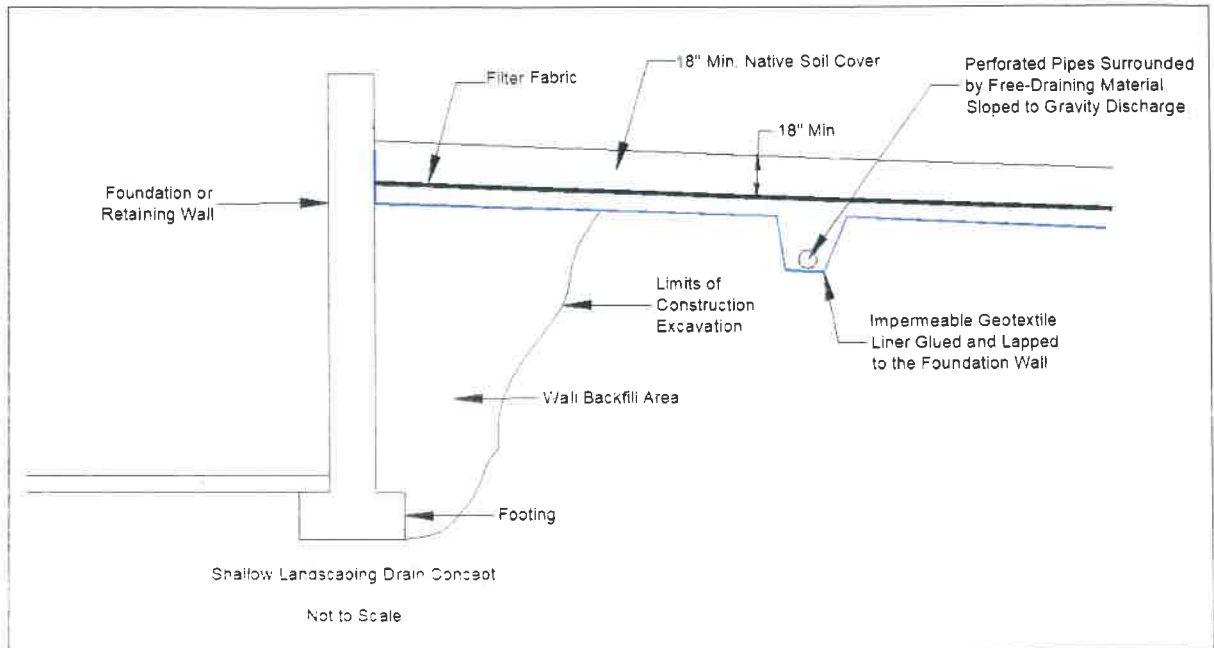
- The ground surface adjacent to the structure should be sloped to promote water flow away from the foundation system and flatwork.
- Snow storage areas should not be located in areas which will allow for snowmelt water access to support soils for the foundation system or flatwork.
- The project civil engineer, architect or builder should develop a drainage scheme for the site. We typically recommend the ground surface surrounding the exterior of the building be sloped to drain away from the foundation in all directions. We recommend a minimum slope of 12 inches in the first 10 feet in unpaved areas and a minimum slope of 3 inches in the first 10 feet in paved areas.
- Water flow from the roof of the structure should be captured and directed away from the structure. If the roof water is collected in an eave gutter system, or similar, the discharge points of the system must be located away from areas where the water will have access to the foundation backfill or any structure support soils. If downspouts are used, provisions should be made to either collect or direct the water away from the structure.
- Care should be taken to not direct water onto adjacent property or to areas that would negatively influence existing structures or improvements.

8.5 Landscaping Considerations

We recommend against construction of landscaping which requires excessive irrigation. Generally landscaping which uses abundant water requires that the landscaping contractor install topsoil which will retain moisture. The topsoil is often placed in flattened areas near the structure to further trap water and reduce water migration from away from the landscaped areas. Unfortunately, almost all aspects of landscape construction and development of lush vegetation are contrary to the establishment of a relatively dry area adjacent to the foundation walls. Excess water from landscaped areas near the structure can migrate to the foundation system or flatwork support soils, which can result in volume changes in these soils.

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A relatively common concept used to collect and subsequently reduce the amount of excess irrigation water is to glue or attach an impermeable geotextile fabric or heavy mill plastic to the foundation wall and extend it below the topsoil which is used to establish the landscape vegetation. A thin layer of sand can be placed on top of the geotextile material to both protect the geotextile from punctures and to serve as a medium to promote water migration to the collection trench and perforated pipe. The landscape architect or contractor should be contacted for additional information regarding specific construction considerations for this concept which is shown in the sketch below.



A free draining aggregate or sand may be placed in the collection trench around the perforated pipe. The perforated pipe should be graded to allow for positive flow of excess irrigation water away from the structure or other area where additional subsurface water is undesired. Preferably the geotextile material should extend at least 10 or more feet from the foundation system.

Care should be taken to not place exterior flatwork such as sidewalks or driveways on soils that have been tilled and prepared for landscaping. Tilled soils will settle which can cause damage to the overlying flatwork. Tilled soils placed on sloped areas often “creep” down-slope. Any structure or structural component placed on this material will move down-slope with the tilled soil and may become damaged.

The landscape drain system concept provided above is optional for this site and provided only if there is a desire to reduce the potential for subsurface water migration to below grade finished areas or crawl space areas. Often this concept is implemented only on the northern sides of structures and/or where snow may accumulate and melt water may migrate toward subsurface areas under the structure.

8.6 Soil Sulfate and Corrosion Issues

The requested scope of our services did not include assessment of the chemical constituents of corrosion potential of the site soils. Most soils in southwest Colorado are not typically corrosive to concrete. There has not been a history of damage to concrete due to sulfate corrosion in the area.

We are available to perform soluble sulfate content tests to assess the corrosion potential of the soils on concrete if desired.

8.7 Radon Issues

The requested scope of service of this report did not include assessment of the site soils for radon production. Many soils and formational materials in western Colorado produce Radon gas. The structure should be appropriately ventilated to reduce the accumulation of Radon gas in the structure. Several Federal Government agencies including the Environmental Protection Agency (EPA) have information and guidelines available for Radon considerations and home construction. If a radon survey of the site soils is desired, please contact us.

8.8 Mold and Other Biological Contaminants

Our services do not include determining the presence, prevention or possibility of mold or other biological contaminants developing in the future. If the client is concerned about mold or other biological contaminants, a professional in this special field of practice should be consulted.

9.0 CONSTRUCTION MONITORING AND TESTING

Engineering observation of subgrade bearing conditions, compaction testing of fill material and testing of foundation concrete are equally important tasks that should be performed by the geotechnical engineering consultant during construction. We should be contacted during the construction phase of the project and/or if any questions or comments arise as a result of the information presented below. It is common for unforeseen, or otherwise variable subsurface soil and water conditions to be encountered during construction. As discussed in our proposal for our services, it is imperative that we be contacted during the foundation excavation stage of the project to verify that the conditions encountered in our field exploration were representative of those encountered during construction. Our general recommendations for construction monitoring and testing are provided below.

- Consultation with design professionals during the design phases: This is important to ensure that the intentions of our recommendations are properly incorporated in the design, and that any changes in the design concept properly consider geotechnical aspects.
- Grading Plan Review: A grading plan was not available for our review at the time of this report. A grading plan with finished floor elevations for the proposed construction should be prepared by a civil engineer licensed in the State of Colorado. Trautner Geotech should be provided with grading plans once they are complete to determine if

- our recommendations based on the assumed bearing elevations are appropriate.
- Observation and monitoring during construction: A representative of the Geotechnical engineer from our firm should observe the foundation excavation, earthwork, and foundation phases of the work to determine that subsurface conditions are compatible with those used in the analysis and design and our recommendations have been properly implemented. Placement of backfill should be observed and tested to judge whether the proper placement conditions have been achieved. Compaction tests should be performed on each lift of material placed in areas proposed for support of structural components.
 - We recommend a representative of the geotechnical engineer observe the drain and dampproofing phases of the work to judge whether our recommendations have been properly implemented.
 - If asphaltic concrete is placed for driveways or aprons near the structure, we are available to provide testing of these materials during placement.

10.0 CONCLUSIONS

While we feel that it is feasible to develop this site as planned using relatively conventional techniques to the area, we feel that it is prudent for us to be part of the continuing design of this project to review and provide consultation in regard to the proposed development scheme as the project progresses to aid in the proper interpretation and implementation of the recommendations presented in this report. This consultation should be incorporated in the project development prior to construction at the site.

We recommend that we be contacted during the design and construction phase of this project to aid in the implementation of our recommendations. Please contact us immediately if you have any questions, or if any of the information presented above is not appropriate for the proposed site construction.

11.0 LIMITATIONS

This study has been conducted based on the geotechnical engineering standards of care in this area at the time this report was prepared. We make no warranty as to the recommendations contained in this report, either expressed or implied. The information presented in this report is based on our understanding of the proposed construction that was provided to us and on the data obtained from our field and laboratory studies. Our recommendations are based on limited field and laboratory sampling and testing. Unexpected subsurface conditions encountered during construction may alter our recommendations. We should be contacted during construction to observe the exposed subsurface soil conditions to provide comments and verification of our recommendations.

The recommendations presented above are intended to be used only for this project site and the proposed construction which was provided to us. The recommendations presented above are not suitable for adjacent project sites, or for proposed construction that is different than that outlined for this study.

Project No. 56082GE
July 9, 2020

This report provides geotechnical engineering design parameters, but does not provide foundation design or design of structure components. The project architect, designer or structural engineer must be contacted to provide a design based on the information presented in this report.

This report does not provide an environmental assessment nor does it provide environmental recommendations such as those relating to Radon or mold considerations. If recommendation relative to these or other environmental topics are needed and environmental specialist should be contacted.

The findings of this report are valid as of the present date. However, changes in the conditions of the property can occur with the passage of time. The changes may be due to natural processes or to the works of man, on the project site or adjacent properties. In addition, changes in applicable or appropriate standards can occur, whether they result from legislation or the broadening of knowledge. Therefore, the recommendations presented in this report should not be relied upon after a period of two years from the issue date without our review.

We are available to review and tailor our recommendations as the project progresses and additional information which may influence our recommendations becomes available.

Please contact us if you have any questions, or if we may be of additional service.

Respectfully,
TRAUTNER GEOTECH



Tom R. Harrison, P.E.
Geotechnical Engineer

APPENDIX A

Field Study Results



Field Engineer : T. Harrison
 Hole Diameter : 4" Solid
 Drilling Method : Continuous Flight Auger
 Sampling Method : Mod. California Sampler
 Date Drilled : 06/08/2020
 Total Depth (approx) : 4.5 feet
 Location : See Figure in Report

LOG OF BORING TB-1

Lot 1 Cole Ranch Silverton, Colorado
 Todd and Julie Sams
 Mountain Grain Architecture
 c/o Christopher Clemmons, RA, NCARB

Project Number: 56082 GE

Depth in feet	Sample Type	Water Level	USCS	GRAPHIC	Samples	Blow Count	Water Level	REMARKS
	<ul style="list-style-type: none"> Mod. California Sampler Standard Split Spoon Bag Sample 	<ul style="list-style-type: none"> Water Level During Drilling Water Level After Drilling 						
DESCRIPTION								
0	SILTY GRAVEL WITH SAND, organics, medium dense to dense, moist, brown		GM					Observed organics in top 6 inches.
1								
2	POORLY GRADED GRAVEL WITH SAND, dense to very dense, slightly moist, brown		GP			5/6		
3						12/6		
4						22/6		
Auger refusal on cobble at 4.5 feet								
5								

06-29-2020 . . . Current GE\56000GE thru 56099GE\56082GE, Lot 1 Cole Ranch, Silverton, CO\Logs of Test Borings\Lot 1 Cole Ranch\TB-1 bor



Field Engineer : T. Harrison
 Hole Diameter : 4" Solid
 Drilling Method : Continuous Flight Auger
 Sampling Method : Mod. California Sampler
 Date Drilled : 06/08/2020
 Total Depth (approx.) : 3.5 feet
 Location : See Figure in Report

LOG OF BORING TB-2

Lot 1 Cole Ranch Silverton, Colorado
 Todd and Julie Sams
 Mountain Grain Architecture
 c/o Christopher Clemmons, RA, NCARB

Project Number: 56082 GE

Depth in feet	Sample Type	Water Level	USCS	GRAPHIC	Samples	Blow Count	Water Level	REMARKS
	<ul style="list-style-type: none"> Mod. California Sampler Standard Split Spoon Bag Sample 	<ul style="list-style-type: none"> Water Level During Drilling Water Level After Drilling 						
0								
0 to 3.5			GP-GM					Organics observed in top 6".
3.5								Auger refusal on cobble at 3.5 feet
4								

