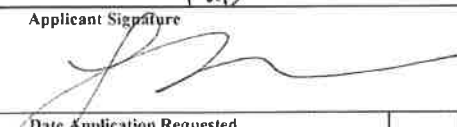


San Juan County, Colorado
Application for Improvement Permit

		APPROVAL CHECKLIST	Initial	Date
Applicant	Name	LAUREN DAVIS, REYNOLDS ASH + ASSOCIATES		
	Address	564 E. 2ND AVE. SUITE 201 DURANGO, CO 81301 Phone 970.259.7484		
Owner	Name	CITISCUPT COLORADO LLC.		
	Address	1355 GREENWOOD CLIFF, STE 150 CHARLOTTE NC 28204 Phone 704.362.2400		
Contractor	Name	VITA CONTRACTING, LLC.		
	Address	1140A MAIN AVE DURANGO, CO 81301 Phone 970.375.7699		
Legal Description of Property:		Road System Relationship ✓		
<p>PROPERTY IDENTIFIED AS MULTIPLE PHASES. PROPOSED PROJECT TO BE 14 PHASE 1 LOCATED BEHIND COLUMBILLE + EMBLEER BUILDINGS.</p> <p>SE SW OF SECTION 12 + NE NW SECTION 13 T39N, R4W N.M.P.M. SAN JUAN COUNTY, CO</p> <p>Township N. Range W. Section</p>		Zoning Compatibility ✓ PUD		
		State Mining Permit		
		Owner Notification ✓		
		Avalanche Hazard		
		Geologic Hazard		
		Floodplain Hazard		
		Wildfire Hazard		
		Mineral Resource Impact		
		Wildlife Impact		
		Historic Site Impact		
Nature of Improvement Planned:		Watershed Gearance		
<p>CASCADE VILLAGE TOWNHOMES N. HWY 550 DURANGO, CO 81301 2 BUILDINGS TOTAL, EACH WITH 11 UNITS.</p>		County Building Inspector		
		Building Permit		
		State Electrical Inspector		
Land Use Zone:	PUD	Electrical Permit		
Applicant Signature		San Juan Basin Health Unit		
		Sewage Disposal: Test		
		Design ✓		
Date Application Requested	6.3.2022	Central Sewage Collection ✓		
Date Submitted for Permit	6.3.2022	State Division of Water Resources		
Date Permit Issued		Adequate Water Source ✓		
Date Permit Denied		Well Permit ✓		
Reason for Denial		Central Water Distribution ✓		
		U.S. Forest Service/BLM		
		Access Approval		
		State Division of Highways		
Receipt		Driveway Permit		
FEE PAYMENT				
	Application			
	Building Permit			
	Subdivision/PUD			
	Hearing Notice			
		Subdivision Variance		
		Subdivision Approval ✓		
		PUD Approval ✓		



ARCHITECTURE & ENGINEERING

06-03-2022

CASCADE VILLAGE TOWNHOMES
For Application for Improvement Permit

To Lisa Adair, Town and County Planning Director
Town of Silverton, Colorado
San Juan County, Colorado

Lisa,

Reynolds Ash and Associates (RAA) is pleased to submit a package to you for review and approval for the Cascade Village Townhomes. Included in our submittal to San Juan County, Colorado is the completed County Improvement Permit Application including the following documents:

Application Checklist
Working Plans + Drawings
 (2) 8.5x11 size plans
 (1) 30x42 full size set of plans
Overall Project Information and Data
Approved Plat
 (2) 8.5 size plans
 (2) 24x36 full size set of plans
Deed of Trust
Sewer Capacity
Water System Capacity
Letter to the Cascade Village HOA for Notification of Property Owners
Project Renderings for review by the Cascade Village HOA
Confirmation of meeting with DFPD on Friday, May 27th, 2022
Application Fee of \$300 Paid to San Juan County Treasurer
 Receipt Included

Our team is proposing to construct something that is on an existing lot in a previously approved PUD at Cascade Village. We plan to comply with everything pre-approved by the County and it is our understanding that this application is to be administratively reviewed.

Please review and let us know if you have any questions.
We look forward to working with San Juan County on this project.

Thank you,



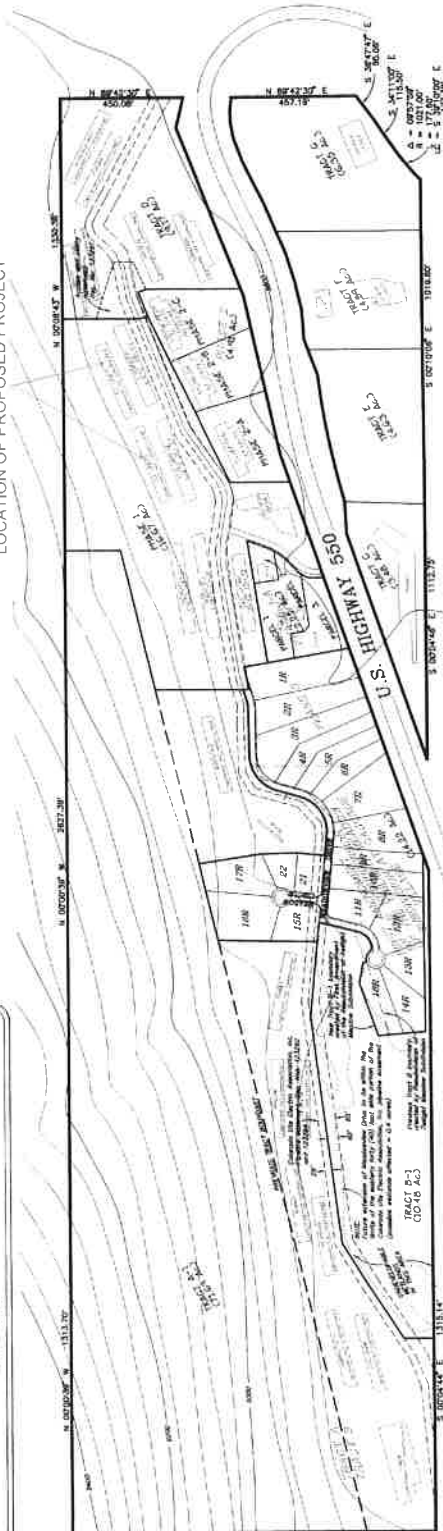
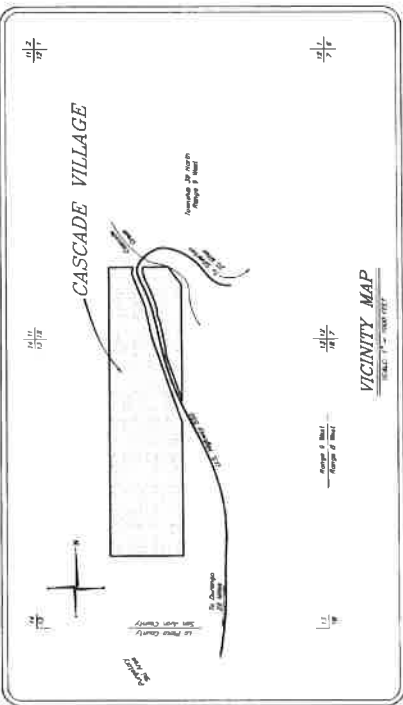
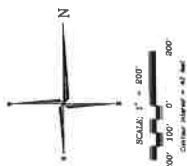
Lauren Davis, AIA, AICP

CASCADE VILLAGE
AMENDED MASTER PLAN
 LOCATED IN SECTION 13, T 39 N, R 9 W, N.M.P.M.
 SAN JUAN COUNTY, COLORADO

DEVELOPED BY:
 CASCADE VILLAGE INVESTMENT VENTURE
 50827 U.S. HIGHWAY 550
 DURANGO, COLORADO 81301
 (970) 259-3500

ENGINEER AND SURVEYOR:
 GOFF ENGINEERING AND SURVEYING, INC.
 P.O. BOX 97
 DURANGO, COLORADO 81302
 (970) 247-1705

LOCATION OF PROPOSED PROJECT



LAND USE TABLE

TRACT	UNITS	AREA	DENSITY	DEDICATION
TRACT A	0	52.91 Ac.	6.05 UNITS/AC.	OPEN SPACE
TRACT B (see previous plan)	177	29.26 Ac.	6.05 UNITS/AC.	RESIDENTIAL
TWILIGHT MEADOW	26	14.22 Ac.	1.83 UNITS/AC.	RESIDENTIAL / COMMERCIAL
PHASE 1	111	16.67 Ac.	6.66 UNITS/AC.	COMMERCIAL / OPEN SPACE
PHASE 1-A	0	2.25 Ac.	19.55 UNITS/AC.	RESIDENTIAL
PHASE 2	96	4.91 Ac.	19.55 UNITS/AC.	LODGE / COMMERCIAL
C	0	9.17 Ac.	8.18 UNITS/AC.	RESIDENTIAL
D	75	4.63 Ac.	16.20 UNITS/AC.	OPEN SPACE
E	0	4.59 Ac.		MAINTENANCE / SEWER
F	0	6.35 Ac.		COMMERCIAL / RECREATION
G	0	6.35 Ac.		COMMERCIAL / RECREATION
TOTALS	485	148.44 Ac.	3.27 UNITS/AC.	

TRACT	UNITS	AREA	DENSITY	DEDICATION
TRACT A-1	177	71.69 Ac.	2.47 UNITS/AC.	RESIDENTIAL
TRACT B-1	0	10.68 Ac.		OPEN SPACE
TWILIGHT MEADOW	26	14.22 Ac.	1.83 UNITS/AC.	RESIDENTIAL
PHASE 1	111	16.67 Ac.	6.66 UNITS/AC.	RESIDENTIAL / COMMERCIAL
PHASE 1-A	0	2.25 Ac.	19.55 UNITS/AC.	COMMERCIAL / OPEN SPACE
PHASE 2	96	4.91 Ac.	19.55 UNITS/AC.	RESIDENTIAL
C	0	3.48 Ac.		LODGE / COMMERCIAL
D	75	9.17 Ac.	8.18 UNITS/AC.	RESIDENTIAL
E	0	4.63 Ac.		OPEN SPACE
F	0	4.59 Ac.		MAINTENANCE / SEWER
G	0	6.35 Ac.		COMMERCIAL / RECREATION
TOTALS	485	148.44 Ac.	3.27 UNITS/AC.	

The project was prepared by the San Juan Regional Planning Commission on 03/23/04 for the City of Durango, Colorado.
 The project was reviewed and approved by the Board of County Commissioners of San Juan County, Colorado, on the 04/22/04.
 BOARD OF COUNTY COMMISSIONERS
 SAN JUAN COUNTY, COLORADO

APPROVED BY: [Signature]
 ASSISTANT COUNTY CLERK

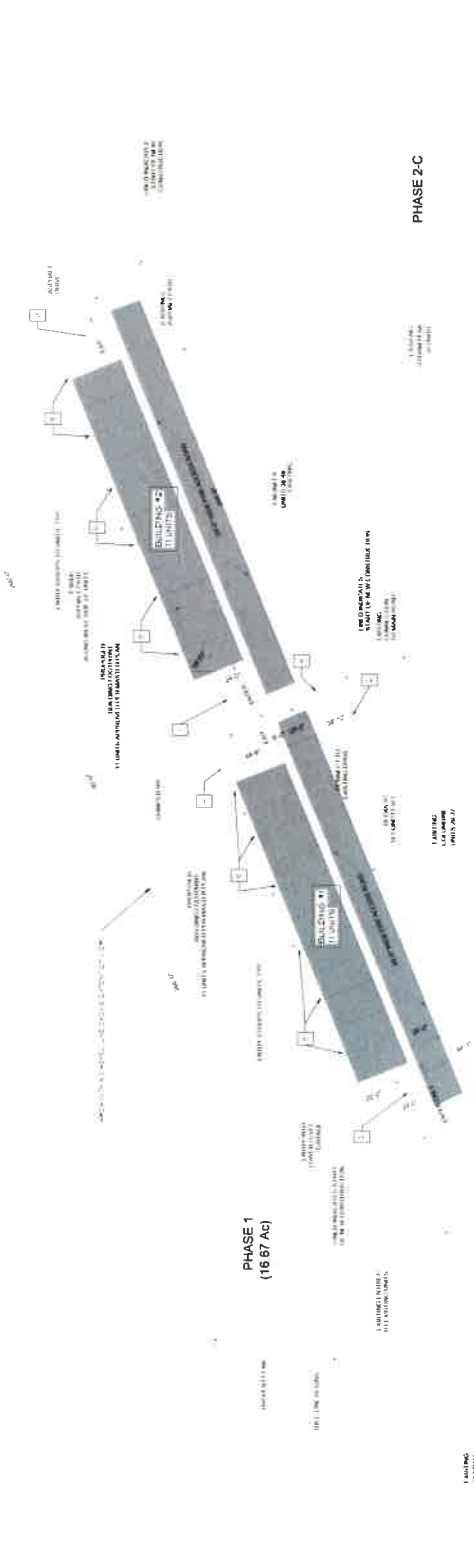
GOFF
 ENGINEERING & SURVEYING
 533 SOUTH CAMINO DEL RIO
 DURANGO, COLORADO 81302
 (970) 247-1705

CASCADE VILLAGE
 MASTER PLAN
 SHEET 1 OF 1
 DATE: FEBRUARY 18, 1988

GENERAL NOTES:

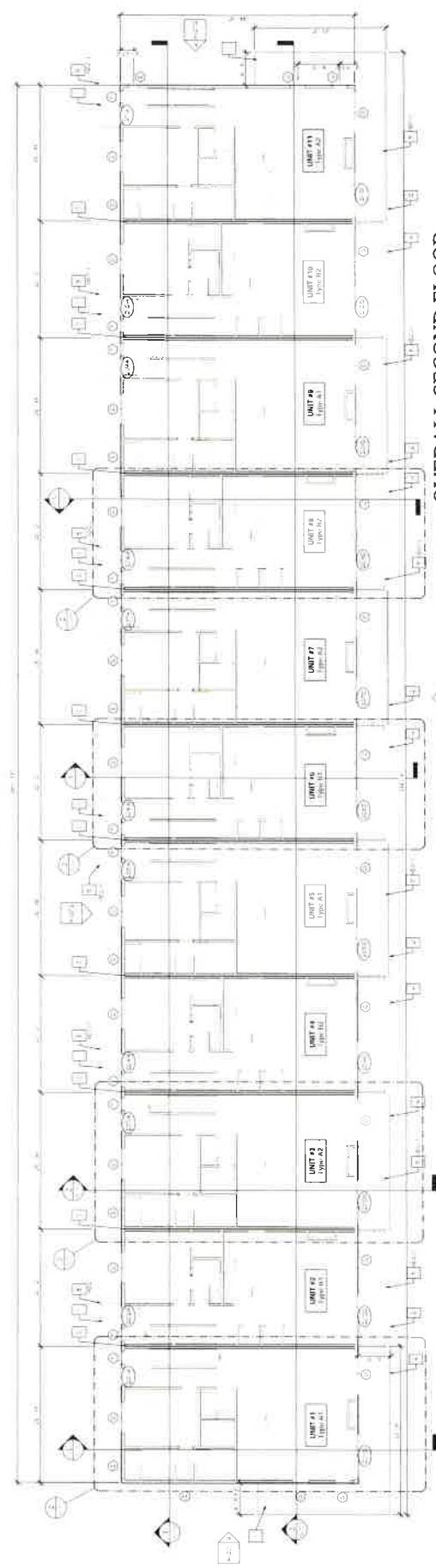
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DURANGO ZONING ORDINANCES AND THE COLORADO CONSTITUTION AND STATUTES.
2. ALL UTILITIES SHALL BE DEPTH CALLED AND MARKED PRIOR TO CONSTRUCTION.
3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
4. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
5. ALL TREE REMOVALS SHALL BE APPROVED BY THE CITY OF DURANGO.

PHASE 1 PLAN

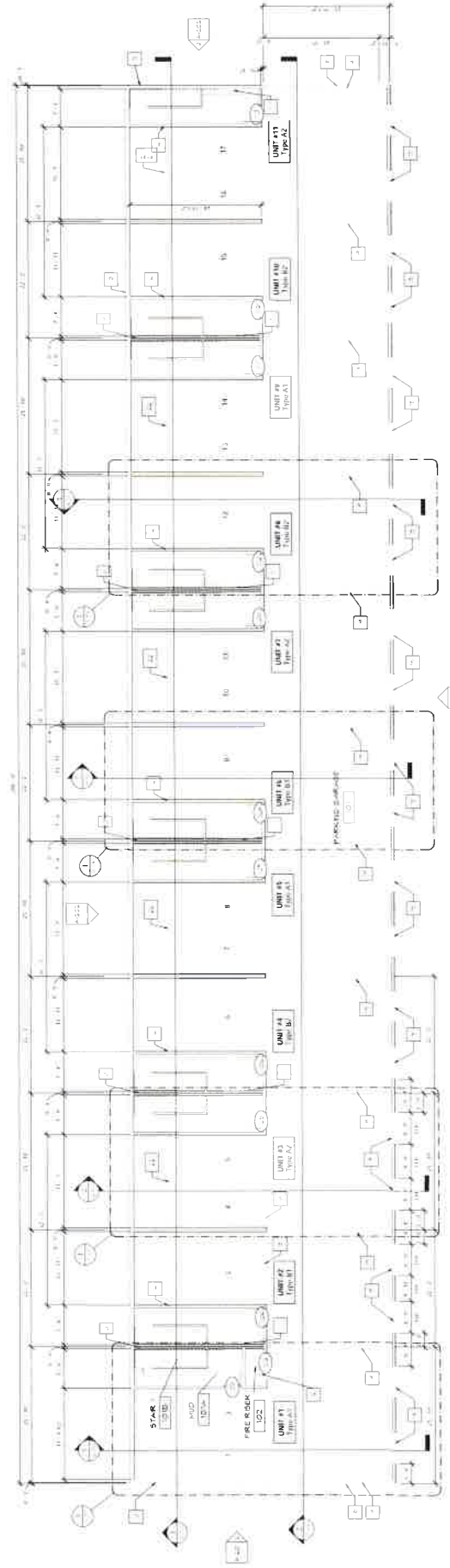


- FLOOR PLAN NOTES**
1. SEE ALL NOTES ON SHEETS A-101-1 THROUGH A-101-4.
 2. ALL DIMENSIONS ARE IN FEET AND INCHES.
 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.
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 10. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.