06-29-2020, C:\Current\GE\56000GE thru 56099GE\56082GE, Lot 1 Cole Ranch, Silverton, CO\Logs of Test Borings\Lot 1 Cole Ranch_TB-2 bor



Field Engineer : T. Harrison
 Hole Diameter : 4" Solid
 Drilling Method : Continuous Flight Auger
 Sampling Method : Mod. California Sampler
 Date Drilled : 06/08/2020
 Total Depth (approx.) : 4.5 feet
 Location : See Figure in Report

LOG OF BORING TB-3

Lot 1 Cole Ranch Silverton, Colorado
 Todd and Julie Sams
 Mountain Grain Architecture
 c/o Christopher Clemmons, RA, NCARB
 Project Number: 56082 GE

Depth in feet	Sample Type	Water Level	USCS	GRAPHIC	Samples	Blow Count	Water Level	REMARKS
	Mod. California Sampler Standard Split Spoon Bag Sample	Water Level During Drilling Water Level After Drilling						
0								Observed organics in top 6 inches.
1								
2			GP-GM			8/6		
3						16/6		
4						10/4		Standard drive bounced on cobble.
4.5								Auger refusal on cobble at 4.5 feet
5								

06-29-2020 : Current GE\56000GE thru 56099 3E\56082GE_Lot 1 Cole Ranch, Silverton, CO\Logs of Test Borings\Lot 1 Cole Ranch_TB-3 bor



Field Engineer : T. Harrison
 Hole Diameter : 4" Solid
 Drilling Method : Continuous Flight Auger
 Sampling Method : Mod. California Sampler
 Date Drilled : 06/08/2020
 Total Depth (approx) : 5 feet
 Location : See Figure in Report

LOG OF BORING TB-4

Lot 1 Cole Ranch Silverton, Colorado
 Todd and Julie Sams
 Mountain Grain Architecture
 c/o Christopher Clemmons, RA, NCARB

Project Number: 56082 GE

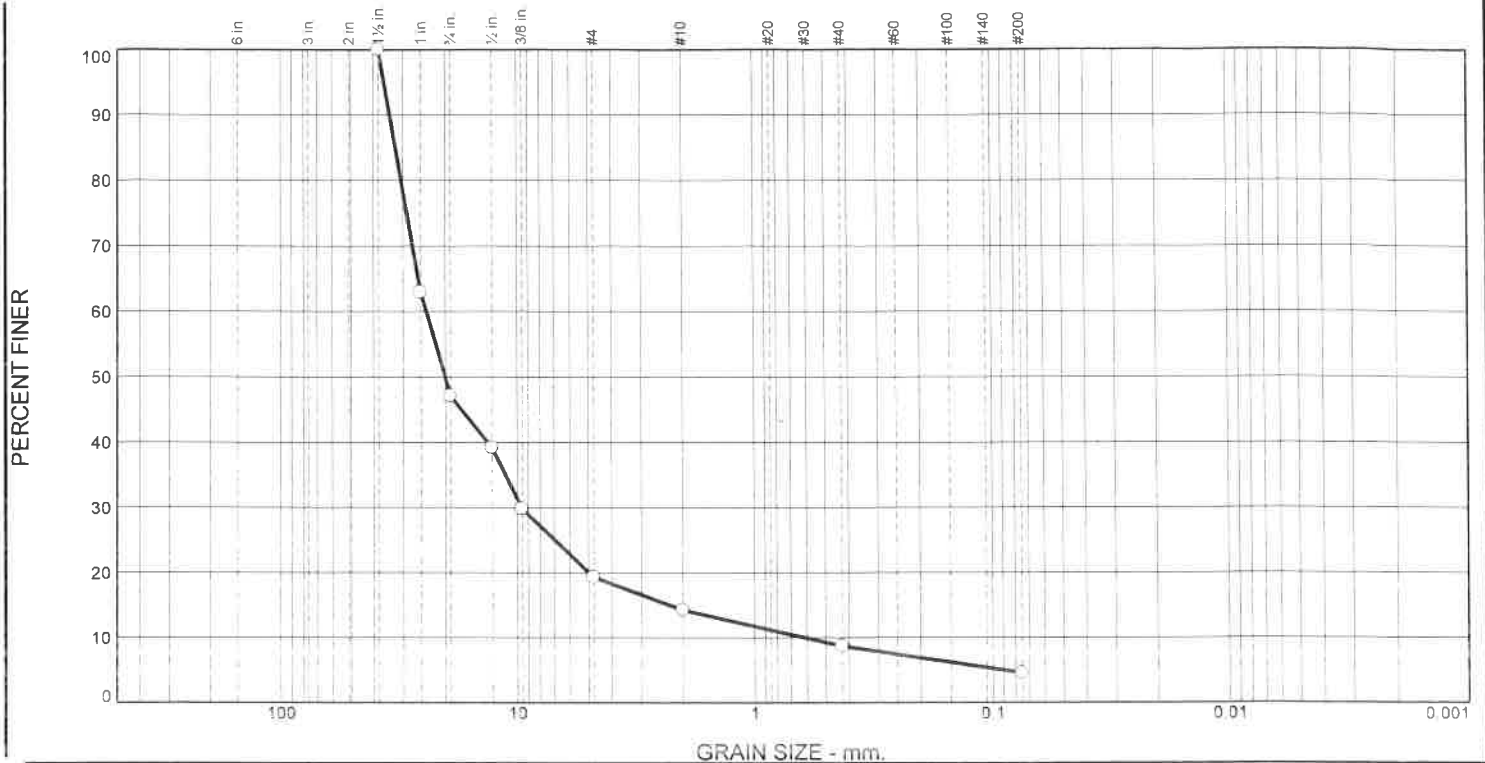
Depth in feet	Sample Type	Water Level	USCS	GRAPHIC	Samples	Blow Count	Water Level	REMARKS
	<ul style="list-style-type: none"> Mod. California Sampler Standard Split Spoon Bag Sample 	<ul style="list-style-type: none"> Water Level During Drilling Water Level After Drilling 						
0								Observed organics in top 6 inches
1								
2			GP-GM					
3								
4								
5								Auger refusal on cobble at 5 feet

06-29-2020 - Current GE\56000GE thru 56095GE\56082GE, Lot 1 Cole Ranch, Silverton, CO\Logs of Test Borings\Lot 1 Cole Ranch_TB-4 bor

APPENDIX B

Laboratory Test Results

Particle Size Distribution Report



% +3"	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0	53	28	5	5	4	5	

SIEVE SIZE	PERCENT FINER	SPEC.* PERCENT	PASS? (X=NO)
1-1/2"	100		
1"	63		
3/4"	47		
1/2"	39		
3/8"	30		
#4	19		
#10	14		
#40	9		
#200	5		

(no specification provided)

Material Description

GP-GM-Poorly Graded Gravel with Silt and Sand

PL= 26	Atterberg Limits LL= 34	PI= 8
Coefficients		
D ₉₀ = 34.1494	D ₈₅ = 32.3305	D ₆₀ = 24.0693
D ₅₀ = 20.0694	D ₃₀ = 9.5732	D ₁₅ = 2.2799
D ₁₀ = 0.6137	C _u = 39.22	C _c = 6.20

Classification

USCS= GP-GM AASHTO= A-2-4(0)

Remarks

Location: Test Boring 2
Sample Number: 12405-B

Depth: 0'-3 1/2'

Date: 6-8-20



Client: Mr. Christopher Clemmons RA
Project: Lot 1 Cole Ranch, Silverton CO

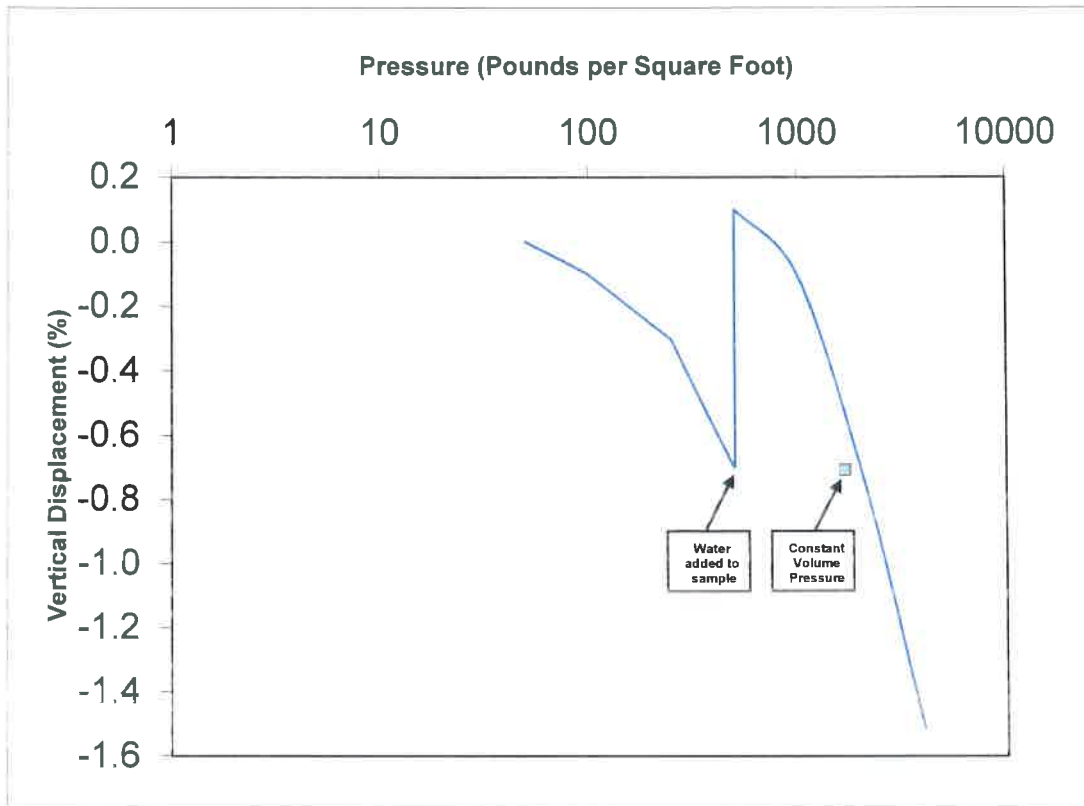
Project No: 56082GE

Figure 4.1

Prepared By: B. Kunz & G. Jadrnych

Checked By: C. DeLeon

SWELL - CONSOLIDATION TEST

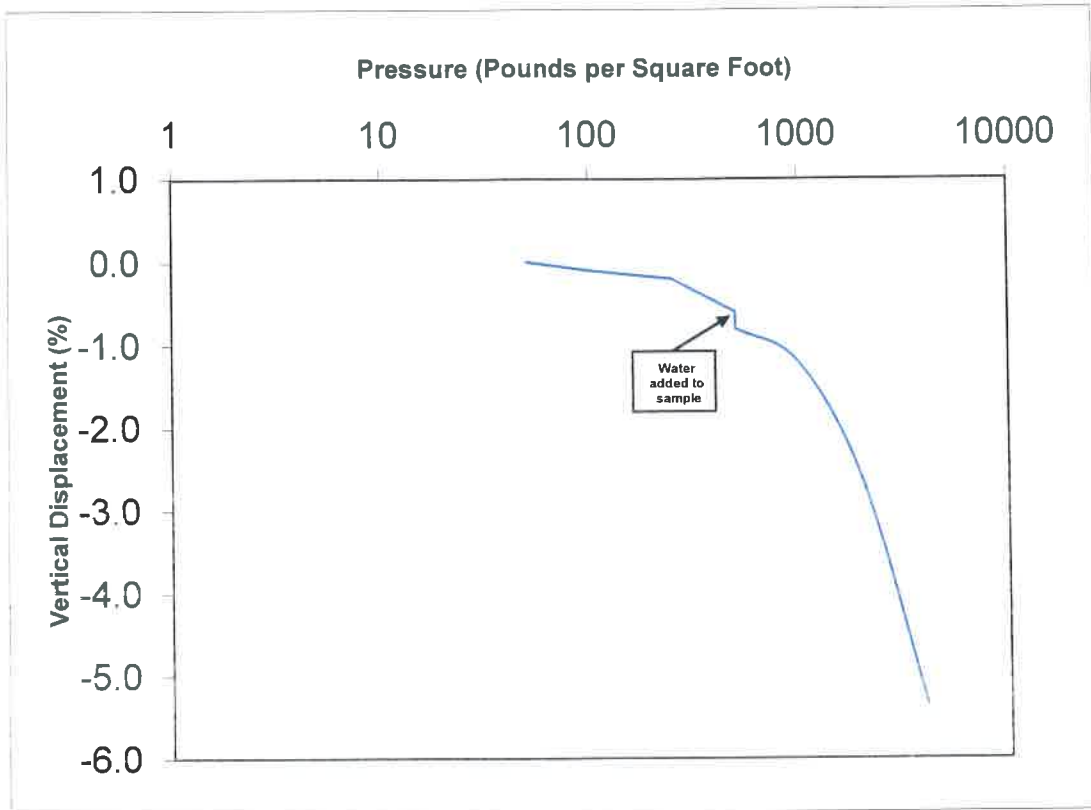


SUMMARY OF TEST RESULTS		
Sample Source:	TB-1 0'-4'	
Visual Soil Description:	GC	
Swell Potential (%)	0.8%	
Constant Volume Swell Pressure (lb/ft ²):	1,680	
	Initial	Final
Moisture Content (%):	10.3	21.0
Dry Density (lb/ft ³):	104.2	106.2
Height (in.):	0.991	0.976
Diameter (in.):	1.94	1.94

Note: Remolded Sample; Molded from the portion of sample passing a #10 sieve. Consolidated under 500 PSF prior to initiating load sequence and wetting. Initial values represent the conditions under 50 PSF following the pre-consolidation under 500 PSF.

Project Number:	56082 GE
Sample ID:	12405-A
Figure:	4.2

SWELL - CONSOLIDATION TEST



SUMMARY OF TEST RESULTS		
Sample Source:	TB-3 @ 2'	
Visual Soil Description:	GC	
Swell Potential (%)	-0.2%	
Constant Volume Swell Pressure (lb/ft ²):	0	
	Initial	Final
Moisture Content (%):	6.9	20.6
Dry Density (lb/ft ³):	106.3	109.9
Height (in.):	0.990	0.937
Diameter (in.):	1.94	1.94

Note: Remolded Sample; Molded from the portion of sample passing a #10 sieve. Consolidated under 500 PSF prior to initiating load sequence and wetting. Initial values represent the conditions under 50 PSF following the pre-consolidation under 500 PSF.

Project Number:	56082GE
Sample ID:	12405-C
Figure:	4.3

BOARD OF COUNTY COMMISSIONERS

San Juan County

P.O. Box 466

Silverton, Colorado 81433

970-387-5671

RELATIONSHIP OF PROPERTY TO COUNTY ROAD AND STATE HIGHWAY SYSTEMS

I, the undersigned, applicant engaged in the processing of Application for Improvement Permit No. _____, San Juan County, Colorado, do hereby acknowledge the following facts:

1. The real property' which is the subject of said application is on this date located approximately ZERO FEET from County Road No. 2, the nearest designated and publicly maintained county road.
2. Said County Road No. 2 is on this date maintained on an YEAR-ROUND basis by San Juan County.
3. The real property which is the subject of said application is on this date located approximately 7 1/2 MILES from Colorado State Highway No. 550, the nearest designated state or federal highway.
4. Said Colorado State Highway No. 550 is on this date maintained on a year-round basis by either San Juan County or the Colorado Division of Highways.
5. A Driveway Permit will be necessary for any private access or egress relating to said real property which intersects any designated Colorado State Highway or Federal Highway.

Signed and dated this 31 day of JULY, 2020.
day month year

ATTEST:

Applicant

Position: 

BOARD OF COUNTY COMMISSIONERS

San Juan County

P.O. Box 466

Silverton, Colorado 81433

970-387-5671

RELATIONSHIP OF PROPERTY TO COUNTY ROAD AND STATE HIGHWAY SYSTEMS


I, the undersigned, applicant engaged in the processing of Application for Improvement Permit No. _____, San Juan County, Colorado, do hereby acknowledge the following facts:

1. The real property' which is the subject of said application is on this date located approximately ZERO FEET from County Road No. 2D, the nearest designated and publicly maintained county road.
2. Said County Road No. 2D is on this date maintained on an SEASONAL basis by San Juan County.
3. The real property which is the subject of said application is on this date located approximately 7 1/2 MILES from Colorado State Highway No. 550, the nearest designated state or federal highway.
4. Said Colorado State Highway No. 550 is on this date maintained on a year-round basis by either San Juan County or the Colorado Division of Highways.
5. A Driveway Permit will be necessary for any private access or egress relating to said real property which intersects any designated Colorado State Highway or Federal Highway.

Signed and dated this 31 day of JULY, 2020.
day month year

ATTEST:

Applicant



Position:

SAN JUAN COUNTY, COLORADO
DRIVEWAY AND ROAD ACCESS PERMIT

Improvement
Permit No. _____

Applicant: TODD AND JULIE SAMS
P.O. BOX 215
OOLOGAH, OK 74053
(918) 606-0558

Location of Proposed Driveway or Access on County Road No. 2 :
ON THE WEST SIDE OF COUNTY ROAD 2, APPROXIMATELY 40'
FROM THE NORTHERN EDGE OF THE PROPERTY.

Description of Proposed Driveway or Access, including materials to be used:
THE DRIVEWAY WILL SLIGHTLY MEANDER FROM CR 2 TO THE PROPOSED RESIDENCE
LOCATION, IN ORDER TO HINDER DIRECT LINE-OF-SIGHT FROM THE ROAD. THE
DRIVEWAY WILL CROSS THE ABANDONED RAILROAD BED AT THE LOCATION WITH
THE LEAST AMOUNT OF GRADE CHANGE BETWEEN THE BED AND THE ADJACENT
LAND ON EITHER SIDE. THE GRAVEL DRIVEWAY WILL MEET ALL COUNTY STANDARDS,
INCLUDING WIDTH, SLOPE, CROSS SLOPE, CLEARANCE AND MATERIALS. A CULVERT
WILL BE INSTALLED WHERE THE DRIVEWAY MEETS CR 2.

Comment and Recommendations of County Road Supervisor:

Terms and Conditions of Issuance of Permit (or reason for denial):

Permit Approved _____ or Denied _____ . Date: _____
Land Use Administrator: _____

Scenic Quality Report

1. INTRODUCTION AND SITE LOCATION

San Juan County regulations state the following:

All residential development shall be required to submit a Scenic Quality Report at the time of sketch plan submittal.

The following is a Scenic Quality Report for the proposed Sams Residence, located on Lot 1 of the Cole Ranch Subdivision. This subdivision is located between Middleton and Eureka.

The project site is located within San Juan County's Future Land Use Plan "Economic Corridor". These economic corridors are suitable for residential development because of their moderately sloping terrain and year-round access.

A Vicinity Map showing the general project location is included in this submittal for reference.

2. PROJECT SITE AND PROPOSED RESIDENCE LOCATION

County regulations require that this Scenic Quality Report adhere to the following:

The designated view sheds shall include natural and historic features as seen from and toward the site. Provide written descriptions of these view sheds and how they will be preserved. Existing site photos and graphic depictions of the proposed development shall be submitted so that staff, the Planning Commission and the Board of County Commissioners can assess the visual impacts of the project on the view shed and the effectiveness of proposed mitigation measures.

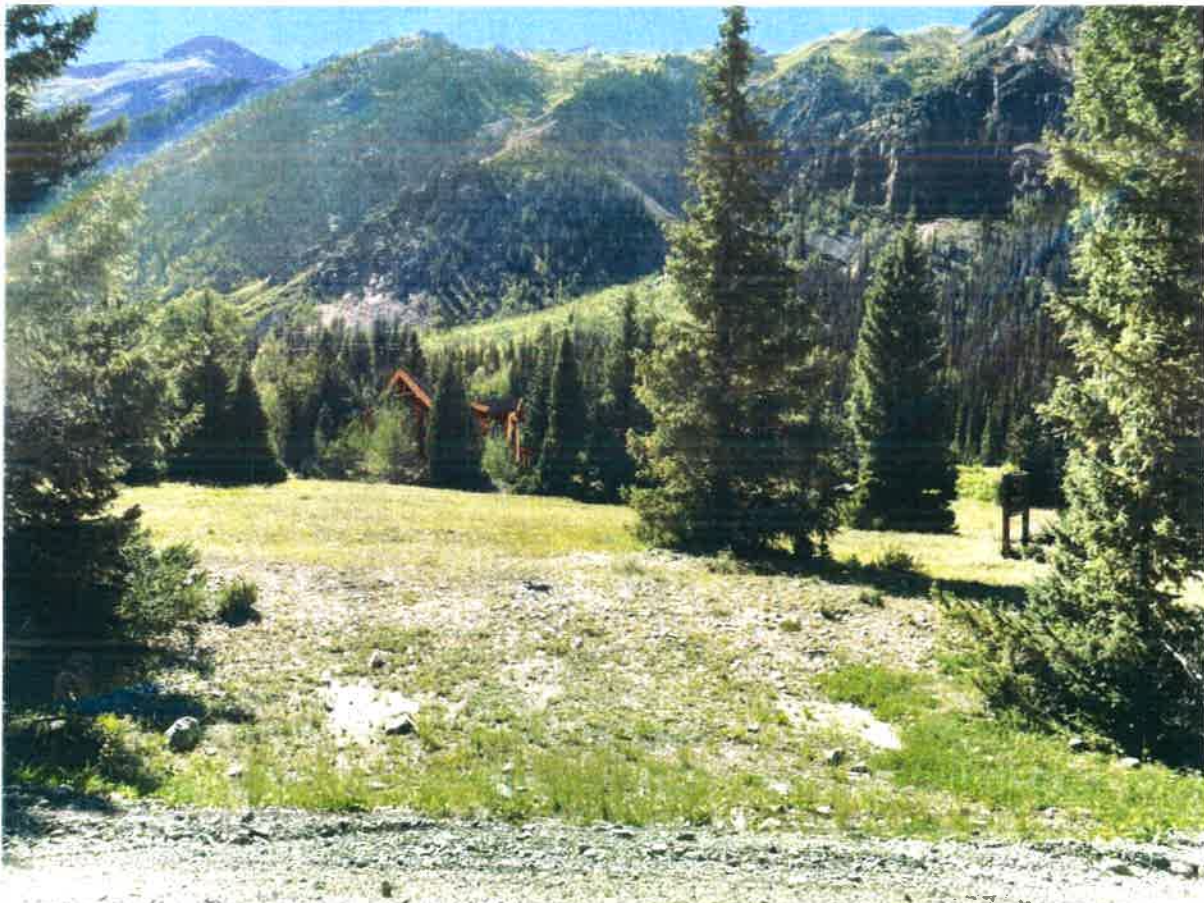
The project site, Lot 1 of Cole Ranch Subdivision, consists of 3.98 acres. The lot is divided by County Road 2. Most of the lot is situated on the west side of County Road 2, which consists of a gently sloping grassy meadow with pine and aspen trees dispersed about the site and clustered adjacent the abandoned railroad bed. The smaller portion of the lot, which is on the east side of County Road 2 consists of less natural screening as well as the abandoned and current CR 2D with 60' R.O.W. The Animas River runs on the westernmost edge of the site.

The proposed location for the residence is on the west side of County Road 2 across the historic railroad bed. The proposed driveway crosses the bed at the area of least grade change to minimize impact on the bed, which will be preserved and/or restored to conditions approvable by the Historic Preservation Society. It is estimated that no visible cut or fill will result from the driveway and utilities crossing the railroad bed. The proposed siting best utilizes the natural topography and the most densely vegetated area to screen the structure, while having little to no impact on scenic views.

3. VISIBILITY OF THE RESIDENCE FROM COUNTY ROAD 2

The proposed residence will be almost entirely screened by natural vegetation when looking west from County Road 2.

The image below shows the proposed residence superimposed onto the site to show approximate scale and visibility from County Road 2.



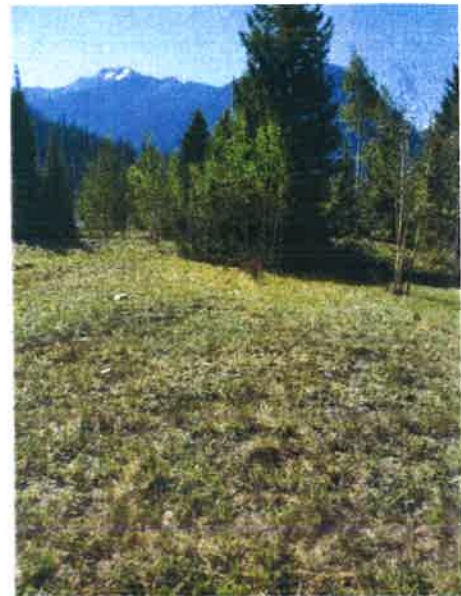
4. VIEWS FROM THE PROPOSED RESIDENCE

In the County Scenic Quality Report regulations, it is requested that information about the view from the building envelope is provided.