- GENERAL FLOOR PLAN NOTES**
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
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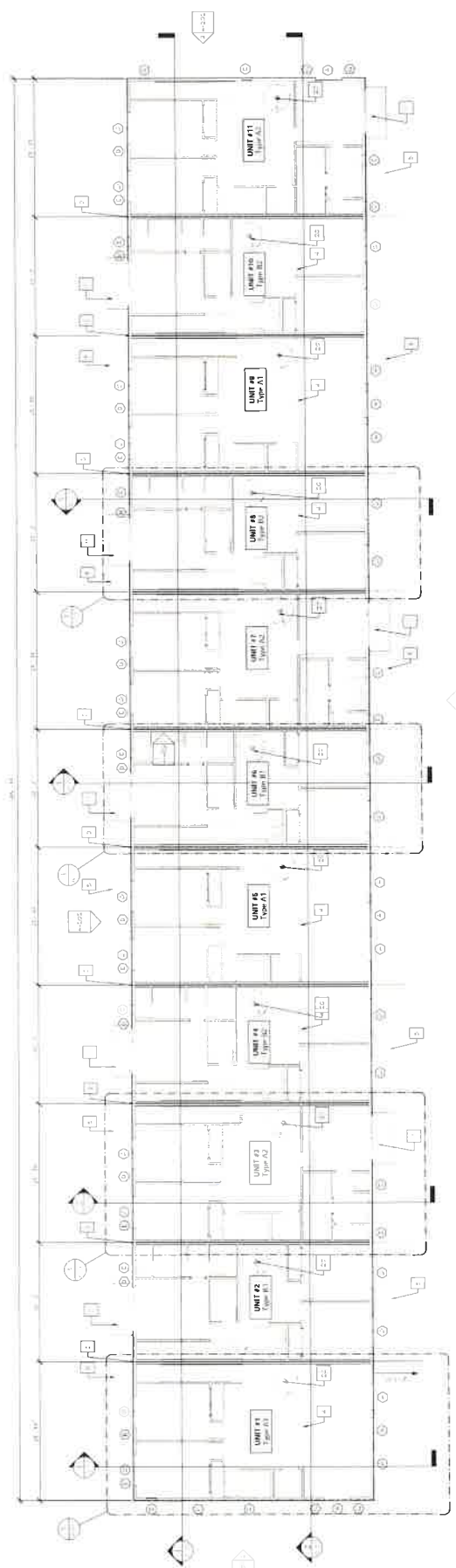
OVERALL SECOND FLOOR PLAN 2 A-101



OVERALL FIRST FLOOR PLAN 1 A-101

- FLOOR PLAN KEY NOTES**
- 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 - 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 - 3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.
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- GENERAL FLOOR PLAN NOTES**
- 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 - 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
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 - 9. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.
 - 10. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.



OVERALL THIRD FLOOR PLAN 1

A-102

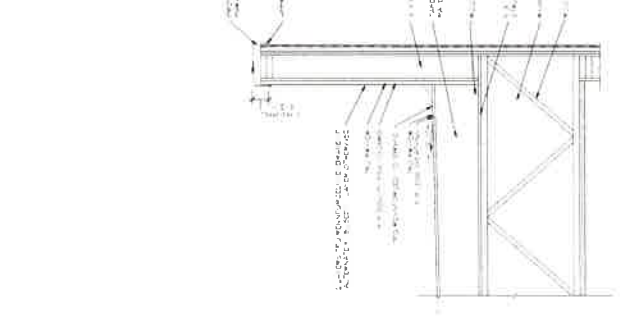
CASCADE VILLAGE TOWNHOMES
N Highway 550 Durango, CO 81301

PROJECT NO. 18-0002
DATE: 10/15/18
DRAWN BY: JLD
CHECKED BY: JLD
SCALE: AS SHOWN
SHEET NO. 102

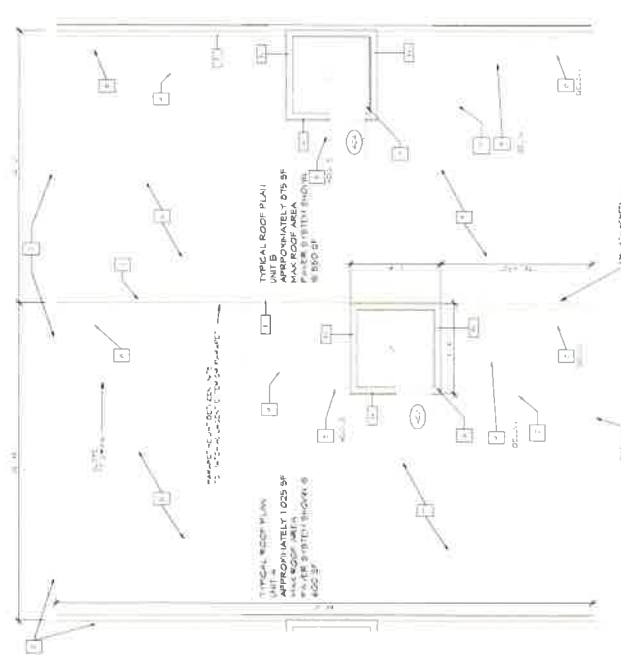


- REVISIONS:**
1. REVISED TO REFLECT CHANGES TO THE ROOF PLAN.
 2. REVISED TO REFLECT CHANGES TO THE ROOF PLAN.
 3. REVISED TO REFLECT CHANGES TO THE ROOF PLAN.
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- REVISIONS:**
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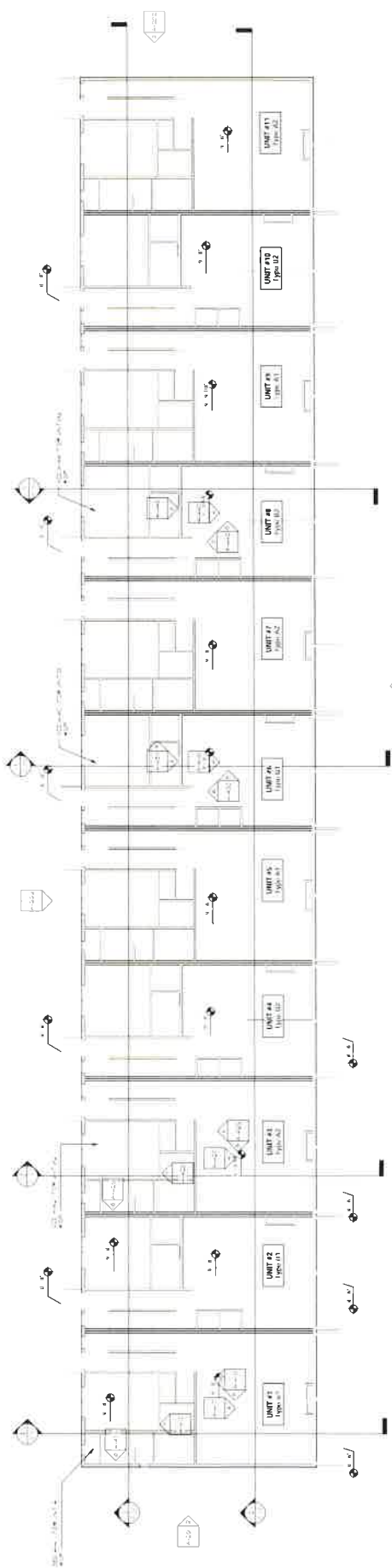


ENLARGED ROOF PLAN 2
 SCALE: 1/4" = 1'-0"

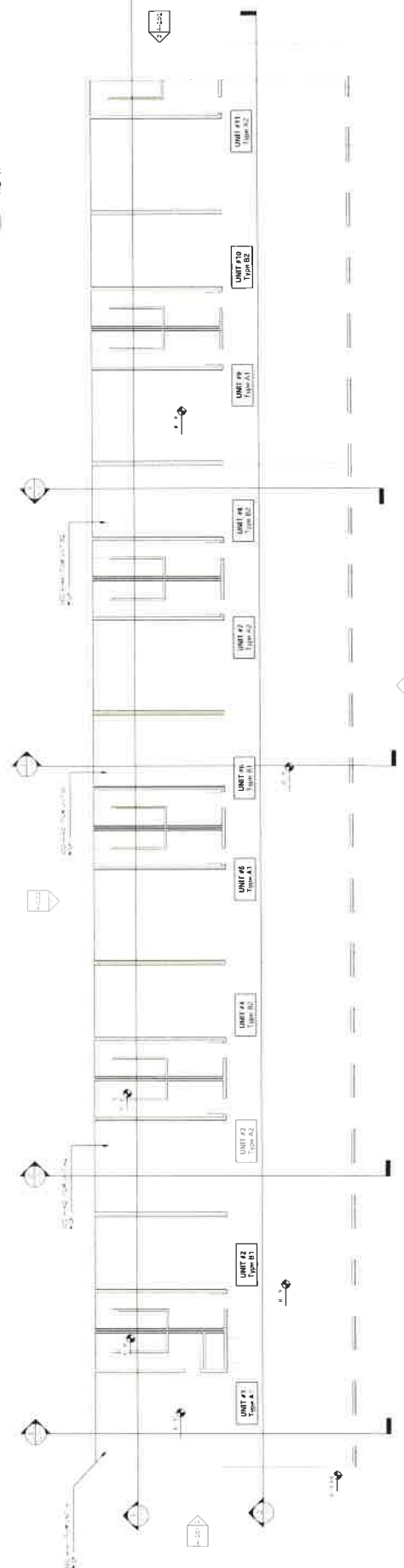


PARAPET DETAIL 3
 SCALE: 1/4" = 1'-0"

- GENERAL NOTES WITH THIS SETTING PLAN:
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 3. ALL WALLS ARE 1/2" THICK UNLESS NOTED OTHERWISE.
 4. ALL DOORS ARE 36" WIDE UNLESS NOTED OTHERWISE.
 5. ALL WINDOWS ARE 60" WIDE UNLESS NOTED OTHERWISE.
 6. ALL FLOORS ARE 4" THICK CONCRETE UNLESS NOTED OTHERWISE.
 7. ALL CEILING ARE 8' HIGH UNLESS NOTED OTHERWISE.
 8. ALL ROOF ARE 4:12 PITCH UNLESS NOTED OTHERWISE.
 9. ALL STAIRS ARE 8" WIDE UNLESS NOTED OTHERWISE.
 10. ALL STAIRS ARE 12" HIGH UNLESS NOTED OTHERWISE.
 11. ALL STAIRS ARE 12" WIDE UNLESS NOTED OTHERWISE.
 12. ALL STAIRS ARE 12" HIGH UNLESS NOTED OTHERWISE.
 13. ALL STAIRS ARE 12" WIDE UNLESS NOTED OTHERWISE.
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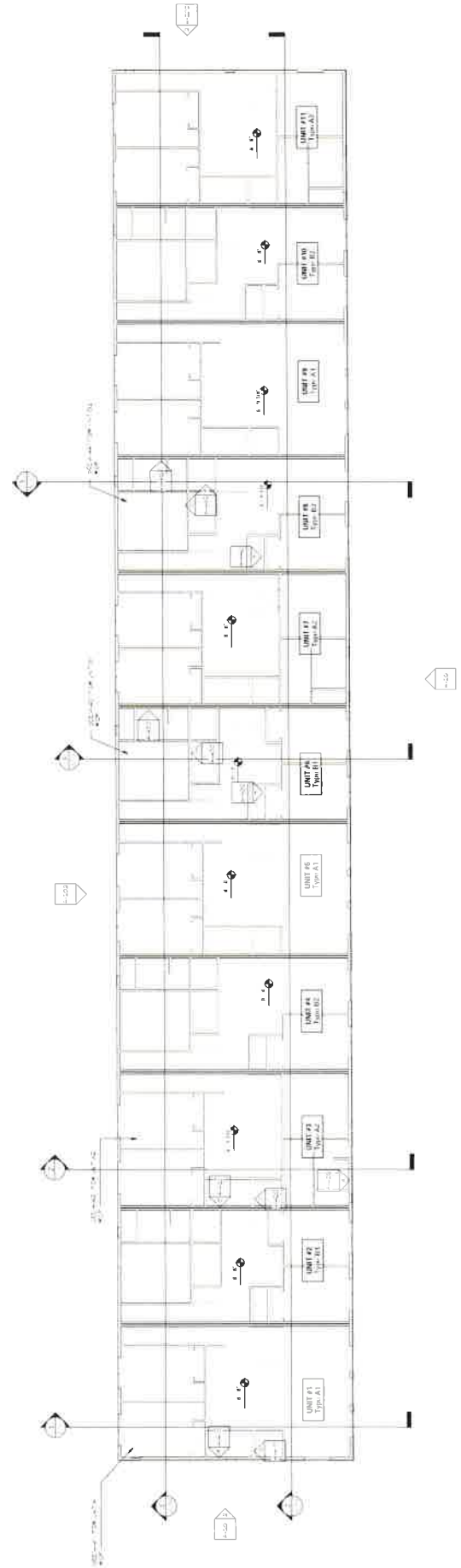
SECOND FLOOR RCP 2
A-105 NORTH



FIRST FLOOR RCP 1
A-105 NORTH

- REFLECTED CEILING PLAN NOTES**
1. ALL REFLECTED CEILING PLAN NOTES ARE TO BE USED IN CONJUNCTION WITH THE REFLECTED CEILING PLAN.
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- GENERAL NOTES REFLECTED CEILING PLAN**
1. ALL REFLECTED CEILING PLAN NOTES ARE TO BE USED IN CONJUNCTION WITH THE REFLECTED CEILING PLAN.
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 10. ALL REFLECTED CEILING PLAN NOTES ARE TO BE USED IN CONJUNCTION WITH THE REFLECTED CEILING PLAN.



THIRD FLOOR RCP 1
 A-106



EXTERIOR ELEVATION GENERAL NOTES

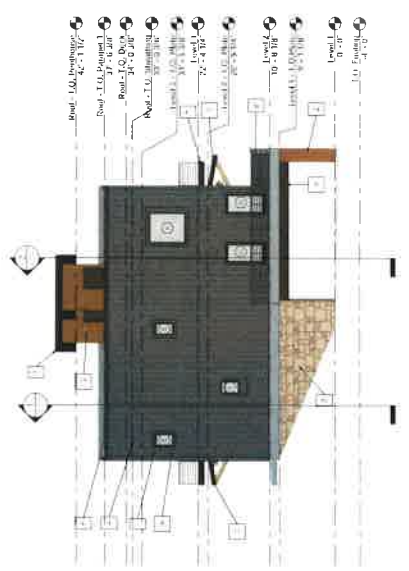
1. ALL MATERIALS SHALL BE AS SHOWN UNLESS NOTED OTHERWISE.
2. ALL MATERIALS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
3. ALL MATERIALS SHALL BE INSTALLED ACCORDING TO THE LATEST EDITIONS OF THE FOLLOWING CODES:
 - a. IRC
 - b. IBC
 - c. IRC
 - d. IRC
 - e. IRC
 - f. IRC
 - g. IRC
 - h. IRC
 - i. IRC
 - j. IRC
 - k. IRC
 - l. IRC
 - m. IRC
 - n. IRC
 - o. IRC
 - p. IRC
 - q. IRC
 - r. IRC
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 - u. IRC
 - v. IRC
 - w. IRC
 - x. IRC
 - y. IRC
 - z. IRC
4. ALL MATERIALS SHALL BE INSTALLED ACCORDING TO THE LATEST EDITIONS OF THE FOLLOWING CODES:
 - a. IRC
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5. ALL MATERIALS SHALL BE INSTALLED ACCORDING TO THE LATEST EDITIONS OF THE FOLLOWING CODES:
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6. ALL MATERIALS SHALL BE INSTALLED ACCORDING TO THE LATEST EDITIONS OF THE FOLLOWING CODES:
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7. ALL MATERIALS SHALL BE INSTALLED ACCORDING TO THE LATEST EDITIONS OF THE FOLLOWING CODES:
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8. ALL MATERIALS SHALL BE INSTALLED ACCORDING TO THE LATEST EDITIONS OF THE FOLLOWING CODES:
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10. ALL MATERIALS SHALL BE INSTALLED ACCORDING TO THE LATEST EDITIONS OF THE FOLLOWING CODES:
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ELEVATION DETAILS

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100. [Detail Note]

EXTERIOR FINISH SCHEDULE

NO.	FINISH	DESCRIPTION
1	WOOD	WOOD FINISH
2	BRICK	BRICK FINISH
3	CONCRETE	CONCRETE FINISH
4	STUCCO	STUCCO FINISH
5	PAINT	PAINT FINISH
6	GLASS	GLASS FINISH
7	ROOFING	ROOFING FINISH
8	LANDSCAPE	LANDSCAPE FINISH
9	DRIVEWAY	DRIVEWAY FINISH
10	PAVEMENT	PAVEMENT FINISH
11	WALKWAY	WALKWAY FINISH
12	DECKING	DECKING FINISH
13	BALCONY	BALCONY FINISH
14	SCREENING	SCREENING FINISH
15	PERGOLA	PERGOLA FINISH
16	AWNING	AWNING FINISH
17	SHUTTERS	SHUTTERS FINISH
18	BLINDS	BLINDS FINISH
19	CURTAINS	CURTAINS FINISH
20	SHADES	SHADES FINISH
21	SCREENS	SCREENS FINISH
22	SLATS	SLATS FINISH
23	ROOFING	ROOFING FINISH
24	LANDSCAPE	LANDSCAPE FINISH
25	DRIVEWAY	DRIVEWAY FINISH
26	PAVEMENT	PAVEMENT FINISH
27	WALKWAY	WALKWAY FINISH
28	DECKING	DECKING FINISH
29	BALCONY	BALCONY FINISH
30	SCREENING	SCREENING FINISH
31	PERGOLA	PERGOLA FINISH
32	AWNING	AWNING FINISH
33	SHUTTERS	SHUTTERS FINISH
34	BLINDS	BLINDS FINISH
35	CURTAINS	CURTAINS FINISH
36	SHADES	SHADES FINISH
37	SCREENS	SCREENS FINISH
38	SLATS	SLATS FINISH
39	ROOFING	ROOFING FINISH
40	LANDSCAPE	LANDSCAPE FINISH
41	DRIVEWAY	DRIVEWAY FINISH
42	PAVEMENT	PAVEMENT FINISH
43	WALKWAY	WALKWAY FINISH
44	DECKING	DECKING FINISH
45	BALCONY	BALCONY FINISH
46	SCREENING	SCREENING FINISH
47	PERGOLA	PERGOLA FINISH
48	AWNING	AWNING FINISH
49	SHUTTERS	SHUTTERS FINISH
50	BLINDS	BLINDS FINISH
51	CURTAINS	CURTAINS FINISH
52	SHADES	SHADES FINISH
53	SCREENS	SCREENS FINISH
54	SLATS	SLATS FINISH
55	ROOFING	ROOFING FINISH
56	LANDSCAPE	LANDSCAPE FINISH
57	DRIVEWAY	DRIVEWAY FINISH
58	PAVEMENT	PAVEMENT FINISH
59	WALKWAY	WALKWAY FINISH
60	DECKING	DECKING FINISH
61	BALCONY	BALCONY FINISH
62	SCREENING	SCREENING FINISH
63	PERGOLA	PERGOLA FINISH
64	AWNING	AWNING FINISH
65	SHUTTERS	SHUTTERS FINISH
66	BLINDS	BLINDS FINISH
67	CURTAINS	CURTAINS FINISH
68	SHADES	SHADES FINISH
69	SCREENS	SCREENS FINISH
70	SLATS	SLATS FINISH
71	ROOFING	ROOFING FINISH
72	LANDSCAPE	LANDSCAPE FINISH
73	DRIVEWAY	DRIVEWAY FINISH
74	PAVEMENT	PAVEMENT FINISH
75	WALKWAY	WALKWAY FINISH
76	DECKING	DECKING FINISH
77	BALCONY	BALCONY FINISH
78	SCREENING	SCREENING FINISH
79	PERGOLA	PERGOLA FINISH
80	AWNING	AWNING FINISH
81	SHUTTERS	SHUTTERS FINISH
82	BLINDS	BLINDS FINISH
83	CURTAINS	CURTAINS FINISH
84	SHADES	SHADES FINISH
85	SCREENS	SCREENS FINISH
86	SLATS	SLATS FINISH
87	ROOFING	ROOFING FINISH
88	LANDSCAPE	LANDSCAPE FINISH
89	DRIVEWAY	DRIVEWAY FINISH
90	PAVEMENT	PAVEMENT FINISH
91	WALKWAY	WALKWAY FINISH
92	DECKING	DECKING FINISH
93	BALCONY	BALCONY FINISH
94	SCREENING	SCREENING FINISH
95	PERGOLA	PERGOLA FINISH
96	AWNING	AWNING FINISH
97	SHUTTERS	SHUTTERS FINISH
98	BLINDS	BLINDS FINISH
99	CURTAINS	CURTAINS FINISH
100	SHADES	SHADES FINISH



SW VIEW 3
 OF 11 A-201



EAST ELEVATION 1
 OF 11 A-201

ELEVATION FINISH PER UNIT

- 1. EXTERIOR WALLS: Dark Charcoal Siding
- 2. EXTERIOR WALLS: Light Oak Siding
- 3. EXTERIOR WALLS: Dark Charcoal Siding
- 4. EXTERIOR WALLS: Light Oak Siding
- 5. EXTERIOR WALLS: Dark Charcoal Siding
- 6. EXTERIOR WALLS: Light Oak Siding
- 7. EXTERIOR WALLS: Dark Charcoal Siding
- 8. EXTERIOR WALLS: Light Oak Siding
- 9. EXTERIOR WALLS: Dark Charcoal Siding
- 10. EXTERIOR WALLS: Light Oak Siding
- 11. EXTERIOR WALLS: Dark Charcoal Siding
- 12. EXTERIOR WALLS: Light Oak Siding
- 13. EXTERIOR WALLS: Dark Charcoal Siding
- 14. EXTERIOR WALLS: Light Oak Siding
- 15. EXTERIOR WALLS: Dark Charcoal Siding
- 16. EXTERIOR WALLS: Light Oak Siding
- 17. EXTERIOR WALLS: Dark Charcoal Siding
- 18. EXTERIOR WALLS: Light Oak Siding
- 19. EXTERIOR WALLS: Dark Charcoal Siding
- 20. EXTERIOR WALLS: Light Oak Siding

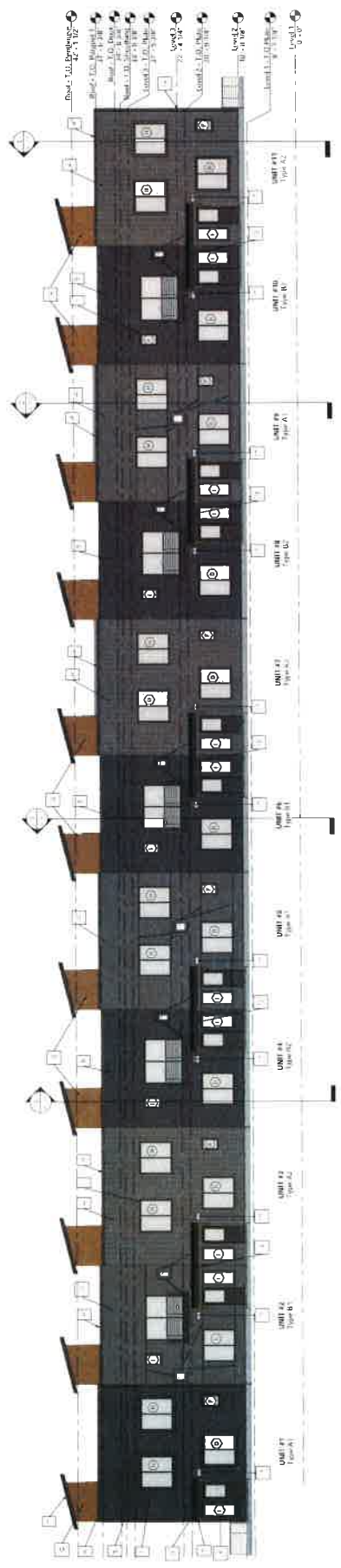
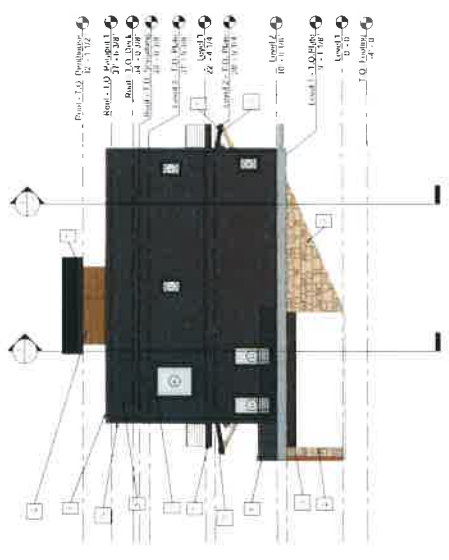
ELEVATION KEYNOTES

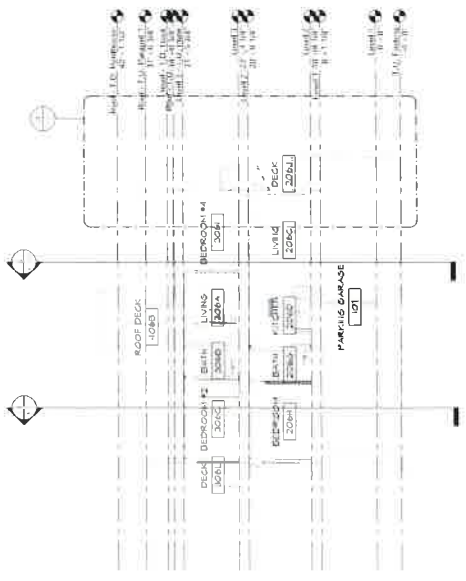
- 1. EXTERIOR WALLS: Dark Charcoal Siding
- 2. EXTERIOR WALLS: Light Oak Siding
- 3. EXTERIOR WALLS: Dark Charcoal Siding
- 4. EXTERIOR WALLS: Light Oak Siding
- 5. EXTERIOR WALLS: Dark Charcoal Siding
- 6. EXTERIOR WALLS: Light Oak Siding
- 7. EXTERIOR WALLS: Dark Charcoal Siding
- 8. EXTERIOR WALLS: Light Oak Siding
- 9. EXTERIOR WALLS: Dark Charcoal Siding
- 10. EXTERIOR WALLS: Light Oak Siding
- 11. EXTERIOR WALLS: Dark Charcoal Siding
- 12. EXTERIOR WALLS: Light Oak Siding
- 13. EXTERIOR WALLS: Dark Charcoal Siding
- 14. EXTERIOR WALLS: Light Oak Siding
- 15. EXTERIOR WALLS: Dark Charcoal Siding
- 16. EXTERIOR WALLS: Light Oak Siding
- 17. EXTERIOR WALLS: Dark Charcoal Siding
- 18. EXTERIOR WALLS: Light Oak Siding
- 19. EXTERIOR WALLS: Dark Charcoal Siding
- 20. EXTERIOR WALLS: Light Oak Siding



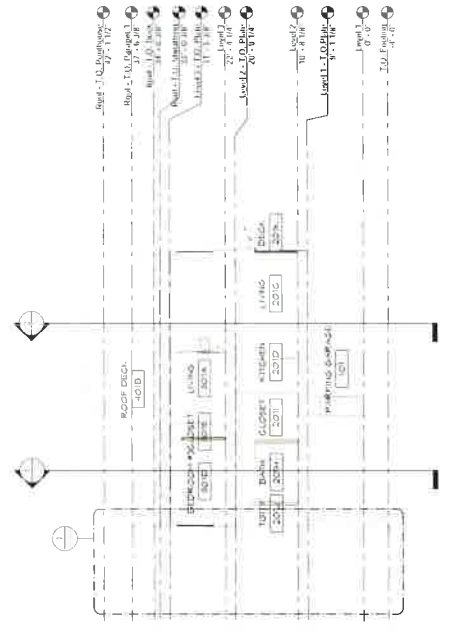
SE PERSPECTIVE 3
 A-202

NORTH ELEVATION 2
 A-202

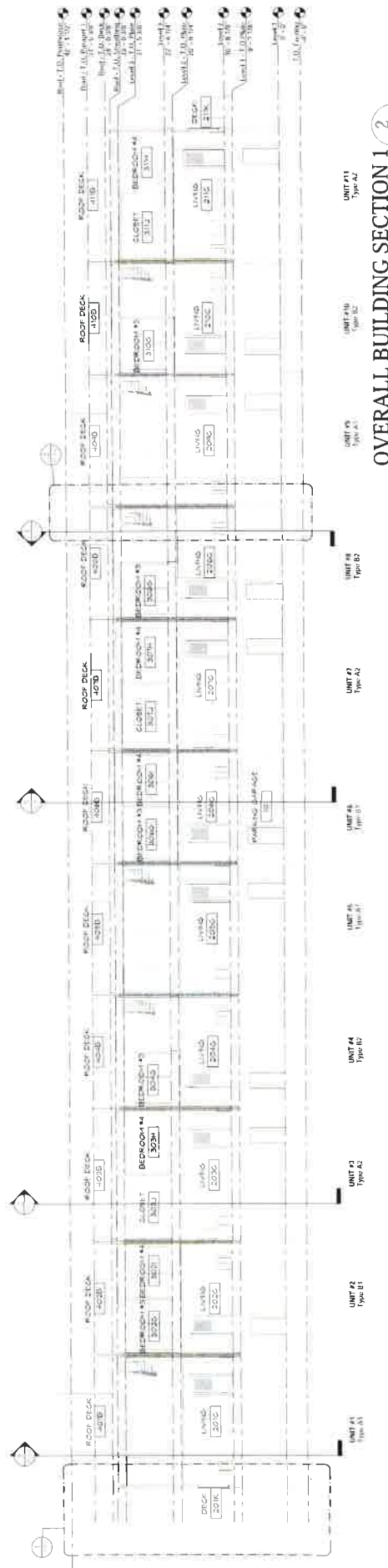




UNIT B1-SECTION THROUGH CLAPBOARD 3
 (PART OF A-301)



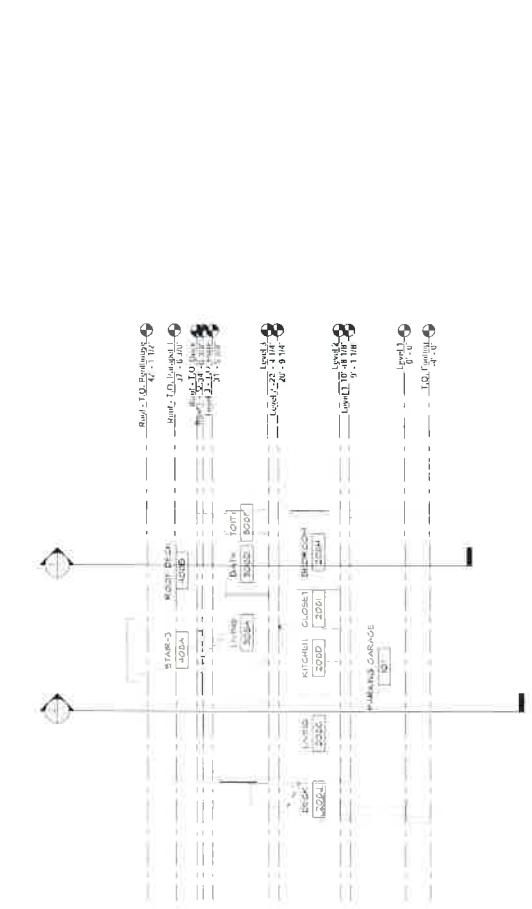
BUILDING SECTION-UNIT A1 1
 (PART OF A-301)



OVERALL BUILDING SECTION 1 2
 (PART OF A-301)