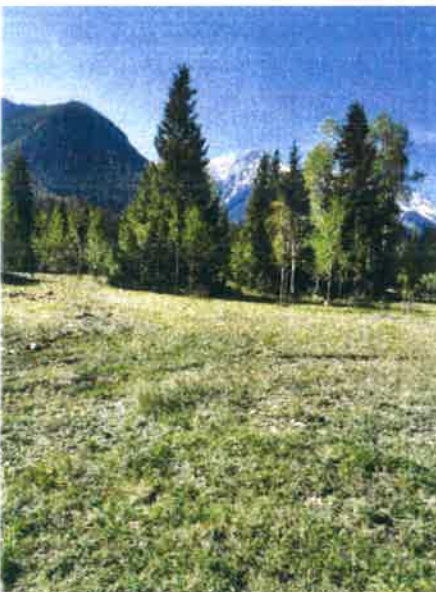
Photos are included below that show views from the proposed residence looking approximately towards the north, south, east, and northwest.



VIEW NORTH



VIEW EAST



VIEW SOUTH



VIEW NORTHWEST

5. LOCATION OF STRUCTURE MINIMIZES VISIBILITY FROM PUBLIC LANDS AND EXISTING TRAILS

The County Scenic Quality regulations require the following information:

Evidence shall be provided to show that the location of the structure is designed to minimize the visual impacts and that it does not detract from the scenic quality of adjacent public lands, existing trails or historic resources.

The location of the residence has been selected to minimize visibility and increase privacy, while also striving to meet the objectives of the subdivision as well as the county. Given the proposed residence is at a lower grade and is screened by natural vegetation, this location should have the least impact on scenic quality and views from public lands, trails, or historic resources.

6. BUILDING DESIGN AND THE NATURAL TOPOGRAPHY AND VEGETATION

County regulations require that the Scenic Quality Report includes information regarding the following:

Evidence to demonstrate that the site improvements are designed and/or oriented in ways that allow them to blend in with and utilize the natural topography and vegetation. The report shall include, but not be limited to, site photos, perspective sketches, photo-simulations and/or three-dimensional models at an appropriate scale.

The proposed residence is sited directly on the backside of a grouping of large evergreens and young aspens and the main floor elevation is approx. 11 feet below CR 2. The proposed design is shown on the Applicant's draft floor plans included in this application.

7. TOPSOIL, UTILITIES, LIGHTING AND DRIVEWAYS

This section describes design features associated with topsoil, location of utilities, exterior lighting, and any proposed driveways.

a) Topsoil

County regulations require that the project should include the following:

Plans to remove and save topsoil, prior to any grading or excavation, and how it will be replaced and reused for re-grading and re-vegetation purposes.

Most of the topsoil removed at the residence area during construction will likely be used as backfill on the west side of the building's foundation to create increased frost protection. Any additional removed topsoil will be used to revitalize the eastern portion of the lot where CR 2 once traversed.

b) Utilities

County regulations require that the project should include the following:

Location and installation of utilities in ways that will minimize impacts to the view shed and natural environment.

The project includes the following proposed utilities: a proposed underground septic system and leach field, a proposed underground water well and associated piping. The Applicant plans to tie into the existing overhead electric line and construct an underground electric service to the home. The septic system location was selected based on existing soils, site conditions and dimensional constraints. The Applicant plans to tie into the existing phone line located on the east side of CR 2. The primary heat source is proposed to be forced air with a supplemental pellet/wood stove. All the utilities will be installed with the least amount of disturbance possible to the natural environment, including vegetation preservation and using existing utilities where possible.

c) Exterior Lighting

County regulations require that the project should include the following:

Exterior lighting shall preserve the Dark Sky environment and view of the stars. Provisions requiring shielding of exterior lighting to prevent direct visibility of light bulbs from off-site, directing of all exterior lighting toward either the ground or the surface of a building and prohibiting high intensity sodium vapor or similar lighting.

The proposed exterior lighting for the project will be the minimum necessary to safely access the residence, as well as additional screened down-lighting at the covered wrap-around deck. All exterior lighting will be fully shielded, will utilize LED bulbs, will be compatible with the rural mountain

character of the area, and will be in conformance with the requirements of San Juan County regulations.

d) Driveways

County regulations require that the project should include the following:

Design and construction plans for roads and associated structures that bear a logical relationship to existing topography to minimize the need for cuts and fills.

One driveway is proposed for this project, which stems off the west side of County Road 2. The driveway location was carefully chosen to minimize disturbance to the abandoned railroad bed and to balance the onsite cut and fill.

8. BUILDING MATERIALS

County regulations require that the Scenic Quality Report includes information regarding the following:

Provide written descriptions and photos of the proposed building materials, colors and textures. Utilizing and integrating elements, colors and textures found naturally in the landscape and prohibition of reflective materials, such as highly reflective glass or metals.

The proposed residence will include the following materials:

- Log siding with a medium, natural stain.
- Rough sawn wood accents with a medium, natural stain.
- Slate color standing seam metal roof with matching trim.
- Stacked river stone used at the column bases.

The image below represents the combination of these materials.



9. CONCLUSION

This project aims to conform to the County Scenic Quality Regulations as shown in this report and is believed to do so as summarized below:

- The Applicant has created a new, more suitable building envelope, which abides by the setback requirements of the county, uses the densest natural vegetation for screening, reduces exposure and proximity to CR 2 and avoids natural and unnatural hazards related to BLM and EPA operations on adjacent lands.
- The residence is a compact two-story home and is downhill from CR 2, which helps to minimize the overall and perceived height.
- The material palette chosen for the residence is in keeping with the mountain log cabin vernacular that is found throughout the region.

Thank you for your review and consideration of the proposed Sams Residence at Cole Ranch. If you have any questions or need additional information please contact Chris Clemmons of Mountain Grain, LLC at 970.515.7882 or Julie Sams at 918.606.0558.



Willy Tookey <admin@sanjuancolorado.us>

Re-up Good Samaritan support?

1 message

Ty Churchwell <Ty.Churchwell@tu.org>

Wed, Mar 3, 2021 at 10:18 AM

To: "Scott Fetchenheir (sjcom.fetch@gmail.com)" <sjcom.fetch@gmail.com>, Willy Tookey <admin@sanjuancolorado.us>

Hello, Scott and Willy.

I wanted to touch base with you regarding Good Samaritan legislation. With a new administration and congress in-place, there is a renewed push to finally get this important legislation across the finish line. Simply, I want to ask San Juan County to re-up your support for Good Sam with a new general support letter to the CO delegation. A copy of the county's last one is attached for reference. I would ask for your direction on the procedure for requesting a new letter. I would be happy to give a brief presentation on the subject to the new board, since Mr. Lashley may not be too up-to-speed.

Just to update on the subject, here's a bit of a summary of the activities that have occurred in the last couple of years –

Two years ago TU convened a policy development workgroup in DC. The small group included a number of stakeholders, most notably Earthworks and the Nat'l Mining Assoc. Using the Gardner/Tipton discussion draft bill from 2018 as a starting point, the group came to consensus on a number of points. They also identified a couple of sticking points – those being CWA citizen lawsuits and re-mining. The group generally agreed to support draft legislation that left resolution of the remaining sticking points to congressional committees to work out. That's basically where we left things for the latter part of the last congressional session.

Today? New administration, new Congress, renewed push to get this done. Acting as shuttle diplomats, TU has been engaging numerous senators on both sides of the isle for sponsorship. The Senate ENR committee (Manchin D-WV) wants to get this done, too. The general tactic is to include G'Sam in an infrastructure bill later this spring, or whenever the Biden administration gets that moving (post COVID relief). Several senators are expressing interest, including from NM, CO, ID, MT, WY and UT. In CO, Senator Bennet and Rep. Neguse are in the mix and engaged.

So... To continue to encourage congressional members to prioritize G'Sam, we are seeking letters of support from key counties in key states/congressional districts for G'Sam as a concept. I am basically revisiting each county that has previously stated official support for G'Sam and asking them to re-up their support letters. In CO, that includes: Ouray, San Juan, San Miguel, La Plata, Hinsdale, Mineral, Saguache, Clear Creek and Summit, at least.

With that in mind, gentlemen, what can I do to secure a new letter of support from San Juan County?

Thank you,



3/8/2021

San Juan County Mail - Re-up Good Samaritan support?

Ty Churchwell / Mining Coordinator
Trout Unlimited / Angler Conservation Program

ty.churchwell@tu.org / Cell: 970-903-3010
1309 E. 3rd Ave., Suite 109, Durango, CO 81301

www.tu.org

 **SanJuanGoodSamGardner.pdf**
70K



SAN JUAN COUNTY COLORADO

1557 GREENE STREET
P.O. BOX 466
SILVERTON, COLORADO 81433
PHONE/FAX 970-387-5766 sanjuancounty@frontier.net

March 10, 2021

The Honorable Michael Bennet
United States Senate
261 Russell Senate Office Building
Washington, DC 20510

Dear Senator Bennet:

San Juan County would like to express our strong support for legislation that could greatly assist in cleaning up abandoned hardrock mines in the San Juan Mountains and throughout the west. "Good Samaritan" legislation would be extremely beneficial in cleaning up abandoned mines and their associated water ways.

Southwest Colorado is covered with hundreds of abandoned mines, many of which are sources of heavy metal pollution and acidity in the headwaters of our rivers. The current laws make it impossible for well-intended, non-responsible parties to perform the needed mine remediation for fear of the long-term liability. This liability causes a significant deterrent that can only be addressed with Good Samaritan legislation. Well-crafted Good Samaritan legislation would help assure qualified and capable persons and organizations could perform liability free mine remediation within the pilot programs defined boundaries.

The San Juan County Board of Commissioners would support your efforts and would strongly encourage you to make Good Samaritan legislation a priority. You have our full support. This is common sense legislation that will encourage improved water quality for our region. It has the potential to create jobs and improve our quality of life.

If you have any questions, please contact us at your convenience. We greatly appreciate your leadership on this critical issue.

Sincerely,

Scott Fetchenhier, Chairman



Willy Tookey <admin@sanjuancolorado.us>

Minnie Gulch (loop)

1 message

Nico Foster <nicofoster882@gmail.com>

Sun, Mar 7, 2021 at 7:48 AM

To: administrator@sanjuancolorado.us

Dear Commissioners,

I'd just like to tell you how I feel about Minnie Gulch and the impact that a motorized loop will have on my experiences up there.

I don't have a ton of time to get out in the mountains and forests in the summer but when I do get out I go straight to Minnie Gulch. Whether I'm cutting firewood (mostly) or poking around the old mines up there it's by far my favorite spot up there. It's easy to get up there and back and still get the kids from school on time. It's my happy place.

Currently OHVs come up there but not that many really. Being an out and back probably limits them to a slow trickle of traffic. I believe that opening a loop will increase traffic considerably and directly impact my quality of life adversely. I might have to find a different "happy place" which I don't really want to do but will if I have to.

So that's my two cents. Thanks for considering my feedback.

Nico Foster
700 West 5th, Anvil Mtn. Subdivision
Silverton, CO
81433

Cheers,

Nico.

STATE OF COLORADO

COLORADO BOARD OF VETERANS AFFAIRS DEPARTMENT OF MILITARY AND VETERANS AFFAIRS

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FAX: 303-284-3163

David Callahan
Interim Deputy Executive Director

Jared Polis
Governor

Brigadier General
Laura L. Clellan
The Adjutant General



March 03, 2021

Dear Commissioner,

Thank you for your longstanding commitment to military veterans and your County Veteran Service Officer who supports them. We have approximately 394,000 veterans in our state who in FY2019 brought in over \$3.82 billion to our state from federal veterans benefits alone. County Veteran Service Officers (CVSO) are the primary local contact who assist our Colorado veterans in receiving those federally authorized benefits. The more veterans the CVSO assists with claims, the more the state and your county benefit financially. Veterans are also a great asset to every work force; as you know, veterans are hard workers, come with great skills and discipline, and are willing to volunteer in their local communities.

The federal authorized benefits that veterans in your county receive do three significant things:

1. Brings economic benefit to the county and state.
2. Provides the veteran with benefits they have earned, including financial compensation and medical care.
3. Moves veterans off county and state resources onto federal resources. For example, these benefits may reduce a veterans' dependency on State Medicaid and related financial programs.

The 394,000 veterans that we know live in the state of Colorado only account for those that have registered with the federal VA. We believe that there is a sizable population of veterans residing in Colorado who are not yet enrolled with the VA. Through outreach and engagement we believe that your county's CVSO can assist in locating these yet unserved veterans and assist them with filing for benefits and accessing any other resources they may need. By state law, each county is reimbursed by the state (full or part time) for the work being done by the CVSO. In order to be reimbursed, each county must file a monthly report (Form CVA-26) with the Colorado Division of Veteran Affairs detailing its CVSO activities and hours worked. The County is reimbursed \$29,400 for one full-time CVSO or \$14,700 for a part-time CVSO.

We would like to ask two things from you:

1. Fund your CVSO at a higher wage than what the state reimburses. They should earn a salary or wage consistent with the prevailing wage for similar work, such as a highly trained social worker. Where possible, we ask that you augment the state funding. The Colorado Board of Veterans Affairs, which is made up of members from across

Colorado, is aware that this is not always possible in some counties. Each state dollar spent on the County Veteran Service Officer brings \$5,672 in federal benefits to Colorado.

2. If your CVSO works part time, increase their commitment to full time or hire another part-time CVSO. This will enable your County Veteran Service Officers to spend more time with a larger number of veterans, increasing the veterans benefits received in your county. This is a reasonable step to take to ensure our veterans have access to the benefits they are authorized by federal law, which will pay for itself in increased federal compensation and pension payments to veterans in your area.

On behalf of the more than 394,000 proud veterans in Colorado, thank you for your support of Colorado veterans and their families.

A handwritten signature in black ink, appearing to read "Jack Rudder". The signature is fluid and cursive, with a large initial "J" and "R".

Jack Rudder
Chairman Colorado Board of Veteran Affairs

Cf: County Treasurer



2020 Performance Report San Juan County, Colorado

The Region 9 Economic Development District of Southwest Colorado Inc. (Region 9) is a nonprofit, 501 (c) 6 public private partnership that promotes and coordinates economic and community development efforts throughout southwest Colorado. Region 9 covers five counties, ten municipalities and the two Native American Tribes in Colorado (Ute Mountain Ute and Southern Ute). Incorporated in 1989, Region 9 is led by a 26-member board of directors; 17 from local governmental jurisdictions and 9 from the private sector.

2020 San Juan Representatives

William Tookey – San Juan County and Chair
Chris Tookey/ John Reiter – Silverton
Bill McDougall – Loan Committee (Since 1993)
Fritz Klinke – Loan Committee (Since 1995)



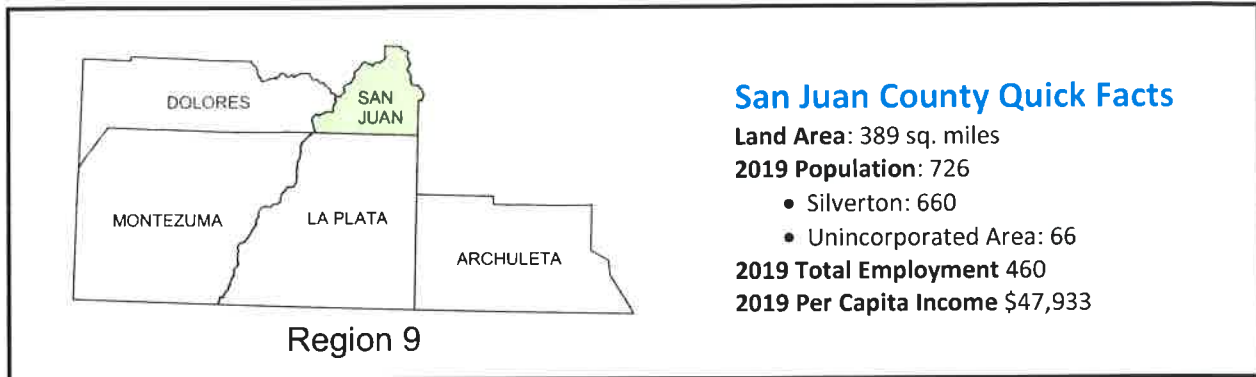
Region 9 Staff

Laura Lewis Marchino – Executive Director
Brian Rose – Deputy Director
Jenny Stollar – Business Loan Officer
Terry Blair-Burton – Program Administrator
Stephani Burditt – Office Manager
Shirley Jones – Comptroller

Heather Otter – Economic Development Project Manager
Elizabeth Marsh – SCAPE Director
Brittany Cupp – SCAPE Outreach Coordinator
Fort Lewis College Intern – Blake Common
Fort Lewis College Intern – Matthew Farmer

Region 9 Programs and Services

- Business loans
- Colorado State Data Center local affiliate
- Technical assistance and special projects
- Southwest Enterprise Zone administration
- Research for community and regional projects
- SW CO Accelerator Program for Entrepreneurs (SCAPE)
- Comprehensive Economic Development Strategy (CEDs)
- San Juan Development Association fiscal oversight



Technical Assistance – Region 9 provides technical assistance in San Juan County by participating in community meetings, researching and administering grants, and advocating for communities at regional, state and federal levels. Activities are listed below.

County-wide

- Worked closely with **San Juan Development Association:**
 - Served on SJDA Board, participated in Stakeholders’ meetings and administer Microloan program.
 - SJDA Loan Committee (approved 9 Emergency loans and two microloans).
 - Closed out three-year San Juan Recovery Coordinator grant through EDA.
 - Completed the San Juan County Economic Resiliency Plan.
 - To continue Certified Small Business Community grant requirements.
 - Provided fiscal oversight for the SJDA loan program.
 - Provided grant writing assistance.
 - Administering Certified Small Business Community OEDIT grant for SJDA.
 - Approval of the REDI grant for San Juan County that will hire Diversification Coordinator.
- **Responded** to 92 inquiries covering business resources, grant and data requests.
- **Participated** in San Juan County Recovery Taskforce meetings.
- **Provided** economic development resource updates for San Juan county website.
- **Worked** with San Juan County and Town of Silverton to update their Rural Jumpstart County status.
- **Facilitated** 2020 Census Complete Count Committee and DoLA grant for census activities.
- **NADO** published a case study on the San Juan County Recovery Coordinator.
- **Partnered** with the SBDC to provide business services in the County though Certified Small Business Community OEDIT grant.
- **Supported** Opportunity Zone efforts: participated in work sessions, assisted with a grant application and created a Silverton Incentives summary page for the Community Prospectus. Facilitated connection with Four Points Funding, Opportunity Zone Fund.

Regional Initiatives – Region 9 regional efforts positively impact the county. Members of Region 9’s staff serve on a variety of regional boards and committees. Staff members also serve on several state-wide boards including The Economic Development Council of Colorado (EDCC), and the Colorado Lending Source Loan Committee. In 2020, we:

- **Responded to 1,228 inquiries** covering business resources, grant and data requests. This number is up from 1,176 inquiries in 2019.
- **Participated** closely with economic development organizations to address COVID response and recovery.
- **Completed** 2020 Census education and outreach efforts across the region. 4 out of 5 counties and both Tribes exceeded 2010 self-response rates.
- **Approved** as partner in statewide EDA grant to provide loans throughout rural areas of the state.
- **Approved** as a Small Business Administration (SBA) microlender.
- **Facilitated** 4 communities and 4 counties to participate in the Colorado Rural Jumpstart incentive program.
- **Received** National Association of Development Organizations (NADO) award for microloan program partnership with the Office of Economic Development & International Trade (OEDIT).
- **Processed** \$1.4 Million in COVID-19 recovery to 234 businesses.
- **Provided** 38 Disaster Assistance Loans for a total of \$239,250.
- **Funded** an additional 27 loans for \$1,751,900 for business expansion and job retention.
- **Secured** \$3,730,874 in capital for future lending to small businesses.
- **Region 9's Executive Director will Chair the Economic Development Council of Colorado Board of Directors** in 2021.
- **Continued** successful partnership with Fort Lewis College School of Business to hire and develop interns for future work in civic, non-profit, business, finance or community facing fields.
- **Partnered** with the SBDC to provide business services for Region 9 clients.
- **Served** on the Homes Fund Board to stay current on housing issues region wide.
- **Served** on the Southwest Colorado Community College Advisory Board to promote regional workforce and job training needs.
- **Served** on the SW Colorado Accelerator Program for Entrepreneurs (SCAPE) Board.
- **Served** on the Small Business Development Center Advisory Committee.
- **Served** on the Southwest Colorado Workforce Investment Board.
- **Served** on the Fort Lewis College Business Advisory Council, School of Business Administration.

Southwest Colorado Accelerator Program for Entrepreneurs (SCAPE) Southwest Colorado Accelerator Program for Entrepreneurs (SCAPE) offers in depth mentoring, education, and access to equity funding for early stage and growing companies. The program has launched 36 companies based in rural southwest Colorado. These businesses raised \$24.8M in capital contributing to the creation of 152 local jobs. SCAPE companies have been recognized as Colorado Companies to Watch and been recipients of the Colorado Early Seed Stage grant. SCAPE is the hub of the entrepreneurial ecosystem, teaches the curriculum for the Fort Lewis College Hawk Tank competition and hosts regional investment and startup initiatives. SCAPE entered into a new partnership with San Juan College, the city of Farmington, San Juan County and Four Corners Economic Development. The partnership will allow businesses and companies in northern New Mexico to participate in the program.

Enterprise Zones – All of San Juan County has been designated as an Enhanced Enterprise Zone (EZ) through 2022 due to its high level of distress. This designation is updated every two years. Typically, EZ boundaries are reviewed every 10 years to ensure they meet EZ distress criteria. This program provides financial incentives to businesses to promote and encourage new job creation. Businesses including farms and mines located within the Enterprise zone may be eligible for EZ tax credits, including capital investment tax credits, job tax credits, research and development tax credits, and other incentives. From 1992 through 2020, San Juan County businesses claimed approximately **\$8.6M** in eligible investments, resulting in **\$298,000** in certified tax credits, and reported **107** new jobs. In 2020, **6** business claimed **\$13,853** in tax credits. **Nine** new jobs were created through the EZ program in 2020.

This State designation also allows donor contributions of at least \$100 (depending on the organization) to Enterprise Zone contribution projects to be eligible for a 25% state tax credit on cash donations, and a 12.5% state tax credit on in-kind donations. Region-wide, in 2020 there were 30 designated Enterprise Zone Contribution Projects (4 designated, two extended due to COVID impacts and four that ended). These Projects generated about **\$2.35 million** in economic activity through direct and in-kind contributions. This is a significant decrease in donation activity, likely attributable to the COVID-19 pandemic. This compares to 30 Projects in 2019 with \$4.14 million; 28 Projects in 2018 at \$2.8 million; 28 Projects in 2017 at \$3.3 million, and 30 Projects with \$3.7 million in economic activity in 2016.

Enterprise Zone Contribution Projects that impacted San Juan County in 2020 are below.

- Homes Fund
- Housing Solutions for the Southwest
- KSUT Radio
- Mercy Regional Medical Center
- Mountain Studies Institute
- Region 9 Economic Development District of Southwest Colorado & COVID Business Support
- San Juan Development Association
- Southwest Colorado Accelerator Program for Entrepreneurs (SCAPE)
- Southwest Small Business Development Center

Reports – Region 9 prepared strategy and research reports that included data specific to San Juan County in 2020. Region 9 is a Colorado State Data Center local affiliate, and provides reliable, unbiased, and timely regional socio-economic data to citizens and policymakers. All the District's reports and economic impact studies can be found at www.scan.org. **Region 9 is proud to announce our Regional Data Dashboard is now available on our website!** Visit www.scan.org/dashboards.

- San Juan County Resiliency Plan 2020
- Region 9 Corporate Annual Report
- Region 9 Economic Snapshot Report 2020
- Education and Early Childhood Care 2020
- Base Industries Analysis Report 2020

Loans – Region 9 had 233 loans as of December 31, 2020 totaling \$6.2 Million, an increase of \$200K over 2019 that had 170 loans. Region 9 closed 65 loans creating 82 jobs compared to 33 loans and 70 jobs in 2019, and 33 loans and 85 jobs in 2018. The low job number compared to loan volume for 2020 is directly related to the COVID-19 pandemic as businesses focused on job retention rather than job creation. Twenty-seven loans paid off this year compared to 21 loans in 2019, and 20 in 2018. Seven loans were written off.

In the past 31 years, Region 9 provided business loans totaling over **\$1.9M** resulting in **52** jobs in San Juan County. In 2020, the County generated **19** inquiries to Region 9 resulting in **1** new loan. **One** loan paid off. Current loan activity is listed below.