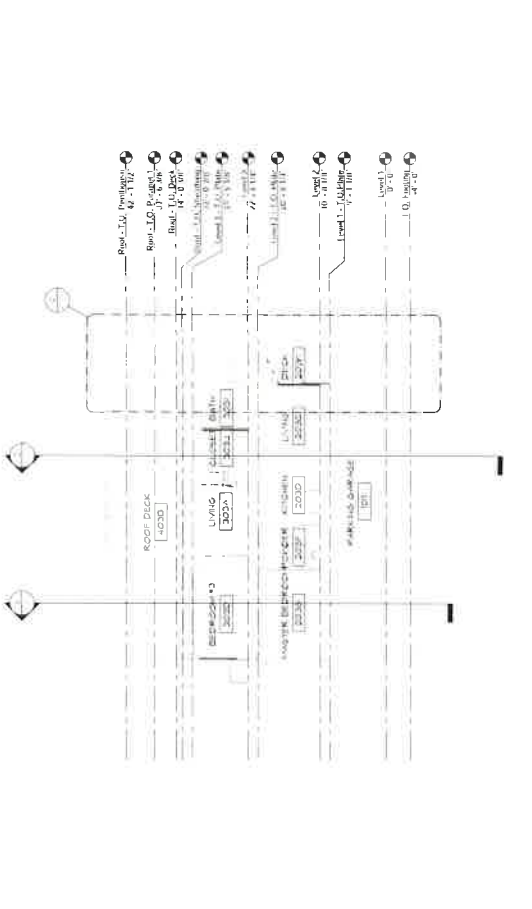
OVERALL BUILDING SECTION 2

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A-302



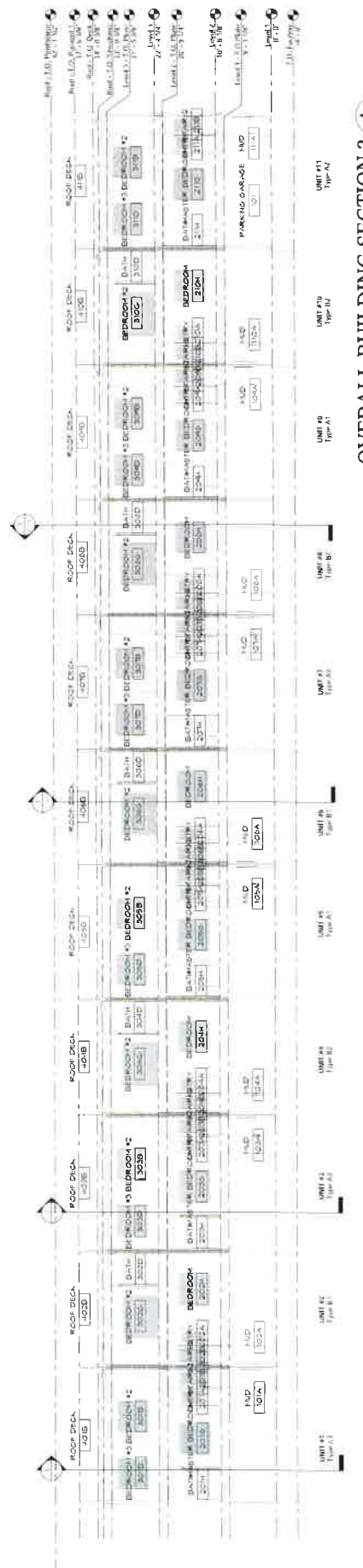
UNIT A1-SECTION THROUGH STUCCO

2
A-302



UNIT B2-SECTION THROUGH CLAPBOARD

3
A-302

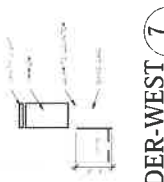


- FLOOR PLAN KEY NOTES**
1. UNLESS INDICATED OTHERWISE, ALL FINISHES ARE AS SHOWN.
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 5. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 6. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 7. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
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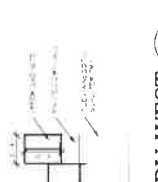
- GENERAL NOTES**
1. REFER TO ALL APPLICABLE SCHEDULES AND SPECIFICATIONS.
 2. REFER TO ALL APPLICABLE SCHEDULES AND SPECIFICATIONS.
 3. REFER TO ALL APPLICABLE SCHEDULES AND SPECIFICATIONS.
 4. REFER TO ALL APPLICABLE SCHEDULES AND SPECIFICATIONS.
 5. REFER TO ALL APPLICABLE SCHEDULES AND SPECIFICATIONS.
 6. REFER TO ALL APPLICABLE SCHEDULES AND SPECIFICATIONS.
 7. REFER TO ALL APPLICABLE SCHEDULES AND SPECIFICATIONS.
 8. REFER TO ALL APPLICABLE SCHEDULES AND SPECIFICATIONS.
 9. REFER TO ALL APPLICABLE SCHEDULES AND SPECIFICATIONS.
 10. REFER TO ALL APPLICABLE SCHEDULES AND SPECIFICATIONS.



LAUNDRY-WEST 10
A-410



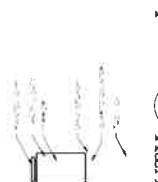
KITCHEN-WEST 6
A-410



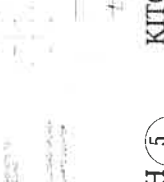
BATH 301F-SOUTH 9
A-410



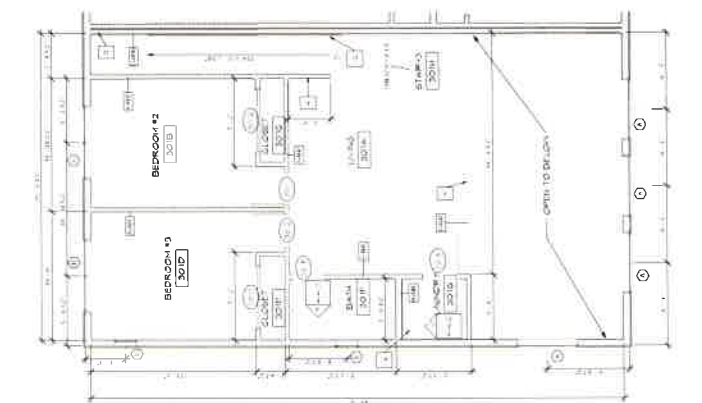
KITCHEN-SOUTH 5
A-410



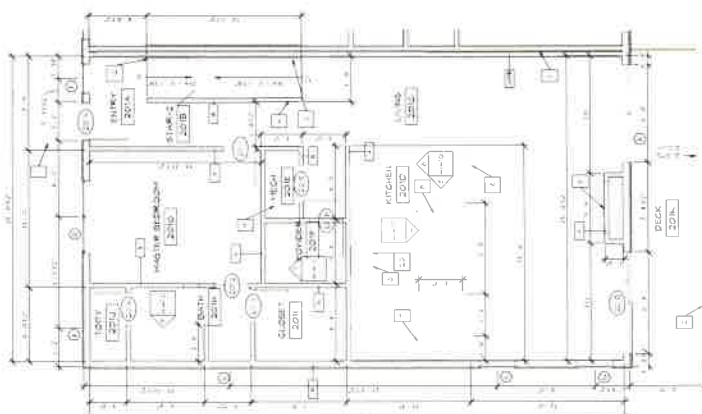
KITCHEN-EAST 4
A-410



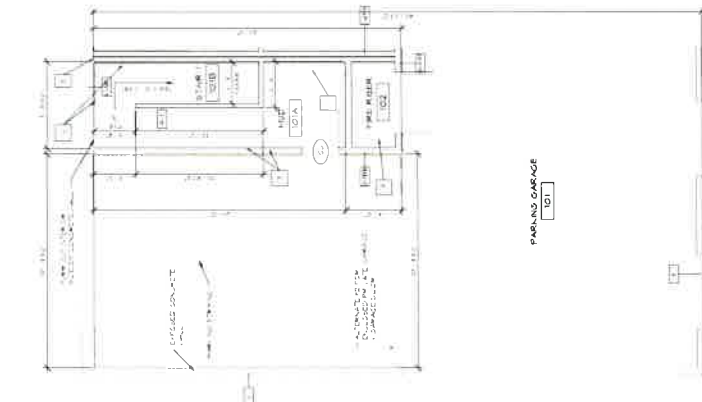
POWDER-WEST 7
A-410



UNIT A1
Type A1

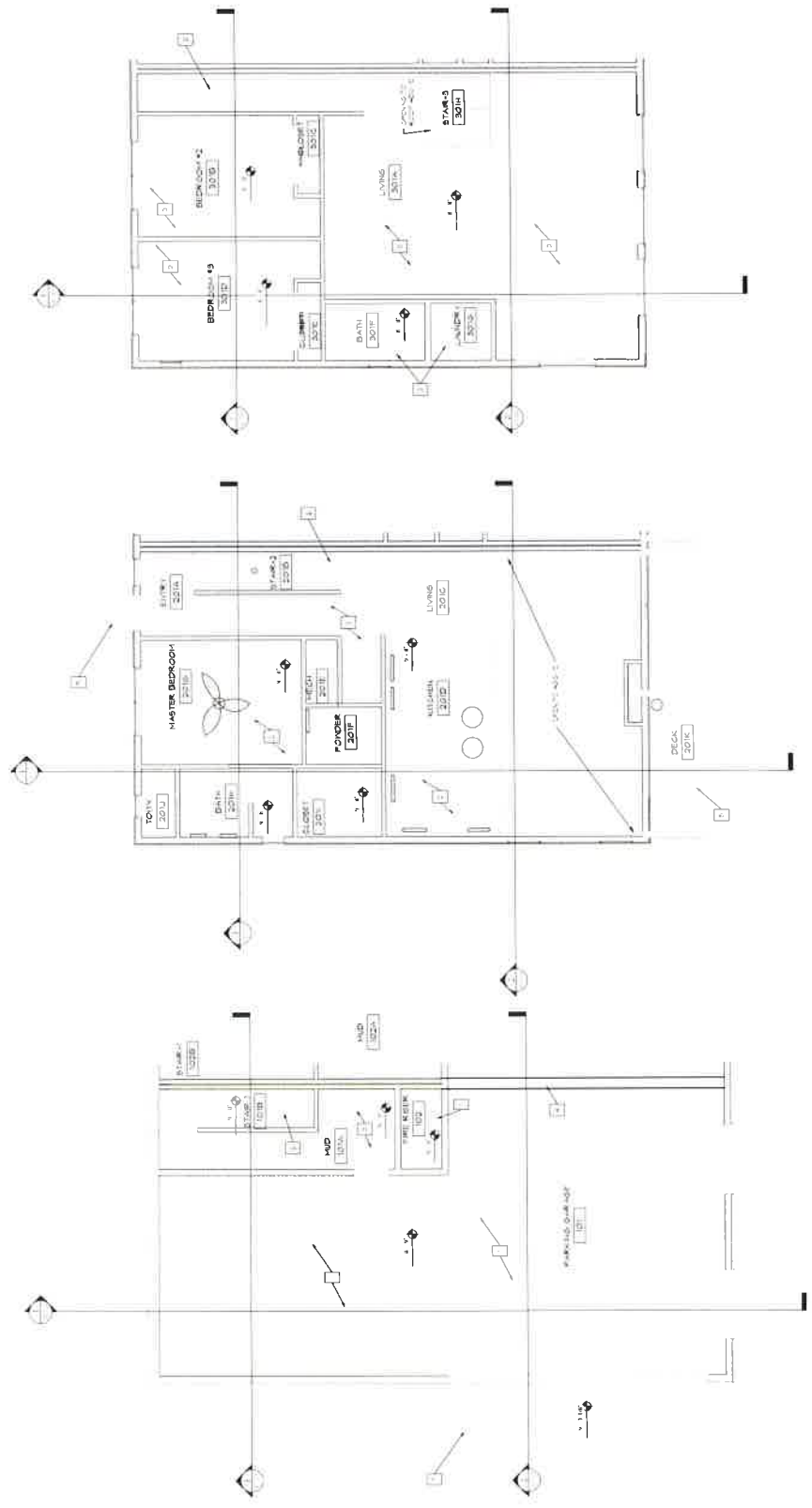


UNIT A1
Type A1



UNIT A1
Type A1

- REVISIONS:
- 1. REVISED PER PLANING COMMENTS
 - 2. REVISED PER ARCHITECT COMMENTS
 - 3. REVISED PER ARCHITECT COMMENTS
 - 4. REVISED PER ARCHITECT COMMENTS
 - 5. REVISED PER ARCHITECT COMMENTS
 - 6. REVISED PER ARCHITECT COMMENTS
 - 7. REVISED PER ARCHITECT COMMENTS
 - 8. REVISED PER ARCHITECT COMMENTS
 - 9. REVISED PER ARCHITECT COMMENTS
 - 10. REVISED PER ARCHITECT COMMENTS
 - 11. REVISED PER ARCHITECT COMMENTS
 - 12. REVISED PER ARCHITECT COMMENTS
 - 13. REVISED PER ARCHITECT COMMENTS
 - 14. REVISED PER ARCHITECT COMMENTS
 - 15. REVISED PER ARCHITECT COMMENTS
 - 16. REVISED PER ARCHITECT COMMENTS
 - 17. REVISED PER ARCHITECT COMMENTS
 - 18. REVISED PER ARCHITECT COMMENTS
 - 19. REVISED PER ARCHITECT COMMENTS
 - 20. REVISED PER ARCHITECT COMMENTS



UNIT A1-THIRD FLOOR RCP 3

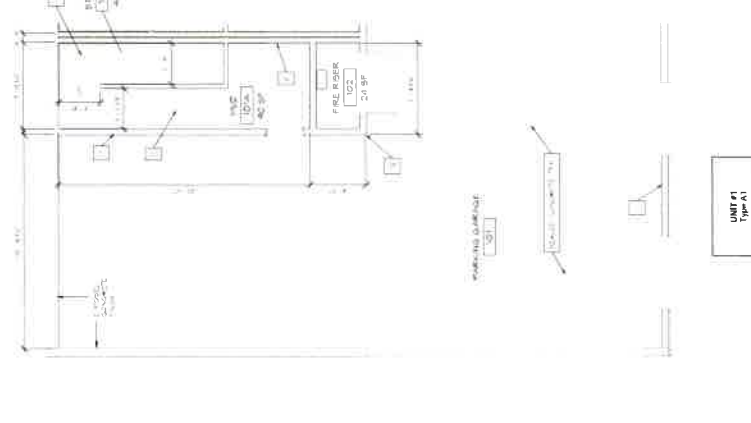
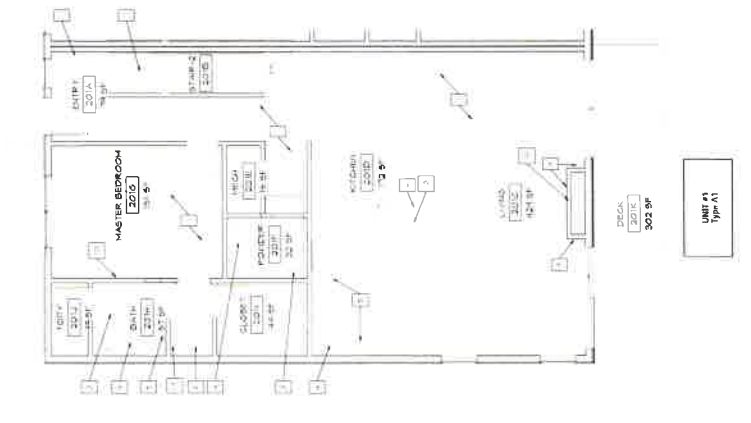
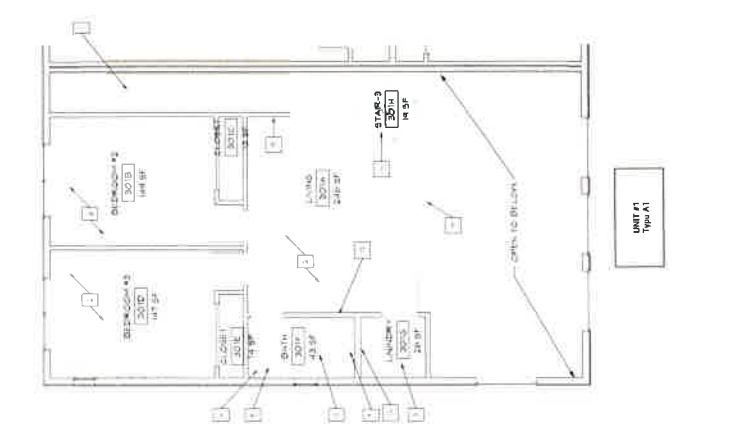
UNIT A1-SECOND FLOOR RCP 2

UNIT A1-FIRST FLOOR RCP 1

- GENERAL FLOOR PLAN NOTES:**
1. SEE ALL NOTES ON SHEETS A-112.01 THROUGH A-112.04.
 2. ALL FINISHES TO BE AS SHOWN ON SHEETS A-112.01 THROUGH A-112.04.
 3. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
 4. ALL WALLS TO BE 1/2" GYPSUM BOARD ON STUDS.
 5. ALL CEILING TO BE 5/8" GYPSUM BOARD ON JOISTS.
 6. ALL FLOORS TO BE 1 1/2" CONCRETE ON 4" GRAVEL ON COMPACTED SUBGRADE.
 7. ALL EXTERIOR WALLS TO BE 8" CMU WITH 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR.
 8. ALL EXTERIOR ROOFING TO BE 2" POLYURETHANE FOAM INSULATION ON 2x12 RAFTERS WITH 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR.
 9. ALL EXTERIOR WINDOWS TO BE 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR.
 10. ALL EXTERIOR DOORS TO BE 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR.
 11. ALL INTERIOR WALLS TO BE 1/2" GYPSUM BOARD ON STUDS.
 12. ALL INTERIOR CEILING TO BE 5/8" GYPSUM BOARD ON JOISTS.
 13. ALL INTERIOR FLOORS TO BE 1 1/2" CONCRETE ON 4" GRAVEL ON COMPACTED SUBGRADE.
 14. ALL INTERIOR ROOFING TO BE 2" POLYURETHANE FOAM INSULATION ON 2x12 RAFTERS WITH 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR.
 15. ALL INTERIOR WINDOWS TO BE 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR.
 16. ALL INTERIOR DOORS TO BE 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR.
 17. ALL INTERIOR PARTITIONS TO BE 1/2" GYPSUM BOARD ON STUDS.
 18. ALL INTERIOR STAIRS TO BE 1/2" GYPSUM BOARD ON JOISTS.
 19. ALL INTERIOR BATHS TO BE 1/2" GYPSUM BOARD ON STUDS.
 20. ALL INTERIOR KITCHENS TO BE 1/2" GYPSUM BOARD ON STUDS.
 21. ALL INTERIOR LIVING AREAS TO BE 1/2" GYPSUM BOARD ON STUDS.
 22. ALL INTERIOR BEDROOMS TO BE 1/2" GYPSUM BOARD ON STUDS.
 23. ALL INTERIOR HALLS TO BE 1/2" GYPSUM BOARD ON STUDS.
 24. ALL INTERIOR CLOSETS TO BE 1/2" GYPSUM BOARD ON STUDS.
 25. ALL INTERIOR STORAGE AREAS TO BE 1/2" GYPSUM BOARD ON STUDS.
 26. ALL INTERIOR ENTRY AREAS TO BE 1/2" GYPSUM BOARD ON STUDS.
 27. ALL INTERIOR PORCHES TO BE 1/2" GYPSUM BOARD ON STUDS.
 28. ALL INTERIOR PATIOS TO BE 1/2" GYPSUM BOARD ON STUDS.
 29. ALL INTERIOR DECKS TO BE 1/2" GYPSUM BOARD ON STUDS.
 30. ALL INTERIOR STAIRS TO BE 1/2" GYPSUM BOARD ON JOISTS.