Current Loans

Bearded Wonder Services	\$ 50,000	NEW
Jensco Environmental Services	\$ 65,000	
Loop SxS Adventures	\$ 58,000	
Maisel Construction	\$ 169,000	
San Juan County	\$ 64,430	
The Avon Hotel	\$ 50,000	
Venture Snowboards	\$ 101,000	

<p>Paid Off The Pickle Barrell</p>

Emergency Services Sales Tax

	2016	2017	2018	2019	2020	2021 % Change	5-Year Ave.
January	5,343.03	5,622.78	5,693.58	22,652.17	22,081.29	35,711.05	61.73%
February	9,368.55	10,692.95	9,500.78	20,193.73	38,888.47	40,698.37	4.65%
March	7,022.72	7,037.70	8,924.66	28,148.22	30,899.33	39,182.99	26.81%
April	8,989.30	8,265.99	22,040.87	52,719.27	32,992.58		-37.42%
May	11,187.66	11,429.96	23,915.42	32,415.46	28,328.62		-12.61%
June	7,002.03	6,362.70	13,364.73	17,201.80	20,323.77		18.15%
July	16,350.76	12,960.82	36,977.68	35,279.36	29,408.23		-16.64%
August	28,294.88	29,968.07	54,297.30	74,723.11	62,795.11		-15.96%
September	42,058.55	45,477.85	100,795.88	126,269.99	120,650.92		-4.45%
October	31,447.71	33,384.56	82,850.46	103,635.85	108,852.60		5.03%
November	33,410.55	39,818.53	88,859.04	101,380.60	107,416.93		5.95%
December	21,352.56	14,380.35	34,697.06	45,399.97	63,130.77		-5.00%
Total	221,828.31	225,402.27	481,917.46	660,019.53	665,768.62	115,592.41	0.87%
Year to Date	21,734.30	23,353.43	24,119.02	70,994.12	91,869.09	115,592.41	25.82%

Town Sales Tax

	2016	2017	2018	2019	2020	2021 % Change	5-Year Ave.
January	15,412.76	15,692.10	17,803.62	17,777.51	28,417.92	40,332.32	41.93%
February	22,982.62	27,691.72	24,144.03	26,379.98	39,259.76	45,122.36	14.93%
March	19,463.45	18,150.71	23,836.90	33,717.73	34,763.49	46,171.74	32.82%
April	26,152.34	21,740.67	24,868.07	75,356.86	37,422.14		-50.34%
May	31,726.42	31,728.94	21,945.84	32,071.64	24,839.85		-22.55%
June	22,188.51	17,898.60	17,527.63	21,650.46	22,518.84		4.01%
July	42,456.28	44,161.00	53,182.66	50,243.72	29,239.56		-41.80%
August	101,398.06	105,922.79	80,166.62	105,875.94	90,106.11		-14.89%
September	153,191.88	160,276.49	151,431.83	179,274.96	170,982.30		-4.63%
October	112,835.51	116,768.86	121,288.07	151,774.01	155,155.28		2.23%
November	120,093.55	163,456.93	130,755.88	146,395.83	153,802.89		5.06%
December	78,913.11	52,770.79	50,151.94	64,974.75	83,368.79		-5.00%
TOTAL	746,814.49	776,259.60	717,103.10	905,493.39	869,876.93	131,626.42	-3.93%
Year to Date	57,858.83	61,534.53	65,784.56	77,875.22	102,441.17	131,626.42	28.49%

County Sales Tax

	2016	2017	2018	2019	2020	2021 % Change	5yr. Average	
January	5,959.36	6,799.02	4,970.71	7,799.87	6,854.79	16,712.63	143.81%	8,627.40
February	14,491.56	15,080.08	13,859.09	12,885.86	22,860.78	19,999.27	-12.52%	15,835.47
March	8,627.43	10,000.08	11,861.72	11,246.33	14,595.18	16,419.27	12.50%	11,266.15
April	9,804.86	11,323.27	10,399.61	8,857.05	15,280.29		72.52%	11,133.02
May	13,024.22	13,990.92	16,321.32	19,708.91	12,778.47		-35.16%	15,164.77
June	5,819.62	7,552.19	4,601.13	5,827.74	9,946.40		70.67%	6,749.42
July	22,946.78	7,682.30	5,985.49	6,206.92	17,737.22		185.77%	12,111.74
August	11,781.46	13,949.50	6,568.03	13,486.95	10,921.79		-19.02%	11,341.55
September	15,042.34	21,634.93	9,579.78	22,429.05	21,745.79		-3.05%	18,086.38
October	12,955.34	16,769.39	11,057.45	13,774.16	18,726.14		35.95%	14,656.50
November	13,548.66	-4,182.80	11,187.78	15,070.58	17,785.19		18.01%	9,822.54
December	6,497.13	4,750.60	5,273.24	7,547.72	17,476.46		-5.00%	5,888.17
Total	140,498.76	125,349.48	111,665.35	144,841.14	186,708.50	53,131.17	28.91%	128,151.67
Year to Date	29,078.35	31,879.18	30,691.52	31,932.06	44,310.75	53,131.17	19.91%	

Lodging Tax

	2016	2017	2018	2019	2020	2021 % Change	5 yr. Average
January	1,083.78	35.05	126.80	885.93	3,729.44	-85.41%	1,064.23
February	7,581.19	10,406.98	8,318.23	10,816.00	14,088.47	43.97%	12,782.53
March	1,544.89	786.00	3,097.25	145.07	454.00	45.37%	1,028.46
April	195.49	1,543.39	2,002.98	33.00	0.00	-100.00%	754.97
May	7,263.06	13,776.57	11,375.54	17,612.98	14,069.00	-20.12%	12,819.43
June	4,849.00	1,094.30	1,356.34	952.07	300.40	-68.45%	1,710.42
July	1,394.08	309.00	2,702.84	170.21	573.00	236.64%	1,029.83
August	9,590.21	10,799.07	11,477.00	14,372.43	13,978.56	-2.74%	10,758.36
September	1,354.94	5,661.40	7,956.78	2,738.12	139.00	-94.92%	3,770.81
October	3,733.58	2632.10	666.79	2848.73	780.48	-72.60%	2,167.27
November	39,304.00	38,017.00	43,574.04	47,263.00	58396.70	23.56%	39,678.68
December	1,011.00	2,839.96	2,029.95	1,790.37	1918.52	-5.00%	1,995.60
Total	78,905.22	87,900.82	94,684.54	99,627.91	108,427.57	8.83%	82,425.55

Year to Date 10,209.86 11,228.03 11,542.28 11,847.00 18,271.91 21,486.91



Town of
Silverton

PO Box 250
Silverton, CO 81433
970-387-5522



SAN JUAN COUNTY

PO Box 466
Silverton, CO 81433
970-387-5766

Date: March 7, 2021.

For: March 10 Board of County Commissioners Meeting.

From: Town/County Planning Director.

Regarding: Some of the Planning Department Work During the Past Two Weeks.

Recent County Projects

- The County Commissioners have a Public Hearing on March 10 to consider a Proposed Plat Amendment at Cole Ranch. The Planning Director prepared the packet of information for that Public Hearing.
- The County Commissioners have a Public Hearing on March 10 to consider an Improvement Permit Application for a Proposed Cabin near Lime Creek Road. The Planning Director prepared the packet of information for that Public Hearing.
- The Planning Director received an application for proposed driveway grading, gate, signs, and electric line in Cunningham Gulch, reviewed the application, worked with the applicant and notified the adjacent land owners, and this will be considered by the Planning Commission on March 16.
- The Planning Director has been answering inquiries about mining claims in the areas of: Maggie Gulch, Chattanooga, above the Lackawanna Mill, Howardsville, Ophir Pass, and Minnehaha.
- The Planning Director and Building Inspector have been answering an increase in inquiries about the County regulations on: camping, RVs, yurts, huts, campgrounds, and types of septic systems.
- The Planning Director is coordinating with the County Attorney to develop more specific County regulations for Proposed Boundary Agreements and Proposed Boundary Line Adjustment Plats.
- The Planning Director, representing the County, is meeting next week with Town Staff Lisa Branner, to coordinate the two different Town and County Special Events/Film Permit Application processes.
- The Planning Director and Building Inspector are planning a realtor forum, to give them some brief training and paperwork, on mining claims, septic systems, the new County/CDPHE Ordinance, and Town/County maps/regulations.

Recent Town Projects

- Five Town applications for proposed development on Lots in Town were received in the past two weeks.

- A Preliminary Plan submittal was turned in for a Proposed Resubdivision of Block 4 Blagues Addition, at 19th & Cement.
- One application was received for proposed building façade improvements at a historic structure in the Town's Historic Overlay District, near 14th & Blair.
- One application was received for multiple proposed structures, on several lots, which are in the Floodplain and the Avalanche Hazard Overlay Districts, near 13th & Cement.
- One application was received for proposed infrastructure in the Town's Slope Hazard Overlay District, at 8th & Bluff.
- Plans were received for review, for proposed infrastructure, in the Town's Slope Hazard Overlay District, at 12th & Bluff.
- An application is incoming for a proposed generator and fuel tank at the Town leased cell tower site.
- Lots of inquiries are being received by the Building Inspector and Planning Director, regarding various Lots in Town, as well as existing for-sale downtown structures.
- The Planning Director and Building Inspector met with the Town Personnel & Ordinance Committee, where we discussed two draft Town Ordinances, one revising Town Vacation Rental regulations and the other establishing an Architectural Review Overlay District along our Heritage Tourism Corridor.
- The Town Staff/Board has been preparing advertisements for a new Administrator and Attorney, and also held an OHV forum last week, and the Town Staff is currently under the direction of Interim Town Administrator Anthony Edwards.
- The Town Board will hold a Public Hearing to consider a Rezoning Application and Proposed Fourplex on March 8, located at 5th & Reese.
- The lack of vacant land in Town that is free from hazards and issues, is causing an overabundance of Town planning applications. The volume of site specific Town applications eliminates the time required for much needed rapid updating of Town codes.
- The inquiries being received by Building & Planning for Town parcels tends to increasingly be related to condos, townhomes, higher density, multi family, rezoning, variances, tiny homes, RVs, and proposed resubdividing of Lots into smaller parcels.
- Some of the upcoming public meetings include: Town Board of Trustees March 8, (Town/County) Planning Commission March 16, Town Master Plan Committee March 23.

The County Commissioners/citizens can contact me with questions about the Town/County Planning Department at ladair@silverton.co.us, or 387-5522.

**San Juan County Road Department
Monthly Road Maintenance Report
FEBRUARY 2021**

County road #110 Gladstone, snow, ice and rock removal. Did avalanche control on 2/15/21 we bombed the Jump slides, Mogul and the Fairview Gulch. The Fairview ran and crossed Cement Creek the other did not run. The Fairview ran the next morning again and crossed the road 4" x 80' on the 16th. Bill for control work was \$1,460.00 or so. Lite winter so far!

#1-772G grader/plow, 26 hours.

#2-772G grader/plow, 30 hours.

936 loader, 5 hours.

Pickup trucks, 51 hours road patrols and rock removal.

County road #2 Eureka, Cunningham gulch. snow removal, cut ice, avalanche removal and rock removal etc. The Pride/ Brendal Gulch slide ran on 2/15/21 and covered the road 5'x 180'. Lots of slides ran nothing else to the road. Pull ditch and clean and widen parking areas etc.

#1-772G grader/plow, 24 hours.

#2-772G grader, plow, 20 hours.

936 loader, 2 hours.

Pickup trucks, 46 hours.

Anvil Mt./ Smelter, snow removal.

936 loader, 12 hours.

772G grader/plows, 6 hours

County Courthouse, County shops and Pre-School, Fire House and Carriage house, snow removal of parking lots/areas and around the buildings and the avalanches off the Fire House roof.

936 loader, 29 hours.

772G grader/plows, 4 hours.

Town of Silverton snow removal on Greene Street and to town limits and in front of residences rom 15th street to 18th street.

936 loader, 10 hours.

772G grader plows, 5 hours.

Equipment and Shop Maintenance, 106 hours. Regular maintenance and repairs. Have had new tires and extra spare tires installed on all three pickups to get ready for spring / summer. We did not buy any tires last year the old ones were wore out! Changed cutting edges etc.

Lime Creek, check snow removal efforts.

Chevy pickup, 3 hours.

**SAN JUAN COUNTY ROAD DEPARTMENT
YEARLY ROAD MAINTENANCE REPORT
2020**

County Road #2 Town Limits to Eureka, Winter maintenance, Snow, ice and avalanche removal. Pushing banks and pulling ditches to widen road. Clean wide areas and parking in Eureka, Maggie Gulch and lower Cunningham gulch. The winter was a light winter for snowfall and no avalanches crossed the road! Had to cut ice in a couple spots. Road patrols, rock and tree removal etc.