- FINISH PLAN SET NOTES:**
1. SEE ALL NOTES ON SHEETS A-112.01 THROUGH A-112.04.
 2. ALL FINISHES TO BE AS SHOWN ON SHEETS A-112.01 THROUGH A-112.04.
 3. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
 4. ALL WALLS TO BE 1/2" GYPSUM BOARD ON STUDS.
 5. ALL CEILING TO BE 5/8" GYPSUM BOARD ON JOISTS.
 6. ALL FLOORS TO BE 1 1/2" CONCRETE ON 4" GRAVEL ON COMPACTED SUBGRADE.
 7. ALL EXTERIOR WALLS TO BE 8" CMU WITH 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR.
 8. ALL EXTERIOR ROOFING TO BE 2" POLYURETHANE FOAM INSULATION ON 2x12 RAFTERS WITH 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR.
 9. ALL EXTERIOR WINDOWS TO BE 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR.
 10. ALL EXTERIOR DOORS TO BE 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR.
 11. ALL INTERIOR WALLS TO BE 1/2" GYPSUM BOARD ON STUDS.
 12. ALL INTERIOR CEILING TO BE 5/8" GYPSUM BOARD ON JOISTS.
 13. ALL INTERIOR FLOORS TO BE 1 1/2" CONCRETE ON 4" GRAVEL ON COMPACTED SUBGRADE.
 14. ALL INTERIOR ROOFING TO BE 2" POLYURETHANE FOAM INSULATION ON 2x12 RAFTERS WITH 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR.
 15. ALL INTERIOR WINDOWS TO BE 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR.
 16. ALL INTERIOR DOORS TO BE 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR.
 17. ALL INTERIOR PARTITIONS TO BE 1/2" GYPSUM BOARD ON STUDS.
 18. ALL INTERIOR STAIRS TO BE 1/2" GYPSUM BOARD ON JOISTS.
 19. ALL INTERIOR BATHS TO BE 1/2" GYPSUM BOARD ON STUDS.
 20. ALL INTERIOR KITCHENS TO BE 1/2" GYPSUM BOARD ON STUDS.
 21. ALL INTERIOR LIVING AREAS TO BE 1/2" GYPSUM BOARD ON STUDS.
 22. ALL INTERIOR BEDROOMS TO BE 1/2" GYPSUM BOARD ON STUDS.
 23. ALL INTERIOR HALLS TO BE 1/2" GYPSUM BOARD ON STUDS.
 24. ALL INTERIOR CLOSETS TO BE 1/2" GYPSUM BOARD ON STUDS.
 25. ALL INTERIOR STORAGE AREAS TO BE 1/2" GYPSUM BOARD ON STUDS.
 26. ALL INTERIOR ENTRY AREAS TO BE 1/2" GYPSUM BOARD ON STUDS.
 27. ALL INTERIOR PORCHES TO BE 1/2" GYPSUM BOARD ON STUDS.
 28. ALL INTERIOR PATIOS TO BE 1/2" GYPSUM BOARD ON STUDS.
 29. ALL INTERIOR DECKS TO BE 1/2" GYPSUM BOARD ON STUDS.
 30. ALL INTERIOR STAIRS TO BE 1/2" GYPSUM BOARD ON JOISTS.

- FINISH LEGEND:**
- 1. 1/2" GYPSUM BOARD ON STUDS
 - 2. 5/8" GYPSUM BOARD ON JOISTS
 - 3. 1 1/2" CONCRETE ON 4" GRAVEL ON COMPACTED SUBGRADE
 - 4. 8" CMU WITH 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR
 - 5. 2" POLYURETHANE FOAM INSULATION ON 2x12 RAFTERS WITH 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR
 - 6. 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR
 - 7. 1/2" GYPSUM BOARD ON STUDS
 - 8. 5/8" GYPSUM BOARD ON JOISTS
 - 9. 1 1/2" CONCRETE ON 4" GRAVEL ON COMPACTED SUBGRADE
 - 10. 8" CMU WITH 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR
 - 11. 2" POLYURETHANE FOAM INSULATION ON 2x12 RAFTERS WITH 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR
 - 12. 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR
 - 13. 1/2" GYPSUM BOARD ON STUDS
 - 14. 5/8" GYPSUM BOARD ON JOISTS
 - 15. 1 1/2" CONCRETE ON 4" GRAVEL ON COMPACTED SUBGRADE
 - 16. 8" CMU WITH 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR
 - 17. 2" POLYURETHANE FOAM INSULATION ON 2x12 RAFTERS WITH 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR
 - 18. 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR
 - 19. 1/2" GYPSUM BOARD ON STUDS
 - 20. 5/8" GYPSUM BOARD ON JOISTS
 - 21. 1 1/2" CONCRETE ON 4" GRAVEL ON COMPACTED SUBGRADE
 - 22. 8" CMU WITH 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR
 - 23. 2" POLYURETHANE FOAM INSULATION ON 2x12 RAFTERS WITH 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR
 - 24. 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR
 - 25. 1/2" GYPSUM BOARD ON STUDS
 - 26. 5/8" GYPSUM BOARD ON JOISTS
 - 27. 1 1/2" CONCRETE ON 4" GRAVEL ON COMPACTED SUBGRADE
 - 28. 8" CMU WITH 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR
 - 29. 2" POLYURETHANE FOAM INSULATION ON 2x12 RAFTERS WITH 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR
 - 30. 1/2" GYPSUM BOARD ON INTERIOR AND EXTERIOR



UNIT A1-THIRD FLOOR PLAN 3

UNIT A1-SECOND FLOOR PLAN 2

UNIT A1-FIRST FLOOR PLAN 1

- GENERAL FLOOR PLAN NOTES**
1. SEE GENERAL NOTES
 2. ALL DIMENSIONS ARE IN FEET AND INCHES
 3. FINISH FLOOR IS 1" ABOVE FINISH GRADE
 4. FINISH CEILING IS 8'-0" ABOVE FINISH GRADE
 5. FINISH WALL IS 8'-0" ABOVE FINISH GRADE
 6. FINISH STAIR IS 8'-0" ABOVE FINISH GRADE
 7. FINISH ROOF IS 12'-0" ABOVE FINISH GRADE
 8. FINISH GROUND IS 0'-0" ABOVE FINISH GRADE
 9. FINISH DRIVEWAY IS 0'-0" ABOVE FINISH GRADE
 10. FINISH PATIO IS 0'-0" ABOVE FINISH GRADE
 11. FINISH PORCH IS 0'-0" ABOVE FINISH GRADE
 12. FINISH TERRACE IS 0'-0" ABOVE FINISH GRADE
 13. FINISH BALCONY IS 0'-0" ABOVE FINISH GRADE
 14. FINISH DECK IS 0'-0" ABOVE FINISH GRADE
 15. FINISH WALKWAY IS 0'-0" ABOVE FINISH GRADE
 16. FINISH DRIVEWAY IS 0'-0" ABOVE FINISH GRADE
 17. FINISH PATIO IS 0'-0" ABOVE FINISH GRADE
 18. FINISH PORCH IS 0'-0" ABOVE FINISH GRADE
 19. FINISH TERRACE IS 0'-0" ABOVE FINISH GRADE
 20. FINISH BALCONY IS 0'-0" ABOVE FINISH GRADE
 21. FINISH DECK IS 0'-0" ABOVE FINISH GRADE
 22. FINISH WALKWAY IS 0'-0" ABOVE FINISH GRADE
 23. FINISH DRIVEWAY IS 0'-0" ABOVE FINISH GRADE
 24. FINISH PATIO IS 0'-0" ABOVE FINISH GRADE
 25. FINISH PORCH IS 0'-0" ABOVE FINISH GRADE
 26. FINISH TERRACE IS 0'-0" ABOVE FINISH GRADE
 27. FINISH BALCONY IS 0'-0" ABOVE FINISH GRADE
 28. FINISH DECK IS 0'-0" ABOVE FINISH GRADE
 29. FINISH WALKWAY IS 0'-0" ABOVE FINISH GRADE
 30. FINISH DRIVEWAY IS 0'-0" ABOVE FINISH GRADE
 31. FINISH PATIO IS 0'-0" ABOVE FINISH GRADE
 32. FINISH PORCH IS 0'-0" ABOVE FINISH GRADE
 33. FINISH TERRACE IS 0'-0" ABOVE FINISH GRADE
 34. FINISH BALCONY IS 0'-0" ABOVE FINISH GRADE
 35. FINISH DECK IS 0'-0" ABOVE FINISH GRADE
 36. FINISH WALKWAY IS 0'-0" ABOVE FINISH GRADE
 37. FINISH DRIVEWAY IS 0'-0" ABOVE FINISH GRADE
 38. FINISH PATIO IS 0'-0" ABOVE FINISH GRADE
 39. FINISH PORCH IS 0'-0" ABOVE FINISH GRADE
 40. FINISH TERRACE IS 0'-0" ABOVE FINISH GRADE
 41. FINISH BALCONY IS 0'-0" ABOVE FINISH GRADE
 42. FINISH DECK IS 0'-0" ABOVE FINISH GRADE
 43. FINISH WALKWAY IS 0'-0" ABOVE FINISH GRADE
 44. FINISH DRIVEWAY IS 0'-0" ABOVE FINISH GRADE
 45. FINISH PATIO IS 0'-0" ABOVE FINISH GRADE
 46. FINISH PORCH IS 0'-0" ABOVE FINISH GRADE
 47. FINISH TERRACE IS 0'-0" ABOVE FINISH GRADE
 48. FINISH BALCONY IS 0'-0" ABOVE FINISH GRADE
 49. FINISH DECK IS 0'-0" ABOVE FINISH GRADE
 50. FINISH WALKWAY IS 0'-0" ABOVE FINISH GRADE

BATH 201H-SOUTH
8
A-420



BATH 303F-SOUTH
10
A-420



LAUNDRY-WEST
11
A-420



BATH 303I-WEST
9
A-420



KITCHEN-EAST
4
A-420



KITCHEN-SOUTH
5
A-420



KITCHEN-WEST
6
A-420



POWDER-WEST
7
A-420



BEDROOM-13
303D

BEDROOM-14
303E

CL. 303A

CL. 303B

CL. 303C

CL. 303D

CL. 303E

CL. 303F

CL. 303G

CL. 303H

CL. 303I

CL. 303J

CL. 303K

BEDROOM-13
303D

BEDROOM-14
303E

CL. 303A

CL. 303B

CL. 303C

CL. 303D

CL. 303E

CL. 303F

CL. 303G

CL. 303H

CL. 303I

CL. 303J

CL. 303K

CL. 303L

CL. 303M

CL. 303N

CL. 303O

BEDROOM-13
303D

BEDROOM-14
303E

CL. 303A

CL. 303B

CL. 303C

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BEDROOM-13
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BEDROOM-13
303D

BEDROOM-14
303E

CL. 303A

CL. 303B

CL. 303C

CL. 303D

CL. 303E

CL. 303F

CL. 303G

CL. 303H

CL. 303I

CL. 303J

CL. 303K

CL. 303L

CL. 303M

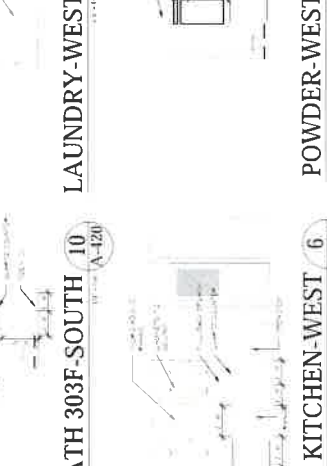
CL. 303N

CL. 303O

UNIT A2-THIRD FLOOR PLAN 3
A-420



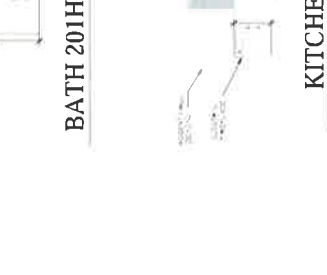
UNIT A2-SECOND FLOOR PLAN 2
A-420



UNIT A2-FIRST FLOOR PLAN 1
A-420



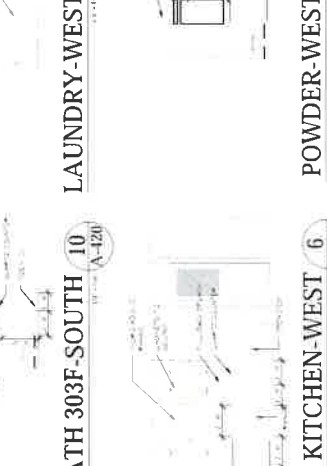
UNIT A2-THIRD FLOOR PLAN 3
A-420



UNIT A2-THIRD FLOOR PLAN 3
A-420



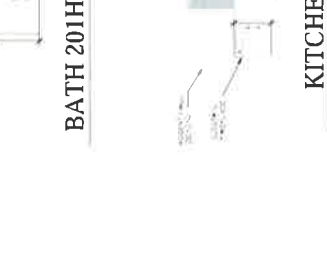
UNIT A2-SECOND FLOOR PLAN 2
A-420



UNIT A2-FIRST FLOOR PLAN 1
A-420

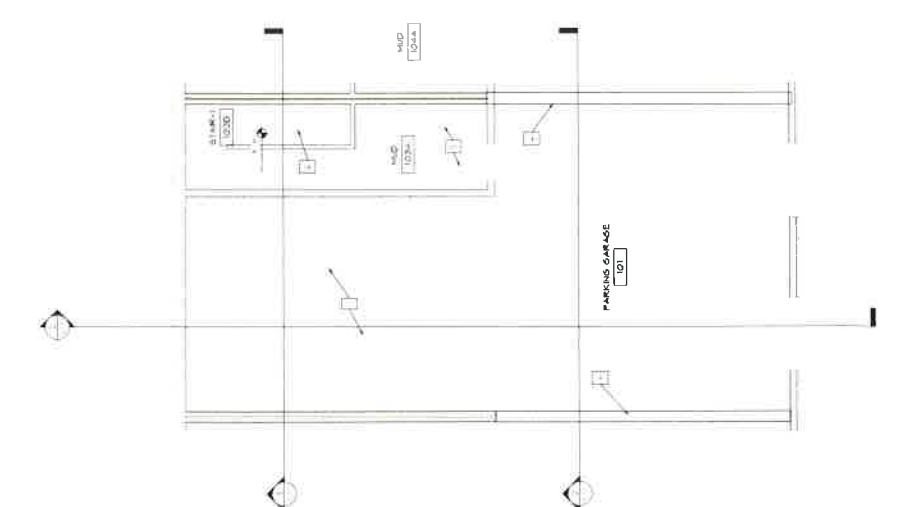
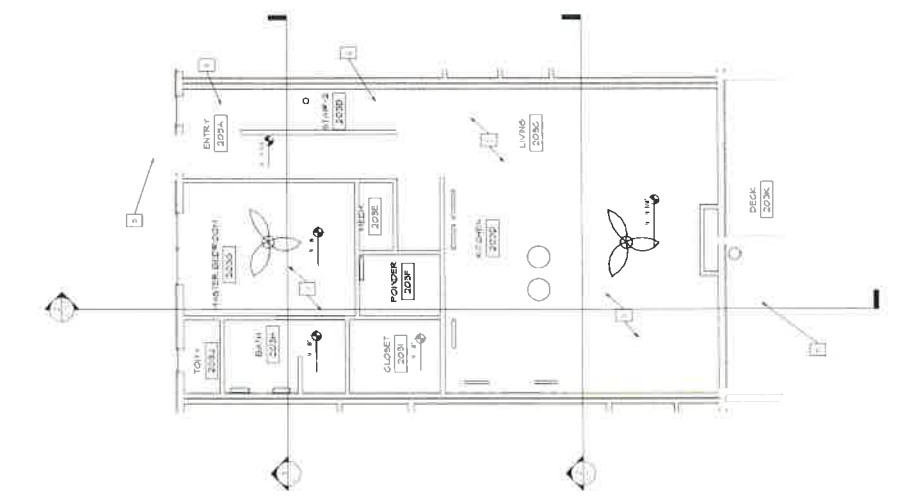
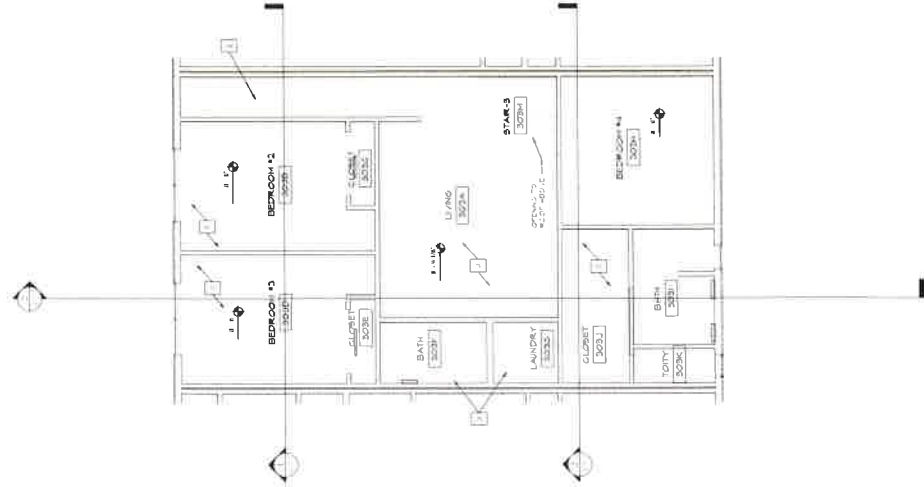