Equipment Used	Winter Hours
#1-772G grader/ plow,	85
#2-772G grader/ plow,	103
936E loader,	23
D6T tractor,	6
Chevy Pickups,	180
Total Hours,	396

Had 728 hours snow removal in 2019!

County road #2 Town to Eureka, Regular Spring and Summer Maintenance. Grading/ blading, ditch maintenance. Road repairs and culvert maintenance and repairs. The hauling and placement of gravel and materials. Repair soft spots and water damage. Channel Animas to try a prevent flooding! Dust control if possible. Removed trees and slide debris from culverts in Minnie, Maggie and Boulder creeks etc. We did No dust control last summer it may be mandatory to do some mag-chloride in 2021 to stabilize the road and dust control for public safety from the end of pavement to Howardsville! Last summer was the worst I have seen in 44 years for traffic, dust and road damage The OHV's are the County's worst nightmare and the County cannot sustain the amount of traffic and road damage repairs and grading needed to even try to keep up! Patch potholes and some cracks in the pavement. We need to think about a chip seal or overlay on or pavement sections the pavement is 20 years old. Hauled and spread over 2040 tons of gravel. Road patrols and rock runs and culvert checks in pickups. Signs and posts installations for speed limit signage etc. Speed limits signs \$1,100

#1-772G grader, 95 hours.

#2-772G grader, 120 hours.

936 loader, 40 hours.

D6 tractors, 3 hours.

Int 9400 dump truck, 53 hours.

Backhoe, 4 hours.

Labor on signs etc. 30 hours.

Chevy pickup trucks, 122 hours.

Gravel 2040 ton at \$16.00 per ton \$32,640.00.

Total hours summer Maintenance, 467 hours.

2021 Dust control estimate for 2 1/2 miles of CR-2 from pavement to Howardsville Mill. We have to do this section of road it is the heaviest traffic area to the Cunningham intersection! Mag-Chloride or Sugar complex, 17,500 gallons applied at 1/2 gallon per sq. yd. a 24' width at a cost of 0.80 cents or more per gallon would be \$14,000 for mag/ complex only not including a roller and water truck any application less than 1/2 gallon would be a waste of time and \$.

Should do spot areas at Eureka for the campground and at Maggie and Middleton and the Mine Tour in Cunningham total cost could be 25 to \$30,000.

County road #2 Eureka to Animas Forks and Engineer Pass to the County line and 1.2 miles in Ouray County to the Hinsdale County line. Snow and avalanche removal. It was a lite snow year had a couple fair sized slides below Animas Forks. Had to recut the Grouse Gulch slide and remove trees and debris several times during the summer. Road opened to Animas Forks on 5/15/20 ant to the top of Engineer and the Hinsdale county line o 5/21/20. Road work on Animas Forks road rock removal and repairs and cleaned culverts and ditches. Bladed lower part of road above Eureka. The road has been so damaged by the OHV's and the heavy volume of traffic the Road Dept. can hardly keep up! Had just a couple of minor washouts it was a very dry summer. It is difficult to work on the road due to the heavy traffic. Did some work above the Cinnamon intersection. The ohv's and other vehicles are damaging or culverts and ditches they seem to think it is ok and fun to drive over culvert markers and damage our culverts ohv's need to be limited or eliminated! Need to try and do some major work to this road in 2021!

D6T tractor, 29 hours, snow removal and 12 hours road repairs.

D6T tractor, 12 hours in Ouray County, snow removal.

#1-772G grader, 6 hours.

#2-772G grader, 16 hours.

936 loader, 18 hours, rock and trees in Grouse Gulch slide.

Pickup trucks, 18 hours travel and fueling etc.

80 tons of gravel.

County road #17 Mineral Creek/ Lower Engineer Pass, Snow, rock and tree removal. Opened to Ouray county line on 5/26/20.

D6T tractor, 13 hours.

Ford pickup, 3 hours.

County road #18 Mineral Point, snow removal and rock removal. The BLM and MLRD are doing a project on around this road and have ditched and put in a culvert etc.

D6T tractor, 2 hours.

County road #110 Gladstone, Snow removal, ice and rock removal. It was a lite snow year. Pull ditches and clean parking areas and turn arounds. We had no avalanches on the road. Had some parking issues and speeding and everyone driving on the wrong side of the road! The backcountry skiers are a issue with parking and blocking the road sometimes. No avalanche control work done.

#1-772G grader/plow, 144 hours.

#2-772G grader/plow, 83 hours.

936 loader, 30 hours.

D6 tractor, 2 hours.

Chevy/GMC pickups, 181 hours road patrols, rock removal etc.

County road #110 Gladstone, Summer road maintenance. Grading and ditch cleaning and culvert cleaning and repairs. Rock, tree and slide debris removal. We had very little spring runoff or summer rain events the last two years. We have to pull trees out of the Cement creek culverts from the avalanches in 2019. We had some issues with the Mayday Wall project by the BLM they did some damage to the road with the 40 ton off road trucks and the use of the county road as a staging area. We should not let them use these large trucks again on any of their projects. They made no effort to repair the road from Minnesota Gulch to the Mayday and Youkon Hill. The BLM and MLRD should pay the County \$5000.00 or 500 tons of gravel for any of their projects on any primary county road! Install eight 20MPH speed limit signs and posts and snow and culvert markers etc. Clean culverts by hand/shovel. WE need to get gravel hauled on this road. This road is a speedway for the OHV's and every other vehicle with almost zero law enforcement!

#1-772G, grader, 91 hours.

#2-772G grader, 60 hours.

936 Loader, 25 hours.

Int. 9400 dump truck, 10 hours.

D6N tractor, 3 hours.

Pickup trucks, 130 hours. Road patrols, rock removal etc.

Labor, 28 hours.

90 tons gravel.

County road #3 Stony Pass to Pole Creek, Snow removal road opened to the top on 6/8/20 and to Pole Creek on 6/11/20 not a lot of snow. Had to clean and lot of trees out of the culverts and creek from the 2019 slide debris washing down and plugging the culverts and washing out the road and the culverts in Stony Creek from Cunningham to timber line on Stony. Had to use the Town's backhoe to dig out large trees and root balls and fill washouts. Had to rescue trapped vehicles caught between washouts. Road repairs and blading, clean washouts and road damage on east side of Stony to Pole Creek and repaired road on the other side of Pole Creek. Cut ditches near top of Stony to try and control runoff and repair road section. The road is beaten down by the heavy OHV and other traffic. Bladed road in switchback and cut ditches this should last two seasons now it might last two weeks! Had to replace a new tire and wheel on the Town backhoe \$900.00. Used the D6T tractor to clean out trees in the Stony creek crossings in the fall.

D6N tractor, 57 hours.

936 Loader, 8 hours.

Town Backhoe, 13 hours.

772G graders, 6 hours.

D6T tractor, 15 hours.

Pickups, 23 hours, travel and fueling.

County road #3A Bear Creek to Bear town, road repairs, cut and fill mudholes and rock areas. Fill some holes and ditch water etc. First time worked on this road in a few years. Went as far a Bear town. Removed several larger dead beetle killed trees from road ROW.

D6N tractor, 34 hours.

Pickup trucks, 14 hours, travel and fueling.

County road #3B Buffalo Boy Mine, rock and tree removal and clean culvert.

D6N tractor, 2 hours.

Pickup truck, 2 hours.

County road 3C Stony and Sterling Creek to Upper Cunningham road, Rebuild road sections and remove many large trees and slide debris from last year. Rechanneled Stony creek and repair Sterling creek crossing and grade road to Cunningham.

D6T tractor, 16 hours. D6N tractor, 3 hours. Peterbilt truck haul tractors, 2 hours. Pickups, 2 hours.

County road 3D Old Stony Road to tram tower and cabin, clean slide debris and remove large trees so cabin owner could access his cabin etc.

D6T tractor, 2 hours.

County road #4 Cunningham Creek CR-2 to Highland Mary Mine. Road repairs. Snow removal, grading and clean ditches and rock removal. Repair road above the Highland Mary mill washed out from slide debris plugging creek and washing out edge of road. Cleaned out Cunningham creek at the HM mill dozed out many large trees from the avalanches that were plugging the culverts and causing the road to wash. Had to remove trees and debris from the culverts across Cunningham road from Stoney creek on both CR-4 and 4A twice. Opened the Cunningham Loop of CR4-4A on 4/9/20. Plow lower part of road to wide areas.

D6T tractor, 38 hours.

D6N tractor, 2 hours.

#1-772G grader/plow, 17 hours.

#2-772G grader/plow, 22 hours.

936 loader, 12 hours.

Dump trucks, 7 hours, hauling tractors and gravel.

Pickups, 14 hours.

Town Backhoe, 7 hours.

30 tons gravel.

County road #4A Upper Cunningham to Mine Tours and Stony intersection. Snow removal, rock and slide removal. Grading and 70 tons of gravel hauled and spread. Opened to mine tour 4/9/20. Had to repair road damaged by the power company doing new poles. We need to apply dust control around the mine tour in 2021.

772G grader/plows, 11 hours.

936 loader, 3 hours.

D6T tractor, 5 hours, snow removal.

Pickup trucks, 5 hours.

Int. dump truck, 5 hours.

County road #5 Cinnamon Pass, snow, rock and ice removal. Minor road repairs and ditch cleaning etc. Very lite below average snow depths. Opened road on 5/18/20. Check road during the summer. Have seen it take 80 to 100 hours to open this road in past years. Clean culvert at the CR-2, CR-5 intersection ATV's and a Car ran off init and filled it with rocks.

936 loader. 3 hours.

D6T tractor, 8 hours.

Ford pickup. 6 hours.

County road #6 Shrine road, snow removal to the shrine and grade and rock removal. Road needs gravel from the county and the Town.

772G grader/plows, 13 hours.

Pickups, 3 hours.

County road #7 South Mineral Creek, Snow removal, Grading and road repairs. Removed trees from the culvert on Clear creek behind the campground from 2019 avalanche. Planned to replace two culverts but the road closed due to the fire! Grader road three times. Road Closed above he second campground do not know what the Forest Service is going to do.

#1-772G grader, 44 hours.

#2-772G grader, 4 hours.

936 loader, 9 hours.

Pickup trucks, 15 hours.

Town backhoe, 4 hours.

County road #7A Bandora, rock and slide debris removal and ditched water off the road at the mine. Minor road repairs etc.

#1-772G grader, 4 hours.

Pickup trucks, 2 hours.

County road #8 Ophir Pass, snow removal opened road to the top on 5/28/20. Snow on top 8' or less. Grade road and clean ditches. Remove large rocks and trees and fill some holes.

D6N tractor, 10 hours.

#1-772G grader, 18 hours.

936 loader, 2 hours. Chevy pickup, 6 hours. Peterbilt truck 3 hours haul tractors.

County road #8A Ruby Basin access, rock and slough removal.

#1-772G grader, 3 hours.

Pickup, 1 hour.

County road #8B Bonner Mine, clean slough and rocks and repair creek crossing.

#1-772G grader, 1 hour.

Pickup, 1 hour.

County road #100 Quiet Road, Columbine Lake trail access to CR 8 to HWY-550. Rock and tree removal. Cleared the snow, ice and large trees to open road after 2019 Riley Boy and Brooklyn slides was not opened in 2019. The Forest Service needs to do something about the parking along this road.

D6N tractor, 4 hours.

936 loader, 1 hour.

Pickup truck, 1 hour.

County road #9 Picayune/Placer Gulch Loop, Snow removal and road repair work. Opened to Animas Forks on 6/3/20. Very little snow some in Mastadon Basin. Clean and repair culverts on Picayune side.

D6T tractor, 20 hours.

936 loader, 3 hours.

Pickup trucks, 6 hours.

County road #10 Hurricane Pass/ Lake Como Loop from Gladstone, snow removal and slide removal. Rock and rockslide removal. Opened road 6/8/20. Did some road work and repairs around the Queen Anne and the cliffs in October. Culverts repairs and cleaning intakes etc. Blade above Gladstone.

D6T tractor, 16 hours snow removal.

D6T tractor, 20 hours road work.

#2-772G graders. 13 hours.

936 loader. 1 hour.

Pickup trucks, 10 hours.

County road #19 California Pass/Lake Como Loop, snow removal and road work. Did some ditching and filled some holes etc. Opened to top of California Pass on 6/4/20 and to and over Hurricane Pass to Gladstone on 6/8/20. Very little snow!

D6T tractor, 19 hours. Snow removal.

D6T tractor, 8 hours, road repairs.

Pickup trucks, 8 hours.