UNIT A2-THIRD FLOOR PLAN 3
A-420



- GENERAL NOTES REFLECTED SEEING PLAN:**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DURANGO, COLORADO, ORDINANCES AND SPECIFICATIONS.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DURANGO, COLORADO, ORDINANCES AND SPECIFICATIONS.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DURANGO, COLORADO, ORDINANCES AND SPECIFICATIONS.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DURANGO, COLORADO, ORDINANCES AND SPECIFICATIONS.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DURANGO, COLORADO, ORDINANCES AND SPECIFICATIONS.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DURANGO, COLORADO, ORDINANCES AND SPECIFICATIONS.
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DURANGO, COLORADO, ORDINANCES AND SPECIFICATIONS.
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DURANGO, COLORADO, ORDINANCES AND SPECIFICATIONS.
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DURANGO, COLORADO, ORDINANCES AND SPECIFICATIONS.
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DURANGO, COLORADO, ORDINANCES AND SPECIFICATIONS.

- REFLECTED SEEING PLAN NOTES:**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DURANGO, COLORADO, ORDINANCES AND SPECIFICATIONS.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DURANGO, COLORADO, ORDINANCES AND SPECIFICATIONS.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DURANGO, COLORADO, ORDINANCES AND SPECIFICATIONS.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DURANGO, COLORADO, ORDINANCES AND SPECIFICATIONS.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DURANGO, COLORADO, ORDINANCES AND SPECIFICATIONS.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DURANGO, COLORADO, ORDINANCES AND SPECIFICATIONS.
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DURANGO, COLORADO, ORDINANCES AND SPECIFICATIONS.
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DURANGO, COLORADO, ORDINANCES AND SPECIFICATIONS.
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DURANGO, COLORADO, ORDINANCES AND SPECIFICATIONS.
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DURANGO, COLORADO, ORDINANCES AND SPECIFICATIONS.



UNIT A2-THIRD FLOOR RCP
UNIT A-421

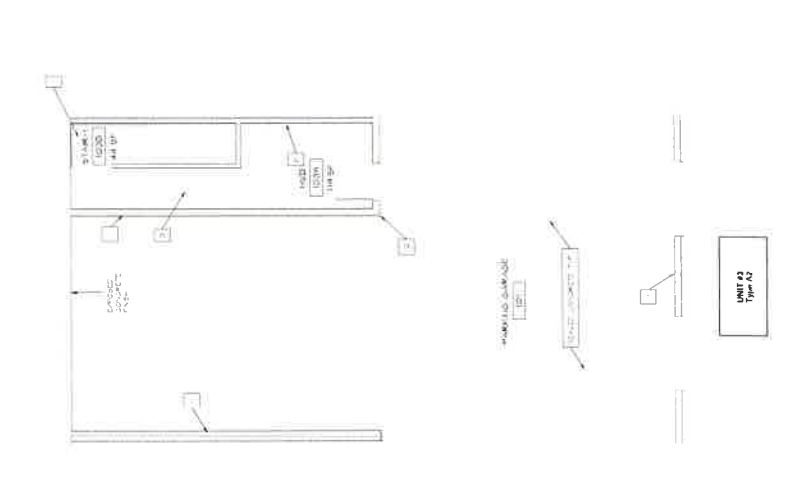
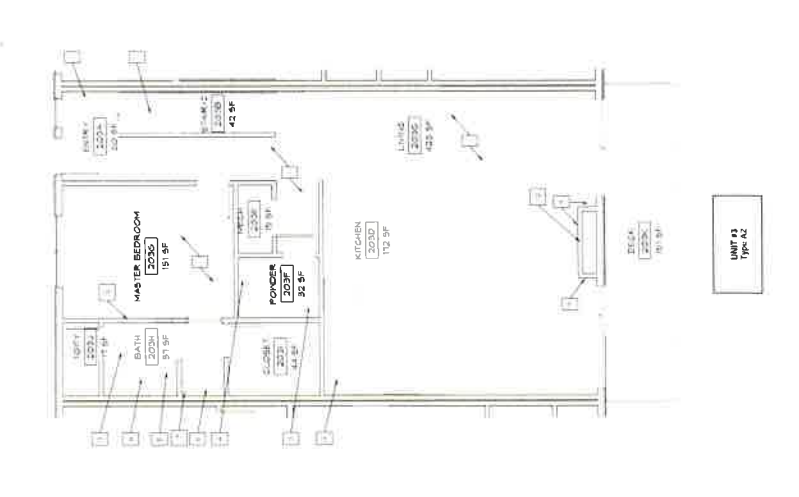
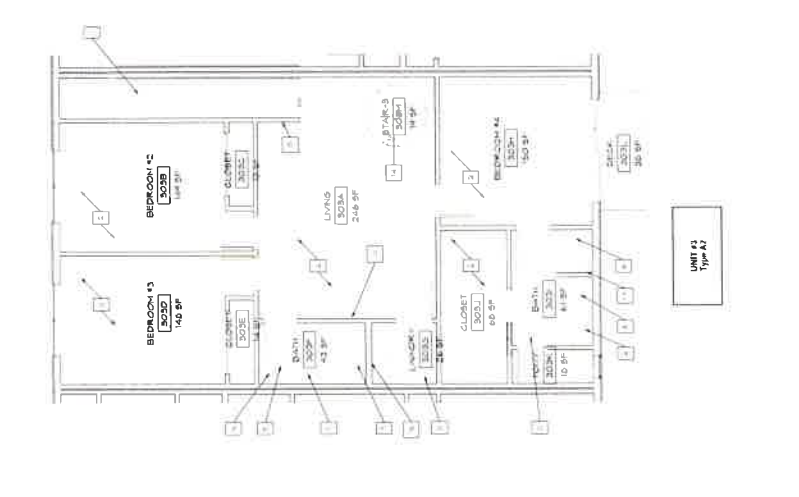
UNIT A2-SECOND FLOOR RCP
UNIT A-421

UNIT A2 FIRST FLOOR RCP
UNIT A-421

- GENERAL FLOOR PLAN NOTES**
1. SEE GENERAL NOTES TO THESE PLANS.
 2. ALL FINISHES TO BE AS SHOWN ON THESE PLANS.
 3. ALL WORK TO BE ACCORDING TO THE 2018 IBC AND 2018 IRC.
 4. ALL WORK TO BE ACCORDING TO THE 2018 IBC AND 2018 IRC.
 5. ALL WORK TO BE ACCORDING TO THE 2018 IBC AND 2018 IRC.
 6. ALL WORK TO BE ACCORDING TO THE 2018 IBC AND 2018 IRC.
 7. ALL WORK TO BE ACCORDING TO THE 2018 IBC AND 2018 IRC.
 8. ALL WORK TO BE ACCORDING TO THE 2018 IBC AND 2018 IRC.
 9. ALL WORK TO BE ACCORDING TO THE 2018 IBC AND 2018 IRC.
 10. ALL WORK TO BE ACCORDING TO THE 2018 IBC AND 2018 IRC.

- FINISH KEY NOTES**
- 1. WALL: 1/2" GYP BOARD
 - 2. FLOOR: 1/2" GYP BOARD
 - 3. CEILING: 5/8" GYP BOARD
 - 4. DOOR: 1 3/4" SOLID CORE
 - 5. WINDOW: 1 3/4" SOLID CORE
 - 6. CABINET: 1 1/2" GYP BOARD
 - 7. SINK: 1/2" GYP BOARD
 - 8. STOVE: 1/2" GYP BOARD
 - 9. REFR: 1/2" GYP BOARD
 - 10. DISHWASHER: 1/2" GYP BOARD
 - 11. COUNTERTOP: 1/2" GYP BOARD
 - 12. BACKSPLASH: 1/2" GYP BOARD
 - 13. TILE: 1/2" GYP BOARD
 - 14. GROUT: 1/2" GYP BOARD
 - 15. PAINT: 1/2" GYP BOARD
 - 16. FLOORING: 1/2" GYP BOARD
 - 17. WALLPAPER: 1/2" GYP BOARD
 - 18. GLASS: 1/2" GYP BOARD
 - 19. MIRROR: 1/2" GYP BOARD
 - 20. CASE: 1/2" GYP BOARD

- FINISH LEGEND**
- 1. WALL: 1/2" GYP BOARD
 - 2. FLOOR: 1/2" GYP BOARD
 - 3. CEILING: 5/8" GYP BOARD
 - 4. DOOR: 1 3/4" SOLID CORE
 - 5. WINDOW: 1 3/4" SOLID CORE
 - 6. CABINET: 1 1/2" GYP BOARD
 - 7. SINK: 1/2" GYP BOARD
 - 8. STOVE: 1/2" GYP BOARD
 - 9. REFR: 1/2" GYP BOARD
 - 10. DISHWASHER: 1/2" GYP BOARD
 - 11. COUNTERTOP: 1/2" GYP BOARD
 - 12. BACKSPLASH: 1/2" GYP BOARD
 - 13. TILE: 1/2" GYP BOARD
 - 14. GROUT: 1/2" GYP BOARD
 - 15. PAINT: 1/2" GYP BOARD
 - 16. FLOORING: 1/2" GYP BOARD
 - 17. WALLPAPER: 1/2" GYP BOARD
 - 18. GLASS: 1/2" GYP BOARD
 - 19. MIRROR: 1/2" GYP BOARD
 - 20. CASE: 1/2" GYP BOARD



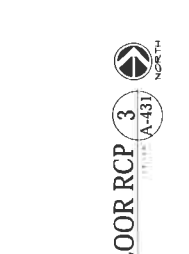
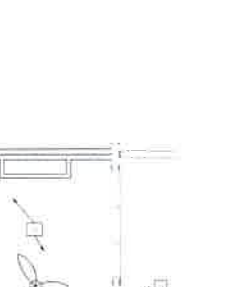
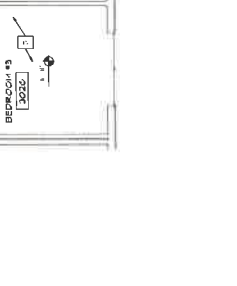
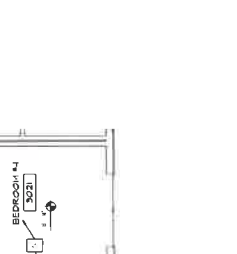
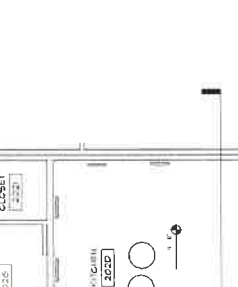
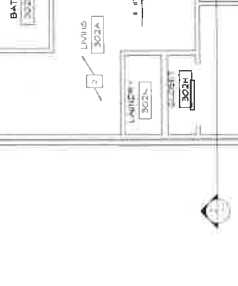
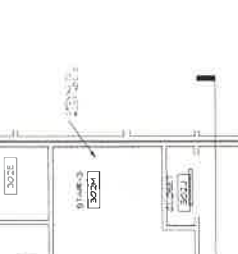
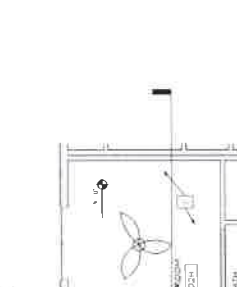
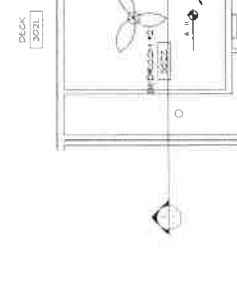
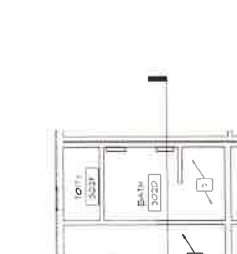
UNIT A2-THIRD FLOOR PLAN 3
 NORTH

UNIT A2-SECOND FLOOR PLAN 2
 NORTH

UNIT A2-FIRST FLOOR PLAN 1
 NORTH

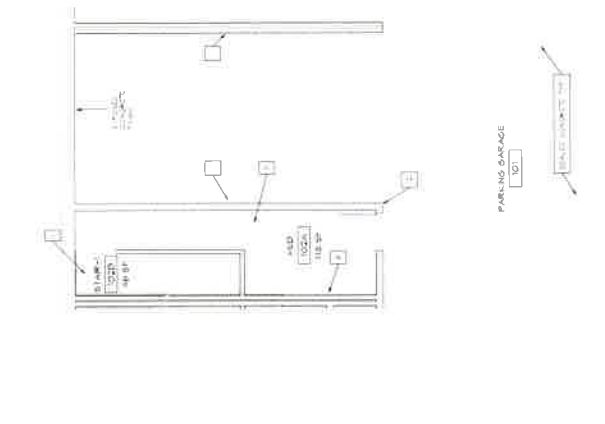
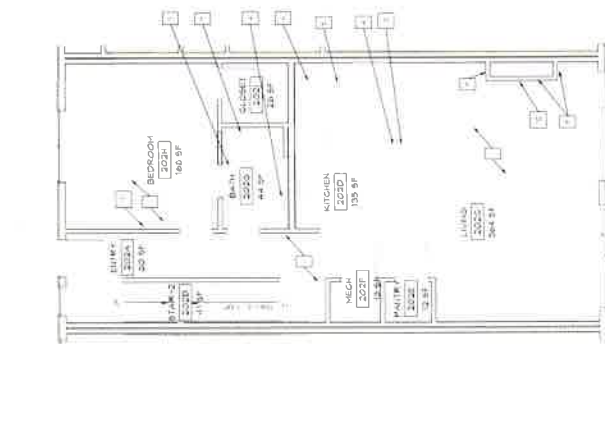
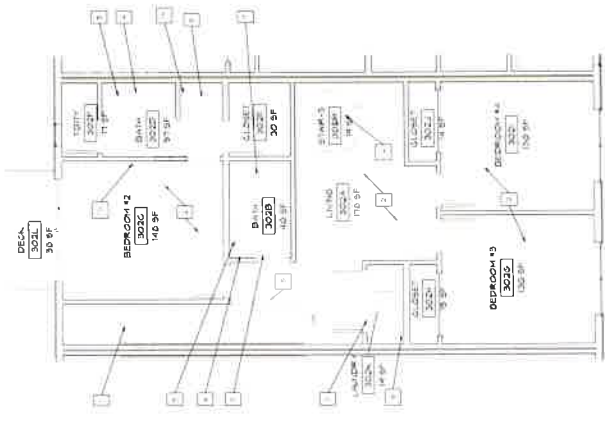
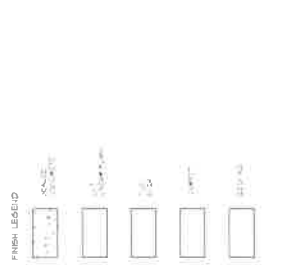
- REVISIONS:**
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- REVISIONS TO CEILING PLAN REMOVED:**
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 9. REVISIONS TO CEILING PLAN REMOVED
 10. REVISIONS TO CEILING PLAN REMOVED