County road #10-#11 Corkscrew Pass, snow removal and road repairs opened to the top 5/20/20. Opened road down Ouray County side a meet up with Ouray above the restroom. Opened to Ouray 5/21/20. The OHV's and other traffic have this road damaged all the ditches and culverts filled in and culvert buried with slough from vehicles climbing the banks and driving over the culverts causing the water to wash the road! Did some major road work in September from the switchback to the top. Had to recut ditches and uncover culverts installed two 15'x20 plastic culverts. Tried to get some of the drainage back. Can't keep up with the OHV destruction of our County!

D6N tractor, 14 hours snow removal.

D6N tractor, 7 hours in Ouray County.

D6T tractor, 43 hours road work and repairs.

#1-772G grader, 2 hours.

Pickup trucks, 13 hours. Travel and fueling.

Two 15"x 20' plastic culverts installed.

County road #10A Ross Basin/ Whiskey Pass, Snow removal opened to top of pass on 6/15/20.

D6T tractor, 8 hours.

Pickup truck, 1 hour.

County road #11B Dry Gulch access, rock and slough removal.

D6T tractor, 2 hours.

County road #10B Alaska Basin, rock and slough removal.

D6T tractor, 2 hours.

Pickup, 1 hour.

County road #12 Clear Lake, some snow removal, clear rocks and downed trees. Opened road almost through the slide at the Burbank mine but got too icy for the loader! Blade and clean ditch of mud slough and big rocks. Road closed after the fire.

936 loader, 4 hours.

#1-772G grader, 3 hours.

Pickup trucks, 2 hours.

County road #13 Bighorn gulch, tree removal and no trespassing sign removal

936 loader, 1 hour.

Pickup, 1 hour.

County road #14 Browns Gulch/ Brooklyn mine and US Basin, snow removal opened 6/2/20. Graded road and cleaned ditches. Fill hole in road from old culvert washing. Two culverts install on road below the St. Paul lodge for a new driveway access and county road drainage. 18'x 30' plastic and 12" x 30' plastic culvert installed by Rusty Melcher who built the driveway he did a good job.

D6N tractor, 10 hours.

#1-772G grader, 13 hours.

936 loader, 7 hours.

Pickup trucks, 12 hours.

Peterbilt truck, haul tractors, 3 hours.

County road #15 Mill Creek/ Silver Cloud Mine, the road washed out at the start from the creek over flowing and running down the road. Repaired the road and bladed off slough and filled holes.

1-772G grader, 5 hours.

936 loader, 1 hour.

Pickup, 1 hour.

County road #14A Longfellow Mine and Red Mt. Town access. Grading and fill holes. Remove cables someone cut and left in the road.

#1-772G grader. 1 hour.

Pickup truck, 1 hour.

Labor. 2 hours cutting cable and gathering it up!

County road #16 Black Bear Pass, San Miguel County opened the road on our side the was only a small drift. Did some major road work on section of road that is not solid rock. Some cut and fill and ditching and fill over stair step areas. Install two culverts 15"x 20' plastic. Rebuilt the old road near the top and replaced and old culvert. Graded lower end of road.

D6T tractor, 87 hours.

#772G grader, 3 hours.

Pickup trucks, 10 hours, fueling and travel.

County road #65A Black Bear- Bullion King connecting road. Repair rough section.

D6T tractor, 5 hours.

County road #65 Bullion King Lake access. Rock removal and bladed on lower end off the highway.

Pickup truck, 2 hours.

#1-772G grader, 1 hour.

County road #20, #20A Lacawanna/ Swansea Gulch and Aspen Town, Snow removal, rock and tree removal.

D6N tractor, 6 hours.

Pickup trucks, 2 hours.

County road #21 Arrastra Gulch, Snow removal, rock and tree removal, grading clean ditch and culvert. Large rocks blocked road and caught vehicles behind them near the Mayflower mine was dangerous and tried to close road at the first switchback but Ohv's didn't respect that! We will reopen next summer to the mayflower.

D6T tractor, 4 hours.

772G graders, 5 hours.

936 loader, 5 hours.

Pickup trucks, 2 hours.

County road #55 Ezra R mine, tree removal, snow removal.

936 loader, 1 hour.

County road #21A Little Giant Basin/ Gold Lake, tree, rock and slough removal. Road repairs. The narrow spot above Arrastra road is getting worse the outside of the road sloughed off this summer and made it dangerous to get the tractor past the spot. We cut the inside but the county is going to have to blast this cliff to make it safe or close it to larger and long wheel base trucks etc.

D6T tractor, 8 hours.

Pickup truck, 2 hours.

County roads #22 and 22A, NO COMMENT!

County road #23 Maggie Gulch, rock and tree removal, clean slough and pull ditches and clean culvert.

936 loader, 3 hours.

772G grader, 4 hours.

Pickup truck, 2 hours.

County road #23A Mascot mine, rock removal and remove No trespassing sign and cable closure of the road. The property can block the road just below the Mascot mine but not down at the creek crossing!

Pickup truck and labor, 2 hours.

County Road #23B, Ruby mine/ Waterfall, remove large trees and blade creek crossing.

936 loader, 1 hour.

County road #24 Minnie Gulch, rock, trees and slough removal. Blade road and clean ditches. Backfilled and repaired culvert in Minnie creek. Dealing with slide debris.

D6T tractor, 10 hours.

#1772G grader, 4 hours.

936 loader, 4 hours.

Pickups, 4 hours.

County road #57 Kitty Mack/ Caledonia, tree and avalanche debris removal. Repair washout near the Kitty Mack mine.

936 loader, 2 hours

Pickup truck, 2 hours.

County road #25 Eureka Gulch/ Sunnyside Basin, snow, rock and tree and slough removal and clean plugged culverts. Need to replace three culverts on this road on 2021 they are rotted out and damaged by 40 years of slide. Mudslides and equipment.

936 loader, 6 hours.

#2-772G grader, 2 hours.

D6T tractor, 2 hours

Pickup trucks, 3 hours.

County road #25A Midway/ South Fork, tree removal the avalanches in 2019 wrecked this road.

936 loader. 1 hour.

County road #30 Little Molas Lake, blade and cut washboards and clean ditch.

#1-772G grader, 5 hours.

County road #31 Pittsburg Mine, snow removal, road repairs from Mineral creek running down and damaging the road.

772G grader, 3 hours.

Pickups, 2 hours.

County road #35 Prospect Gulch, road repairs, rock and slough removal. Blade road and cut and fill.

#1-772G grader, 3 hours.

936 loader, 1 hour.

D6T tractor, 2 hours.

Pickups, 2 hours.

County road #35A Red Mt. #3 /Dry Gulch, clean slough and rocks fill two washouts.

D6T tractor, 5 hours.

Pickup truck, 1 hour.

County road #51 Minnehaha Basin/ Gold King Basin, snow removal, rock and tree removal. Clean ditches. EPA does some maintenance on road for the Gold King access. Road opened to cabins on 5/18/20.

D6N tractor, 7 hours.

772G grader, 2 hours.

Pickups, 2 hours.

Peterbilt truck, 2 hours, hauling tractor.

County road #51A Black Hawk mine, snow removal.

D6N tractor, 2 hours.

County road #52 Colorado/ Velocity Basin, snow removal. Rock and tree removal. Repair runoff damage from culverts plugging.

936 loader, 3 hours.

772G grader, 1 hour.

Pickup truck, 2 hours.

County road #53 Cement Creek/ Mogul mine CR-2 to CR-10. Snow removal, rock and tree removal and road repairs near the Mogul mine from road sloughing away and had to be rebuilt. Uncovered culvert buried by mudslide.

D6N tractor, 2 hours.

D6T tractor, 11 hours.

Pickups, 3 hours.

County road #61 Monarch Mine/ Porcupine Gulch, rock and tree removal. Bladed part of road.

936 loader, 2 hours.

772G grader, 1 hour.

Pickup, 1 hour.

County road #62 Georgia Gulch/ Kansas City Mine, rock and tree removal and clean slough. Clean small mudslides out on upper part of road.

D6T tractor, 10 hours.

Pickups, 2 hours.

Peterbilt truck, 2 hours haul tractor.

County road #63 Fairview Lane, rock mand snow removal. The BLM Mayday wall project used this road to excavate and hail fill material from Fairview Gulch for backfill they kept the road on fair condition.

936 loader, 2 hours.

772G grader, 1 hour.

County road #65 Soda Gulch, clean creek crossing and rocks.

772G grader, 1 hour.

County road #69 Niagara Gulch/ Irene trail, tree removal and blade first part of road.

#1-772G grader, 1 hour

Pickup and labor, 2 hours.

County road #70 Hancock Gulch, tree removal.

Pickup and Labor, 2 hours, and chainsaw

County road #1 Lime Creek, Blading and repairs on the 1.1 miles on the Southern end for the homes and property owners, Blade road twice a year and maybe go down in the winter to push back snow and widen out road in needed. Remove downed trees and rock removal down through the cliffs. The other 11 miles of this road should be abandoned by the County and all jurisdiction go back to the Forest Service! San Juan County will never be able to maintain this road properly!

772G graders, 16 hours.

Pickup trucks, 10 hours.

Snow removal contract at \$1,300 per month and \$6,500 per year from November 15th to April 15th. With Rod Sweet , Blown Away Snow removal.

County road #2D Denver Pass on Engineer Pass road. Snow removal.

D6T tractor, 1 hour.

County road #17A San Juan Chief/Mineral Point. Check road for some maintenance and repairs in 2021!

Pickups, 2 hours.

Snow Removal for the Town of Silverton, on 15th and Greene Street at the Fire House to the Town limits to C-110 and CR-2 and the residences along upper Greene Street. Plowing pushing banks, clean the intersection and the bridge off. The County should be reimbursed for this because the Town make NO effort to take care of their responsibilities.

936 loader, 39 hours.

772G grader/ plows, 14 hours.

Total Cost 2020 is \$8,100.00.

County Courthouse, County Shops, Pre-School, snow removal of parking areas and yards and other County related snow removal and maintenance.

936 loader, 80 hours.

772G graders/plows, 13 hours.

Anvil Mt. Rose Smelter Housing, snow removal and grading and road maintenance. 120 tons of gravel hauled and spread.

936 loader, 46 hours.

772G graders/plows, 20 hours.

772G grader, 4 hours.

Int. 9400 dump truck, 8 hours from Middleton.

Pickups, 5 hours.

Equipment maintenance and repairs, Shop, Maintenance and repairs. Regular equipment maintenance, oil changes, tire repairs and Change cutting edges and repair hoses and weld when needed. Weld on ice cleats and repair dozer blades. Ordered six new tire for the motor graders about \$2000 each but they are fantastic tires Michilen SNO-PLUS we don't hardly buy tire chains anymore saves the county lots of \$\$ and labor. We used 15 sets of cutting edged for the graders. 200 gallons of different kinds of oil this new equipment does not need or use much Change oils every 1000 to 2000 hours it use to be 150 to 300 hours maybe. WE do use a lot of DEF fluid for the new exhaust systems on the tractors and graders. General maintenance on the Shop buildings etc. Around 900+ HOURS of maintenance and repairs.

Equipment	Hours/ Miles
#1-2018 JD 772G Motor grader	1740 hours
#2-2018 JD 772G motor grader	1660 hours
1990 Cat 936 loader	16,000 hours
2016 Cat D6T tractor,	3,500 hours
2019 D6N tractor	160 hours
1994 9400 INT. dump truck,	600,000 miles
1987 Peterbilt dump truck,	1,305,000 miles
2006 GMC 2500 pickup,	78,000miles
2018 Chevy 2500HD	14,000 miles
2012 Chevy 2500H	66,000 miles
Hyster 20 ton tilt deck trailer,	wore out needs replaced!

The 936 Loader should be replaced it is 31 years old and is starting to have issues.

Road Department Overtime/Comp time hours for 2020 and Comp time hours as of 12/31/2020.

Comp-time Hours Accumulated Taken Balance with - 2019 Comp-Hrs.

Louis Girodo 139 202 $542 + 139 = 681 - 202 = 479$ hrs. 12/31/20

Dave Andrews, 66 144 $225 + 66 = 291 - 144 = 147$ hrs. 12/31/20

Mike Maxfield, 95 285 $201 + 95 = 295 - 285 = 10$ hrs. 12/31/20

Sick days taken 2020, Only allowed to accumulate 30 days.

L .Girodo, 14 days.

D. Andrews, 3 days.

M. Maxfield, 14 days.

Vacation Days Taken 2020 we all few weeks due to Comp hours needed taken over the years

Louis Girodo, 6 days.

Dave Andrews, 2 days,

Mike Maxfield, 4 days.