- GENERAL FLOOR FINISHES**
1. FLOORING: SEE FINISH SCHEDULE
 2. WALLS: SEE FINISH SCHEDULE
 3. CEILING: SEE FINISH SCHEDULE
 4. EXTERIOR: SEE FINISH SCHEDULE
 5. INTERIOR: SEE FINISH SCHEDULE
 6. PAINT: SEE FINISH SCHEDULE
 7. TILE: SEE FINISH SCHEDULE
 8. CARPET: SEE FINISH SCHEDULE
 9. GRANITE: SEE FINISH SCHEDULE
 10. STAINLESS STEEL: SEE FINISH SCHEDULE
 11. BRASS: SEE FINISH SCHEDULE
 12. ALUMINUM: SEE FINISH SCHEDULE
 13. GLASS: SEE FINISH SCHEDULE
 14. WOOD: SEE FINISH SCHEDULE
 15. CONCRETE: SEE FINISH SCHEDULE
 16. GYPSUM BOARD: SEE FINISH SCHEDULE
 17. PLASTER: SEE FINISH SCHEDULE
 18. BRICK: SEE FINISH SCHEDULE
 19. BLOCK: SEE FINISH SCHEDULE
 20. CMU: SEE FINISH SCHEDULE

- FLOOR PLAN KEY NOTES**
1. ALL FINISHES TO BE IN ACCORDANCE WITH THE FINISH SCHEDULE.
 2. ALL WALLS TO BE FINISHED TO THE FINISH SCHEDULE.
 3. ALL CEILING TO BE FINISHED TO THE FINISH SCHEDULE.
 4. ALL EXTERIOR FINISHES TO BE IN ACCORDANCE WITH THE FINISH SCHEDULE.
 5. ALL INTERIOR FINISHES TO BE IN ACCORDANCE WITH THE FINISH SCHEDULE.
 6. ALL PAINT TO BE IN ACCORDANCE WITH THE FINISH SCHEDULE.
 7. ALL TILE TO BE IN ACCORDANCE WITH THE FINISH SCHEDULE.
 8. ALL CARPET TO BE IN ACCORDANCE WITH THE FINISH SCHEDULE.
 9. ALL GRANITE TO BE IN ACCORDANCE WITH THE FINISH SCHEDULE.
 10. ALL STAINLESS STEEL TO BE IN ACCORDANCE WITH THE FINISH SCHEDULE.
 11. ALL BRASS TO BE IN ACCORDANCE WITH THE FINISH SCHEDULE.
 12. ALL ALUMINUM TO BE IN ACCORDANCE WITH THE FINISH SCHEDULE.
 13. ALL GLASS TO BE IN ACCORDANCE WITH THE FINISH SCHEDULE.
 14. ALL WOOD TO BE IN ACCORDANCE WITH THE FINISH SCHEDULE.
 15. ALL CONCRETE TO BE IN ACCORDANCE WITH THE FINISH SCHEDULE.
 16. ALL GYPSUM BOARD TO BE IN ACCORDANCE WITH THE FINISH SCHEDULE.
 17. ALL PLASTER TO BE IN ACCORDANCE WITH THE FINISH SCHEDULE.
 18. ALL BRICK TO BE IN ACCORDANCE WITH THE FINISH SCHEDULE.
 19. ALL BLOCK TO BE IN ACCORDANCE WITH THE FINISH SCHEDULE.
 20. ALL CMU TO BE IN ACCORDANCE WITH THE FINISH SCHEDULE.



UNIT B1-THIRD FLOOR PLAN 3
A-432
NORTH

UNIT B1-SECOND FLOOR PLAN 2
A-432
NORTH

UNIT B1-FIRST FLOOR PLAN 1
A-432
NORTH

- GENERAL NOTES:**
1. ALL CEILING REFLECTED CEILING PLAN.
 2. ALL CEILING REFLECTED CEILING PLAN.
 3. ALL CEILING REFLECTED CEILING PLAN.
 4. ALL CEILING REFLECTED CEILING PLAN.
 5. ALL CEILING REFLECTED CEILING PLAN.
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 7. ALL CEILING REFLECTED CEILING PLAN.
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 10. ALL CEILING REFLECTED CEILING PLAN.



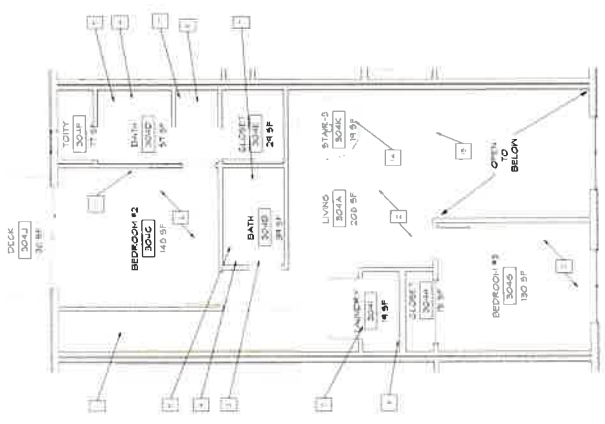
UNIT B2-FIRST FLOOR RCP **1**
 UNIT B2-SECOND FLOOR RCP **2**
 UNIT B2-THIRD FLOOR RCP **3**
 NORTH

UNIT B2-FIRST FLOOR RCP **1**
 UNIT B2-SECOND FLOOR RCP **2**
 UNIT B2-THIRD FLOOR RCP **3**
 NORTH

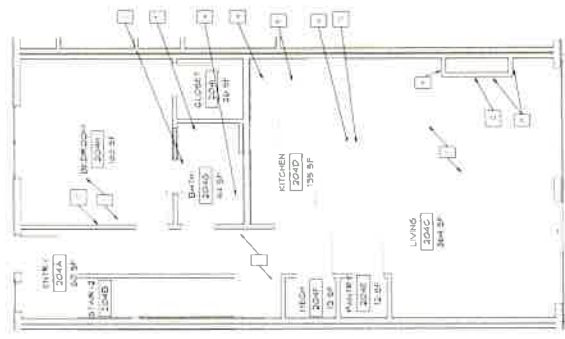
UNIT B2-FIRST FLOOR RCP **1**
 UNIT B2-SECOND FLOOR RCP **2**
 UNIT B2-THIRD FLOOR RCP **3**
 NORTH

- GENERAL FLOOR PLAN NOTES**
1. SEE GENERAL NOTES.
 2. ALL FINISHES TO BE IN ACCORDANCE WITH THE SPECIFICATIONS.
 3. ALL WALLS TO BE 5/8" CMU WITH INTERIOR FINISHES.
 4. ALL CEILING TO BE 5/8" CMU WITH INTERIOR FINISHES.
 5. ALL FLOORS TO BE 4" CONCRETE WITH INTERIOR FINISHES.
 6. ALL DOORS TO BE 1-3/4" MINIMUM THICKNESS.
 7. ALL WINDOWS TO BE 2" MINIMUM THICKNESS.
 8. ALL EXTERIOR WALLS TO BE 8" MINIMUM THICKNESS.
 9. ALL EXTERIOR ROOFS TO BE 4" MINIMUM THICKNESS.
 10. ALL EXTERIOR FLOORS TO BE 4" MINIMUM THICKNESS.
 11. ALL EXTERIOR WALLS TO BE 8" MINIMUM THICKNESS.
 12. ALL EXTERIOR ROOFS TO BE 4" MINIMUM THICKNESS.
 13. ALL EXTERIOR FLOORS TO BE 4" MINIMUM THICKNESS.
 14. ALL EXTERIOR WALLS TO BE 8" MINIMUM THICKNESS.
 15. ALL EXTERIOR ROOFS TO BE 4" MINIMUM THICKNESS.
 16. ALL EXTERIOR FLOORS TO BE 4" MINIMUM THICKNESS.
 17. ALL EXTERIOR WALLS TO BE 8" MINIMUM THICKNESS.
 18. ALL EXTERIOR ROOFS TO BE 4" MINIMUM THICKNESS.
 19. ALL EXTERIOR FLOORS TO BE 4" MINIMUM THICKNESS.
 20. ALL EXTERIOR WALLS TO BE 8" MINIMUM THICKNESS.
 21. ALL EXTERIOR ROOFS TO BE 4" MINIMUM THICKNESS.
 22. ALL EXTERIOR FLOORS TO BE 4" MINIMUM THICKNESS.
 23. ALL EXTERIOR WALLS TO BE 8" MINIMUM THICKNESS.
 24. ALL EXTERIOR ROOFS TO BE 4" MINIMUM THICKNESS.
 25. ALL EXTERIOR FLOORS TO BE 4" MINIMUM THICKNESS.

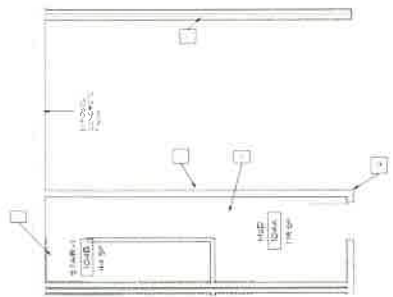
- FASH PLAN KEY NOTES**
1. FINISH: [Symbol] = [Finish Name]
 2. FINISH: [Symbol] = [Finish Name]
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 5. FINISH: [Symbol] = [Finish Name]
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UNIT A8
Type B2



UNIT A8
Type B2



UNIT A2
Type B2

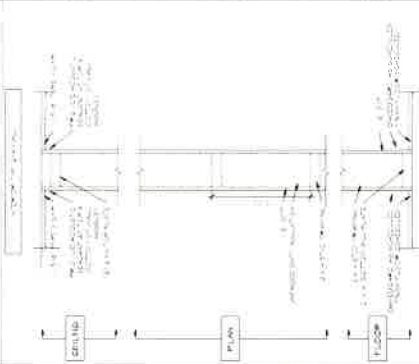
UNIT B2-THIRD FLOOR PLAN 3
A-442
NORTH

UNIT B2-SECOND FLOOR PLAN 2
A-442
NORTH

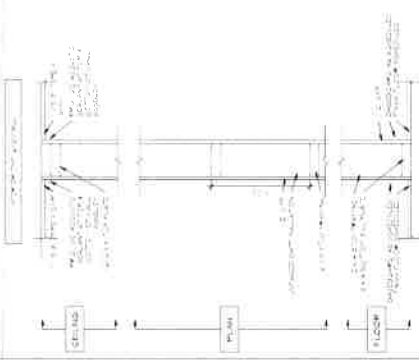
UNIT B2-FIRST FLOOR PLAN 1
A-442
NORTH

WALL TYPES

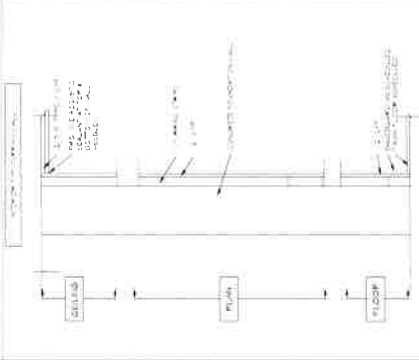
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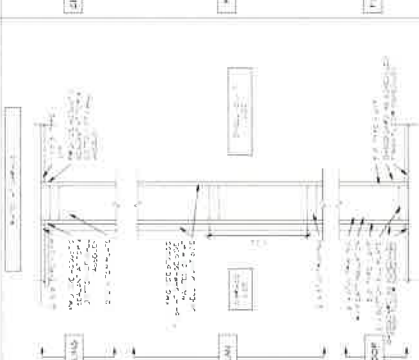
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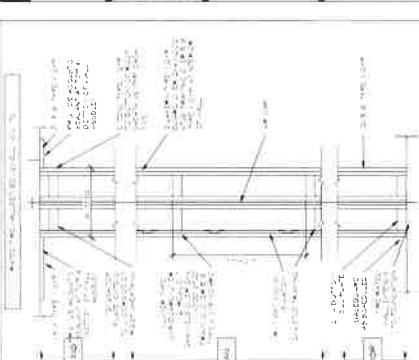
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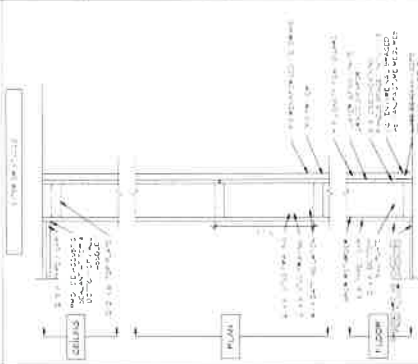
D-1HR



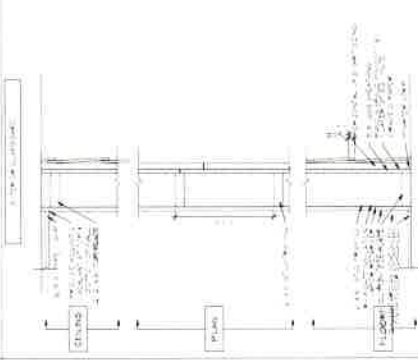
E-2HR



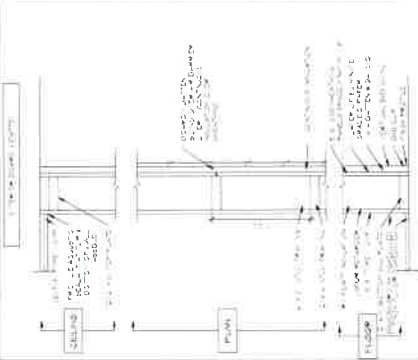
F-EXT



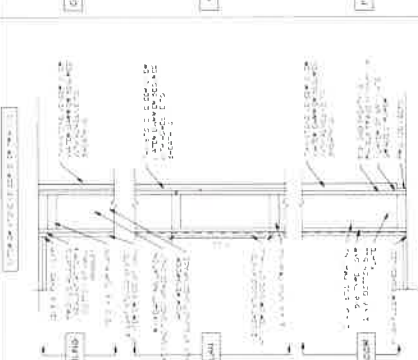
G-EXT



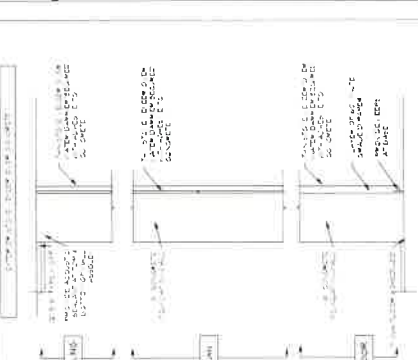
H-EXT



I-EXT



J-EXT



PROJECT:	1000000000
DATE:	08/25/2024
DESIGNER:	1000000000
DATE REVISION:	08/25/2024
REVISION:	1000000000
DATE:	08/25/2024
REVISION:	1000000000
DATE:	08/25/2024
REVISION:	1000000000



REYNOLDS ASH + ASSOCIATES
ARCHITECTURE
ENGINEERING

1000000000
1000000000
1000000000

PROJECT NAME

CASCADE VILLAGE TOWNHOMES
N Highway 550 Durango, CO 81301

WALL TYPES			
K-EXT	L-NR	M-NR	N-NR
<p>CEILING FLOOR</p>	<p>CEILING FLOOR</p>	<p>CEILING FLOOR</p>	<p>CEILING FLOOR</p>

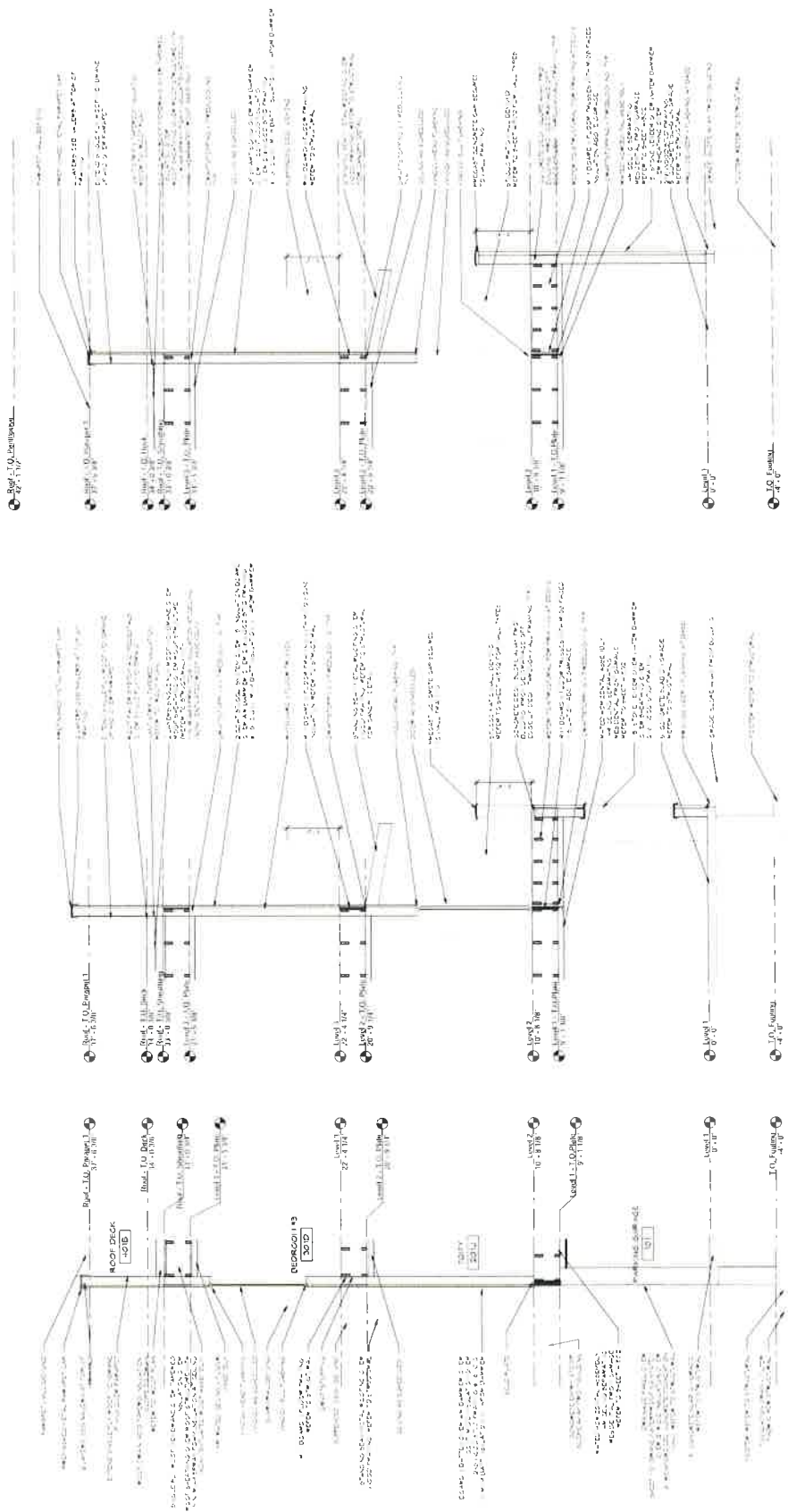
FLOOR TYPES			
FA1-1HR	FA2-NR	FA3	DA1
<p>CEILING FLOOR</p>	<p>CEILING FLOOR</p>	<p>CEILING FLOOR</p>	<p>CEILING FLOOR</p>

NOTES:
 1. ALL WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD OVER STUDS.
 2. ALL FLOORS TO BE FINISHED WITH 1/2" GYPSUM BOARD OVER JOISTS.
 3. ALL WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD OVER STUDS.
 4. ALL FLOORS TO BE FINISHED WITH 1/2" GYPSUM BOARD OVER JOISTS.
 5. ALL WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD OVER STUDS.
 6. ALL FLOORS TO BE FINISHED WITH 1/2" GYPSUM BOARD OVER JOISTS.

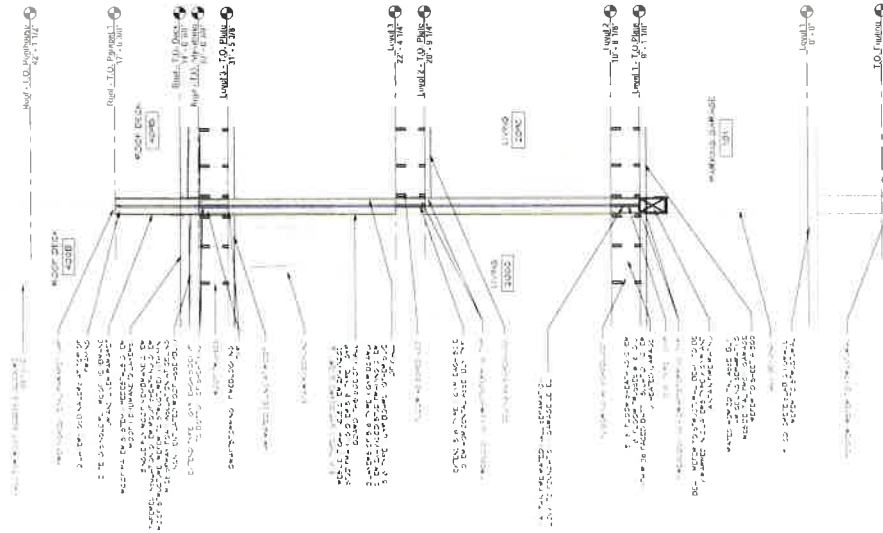
WALL SECTION - BOARD +
BATTEN

WALL SECTION - STUCCO 2
A-601

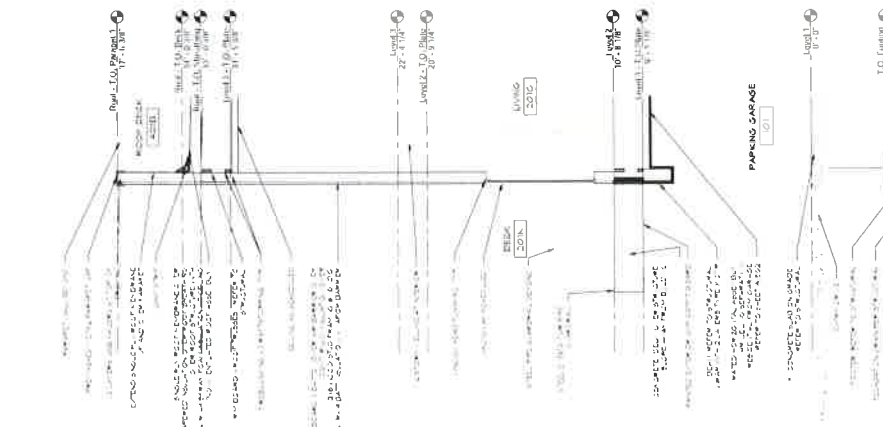
WALL SECTION - CLAPBOARD 3
A-601



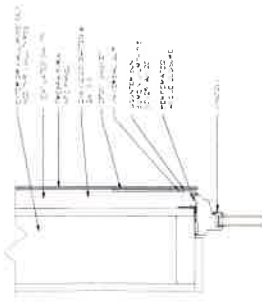
WALL SECTION - BOARD +
BATTEN 1
A-601



WALL SECTION - 2 HR RATED WALL 2



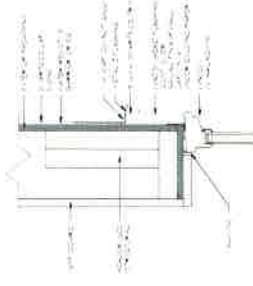
WALL SECTION - SOUTH WALL 1



B+B-WINDOW HEAD (13)
A-801



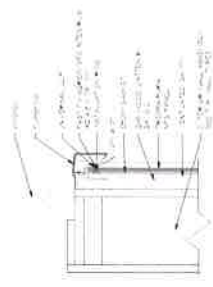
STUCCO WINDOW HEAD (9)
A-801



CLAPBOARD-WINDOW HEAD (4)
A-801



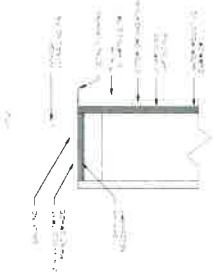
STONE-OPENING HEAD (1)
A-801



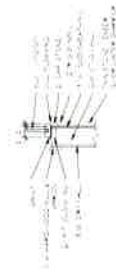
B+B-WINDOW SILL (14)
A-801



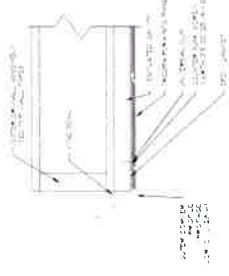
STUCCO DETAILS SILL (10)
A-801



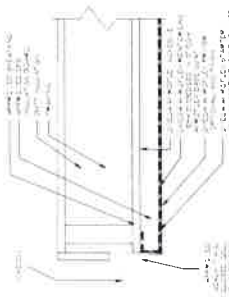
CLAPBOARD-WINDOW SILL (5)
A-801



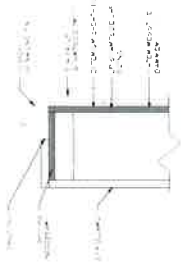
STONE-OPENING SILL (2)
A-801



B+B WINDOW JAMB (15)
A-801



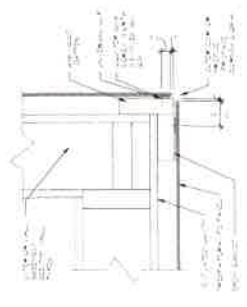
STUCCO WINDOW JAMB (11)
A-801



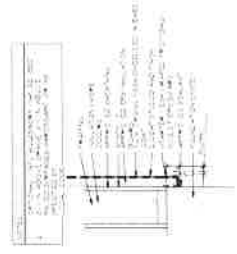
CLAPBOARD-WINDOW JAMB (7)
A-801



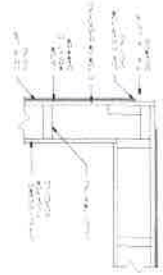
STONE-OPENING JAMB (3)
A-801



B+B-OUTER CORNER (16)
A-801



STUCCO - AT GRADE (12)
A-801



CLAPBOARD-OUTER CORNER (8)
A-801

Colorado Title & Closing Services - Durango
 970 Main Ave
 Durango, CO 81301
 (970) 247-5464

File Number: SJ22106042
 Loan Amount: \$650,000.00
 Close Date: 12/22/2021
 Disbursement Date: 12/22/2021

BORROWER(S) CLOSING STATEMENT

Type: **Refinance**
 Property: **50827, TBD HIGHWAY 550
 DURANGO, CO 81301 (SAN JUAN)**

Borrower(s): **MOREHEAD PROPERTY ONE, LLC, A NORTH CAROLINA LIMITED LIABILITY
 COMPANY**

Lender: **BREEZE INVESTMENTS, LLC, AN OKLAHOMA LIMITED LIABILITY COMPANY**

Description	Debit	Credit
New Loans		
Loan Amount		\$650,000.00
Title Charges		
Title - Lender's Title Insurance to Colorado Title & Closing Services - Durango	\$1,051.00	
Title - Bundled Loan Closing Fee to Colorado Title & Closing Services - Durango	\$300.00	
Government Recording and Transfer Charges		
Mortgage \$43.00	\$43.00	
Additional Settlement Charges		
Legal Services to ALBRIGHT, RUSHER & HARDCASTLE	\$3,631.40	
Totals	\$5,025.40	\$650,000.00

Balance Due TO Borrower: \$644,974.60

APPROVED AND ACCEPTED

BORROWER(S)

MOREHEAD PROPERTY ONE, LLC, A NORTH CAROLINA LIMITED LIABILITY
 COMPANY

BY: 
 MICHAEL MILLER, MANAGER

1 IF THIS FORM IS USED IN A CONSUMER CREDIT TRANSACTION, CONSULT LEGAL COUNSEL.
2 THIS IS A LEGAL INSTRUMENT. IF NOT UNDERSTOOD, LEGAL, TAX OR OTHER COUNSEL SHOULD BE CONSULTED
3 BEFORE SIGNING.
4

5 **DEED OF TRUST**
6 (Due on Transfer – Strict)
7

8 THIS DEED OF TRUST is made this 17th day of December, 2021, between Morehead Property One, LLC (Borrower), whose
9 address is 1355 Greenwood Cliff, Suite 150, Charlotte, NC 28204; and the Public Trustee of the County in which the Property
10 (see § 1) is situated (Trustee); for the benefit of Breeze Investments, L.L.C. (Lender), whose address is 7170 South Braden,
11 Suite 200, Tulsa, OK 74136.
12

13 Borrower and Lender covenant and agree as follows:

14 1. **Property in Trust.** Borrower, in consideration of the indebtedness herein recited and the trust herein created, hereby
15 grants and conveys to Trustee in trust, with power of sale, the following legally described property located in the County of San
16 Juan, State of Colorado:

17 See Exhibit A attached hereto
18
19

20 together with all its appurtenances (Property).

21 2. **Note: Other Obligations Secured.** This Deed of Trust is given to secure to Lender:

22 2.1. the repayment of the indebtedness evidenced by a promissory note dated December 17, 2021 with Borrower
23 and Citisculpt-Colorado, LLC collectively as the Maker, payable to Lender (Note) in the principal sum of Six Hundred Fifty
24 Thousand and 00/100 Dollars (U.S. \$650,000.00), with interest on the unpaid principal balance from December 17, 2021 until paid,
25 at the rate of eight percent (8%) per annum, with principal and interest payable at 7170 South Braden, Suite 200, Tulsa, OK
26 74136, or such other place as Lender may designate, in monthly installments of accrued interest, due on the 17th day of each
27 month beginning January 17, 2022; such payments to continue until the entire indebtedness evidenced by said Note is fully
28 paid; however, if not sooner paid, the entire principal amount outstanding and accrued interest thereon shall be due and payable
29 on June 17, 2022; and Borrower is to pay to Lender interest as the default rate of fifteen percent (15%) per annum if there is an
30 event of default; and Borrower has the right to prepay the principal amount outstanding under said Note, in whole or in part, at any
31 time without penalty;

32 2.2. the payment of all other sums, with interest thereon at eight percent (8%) per annum, disbursed by Lender in
33 accordance with this Deed of Trust to protect the security of this Deed of Trust; and

34 2.3. the performance of the covenants and agreements of Borrower herein contained.

35 3. **Title.** Borrower covenants that Borrower owns and has the right to grant and convey the Property, and warrants title
36 to the same, subject to general real estate taxes for the current year, easements of record or in existence, and recorded
37 declarations, restrictions, reservations and covenants, if any, as of this date.

38 4. **Payment of Principal and Interest.** Borrower shall promptly pay when due the principal of and interest on the
39 indebtedness evidenced by the Note, and shall perform all of Borrower's other covenants contained in the Note.

40 5. **Application of Payments.** All payments received by Lender under the terms hereof shall be applied by Lender first
41 to amounts disbursed by Lender pursuant to § 9 (Protection of Lender's Security), and the balance in accordance with the terms
42 and conditions of the Note.

43 6. **Prior Mortgages and Deeds of Trust; Charges; Liens.** Borrower shall perform all of Borrower's obligations under
44 any prior deed of trust and any other prior liens. Borrower shall pay all taxes, assessments and other charges, fines and
45 impositions attributable to the Property which may have or attain a priority over this Deed of Trust, and leasehold payments or
46 ground rents, if any, in the manner set out in § 23 (Escrow Funds for Taxes and Insurance) or, if not required to be paid in such
47 manner, by Borrower making payment when due, directly to the payee thereof. Despite the foregoing, Borrower shall not be
48 required to make payments otherwise required by this section if Borrower, after notice to Lender, shall in good faith contest
49 such obligation by, or defend enforcement of such obligation in, legal proceedings which operate to prevent the enforcement of
50 the obligation or forfeiture of the Property or any part thereof, only upon Borrower making all such contested payments and
51 other payments as ordered by the court to the registry of the court in which such proceedings are filed.

52 7. **Property Insurance.** Borrower shall keep the improvements now existing or hereafter erected on the Property
53 insured against loss by fire or hazards included within the term "extended coverage" in an amount at least equal to the lesser of
54 (a) the insurable value of the Property or (b) an amount sufficient to pay the sums secured by this Deed of Trust as well as any
55 prior encumbrances on the Property. All of the foregoing shall be known as "Property Insurance."

56 The insurance carrier providing the insurance shall be qualified to write Property Insurance in Colorado and shall be chosen
 57 by Borrower subject to Lender's right to reject the chosen carrier for reasonable cause. All insurance policies and renewals
 58 thereof shall include a standard mortgage clause in favor of Lender, and shall provide that the insurance carrier shall notify
 59 Lender at least ten (10) days before cancellation, termination or any material change of coverage. Insurance policies shall be
 60 furnished to Lender at or before closing. Lender shall have the right to hold the policies and renewals thereof.

61 In the event of loss, Borrower shall give prompt notice to the insurance carrier and Lender. Lender may make proof of loss
 62 if not made promptly by Borrower.

63 Insurance proceeds shall be applied to restoration or repair of the Property damaged, provided said restoration or repair is
 64 economically feasible and the security of this Deed of Trust is not thereby impaired. If such restoration or repair is not
 65 economically feasible or if the security of this Deed of Trust would be impaired, the insurance proceeds shall be applied to the
 66 sums secured by this Deed of Trust, with the excess, if any, paid to Borrower. If the Property is abandoned by Borrower, or if
 67 Borrower fails to respond to Lender within 30 days from the date notice is given in accordance with § 16 (Notice) by Lender to
 68 Borrower that the insurance carrier offers to settle a claim for insurance benefits, Lender is authorized to collect and apply the
 69 insurance proceeds, at Lender's option, either to restoration or repair of the Property or to the sums secured by this Deed of
 70 Trust.

71 Any such application of proceeds to principal shall not extend or postpone the due date of the installments referred to in
 72 §§ 4 (Payment of Principal and Interest) or change the amount of such installments. Notwithstanding anything herein to the
 73 contrary, if under § 18 (Acceleration; Foreclosure; Other Remedies) the Property is acquired by Lender, all right, title and
 74 interest of Borrower in and to any insurance policies and in and to the proceeds thereof resulting from damage to the Property
 75 prior to the sale or acquisition shall pass to Lender to the extent of the sums secured by this Deed of Trust immediately prior to
 76 such sale or acquisition.

77 All of the rights of Borrower and Lender hereunder with respect to insurance carriers, insurance policies and insurance
 78 proceeds are subject to the rights of any holder of a prior deed of trust with respect to said insurance carriers, policies and proceeds.

79 **8. Preservation and Maintenance of Property.** Borrower shall keep the Property in good repair and shall not commit
 80 waste or permit impairment or deterioration of the Property and shall comply with the provisions of any lease if this Deed of
 81 Trust is on a leasehold. Borrower shall perform all of Borrower's obligations under any declarations, covenants, by-laws, rules,
 82 or other documents governing the use, ownership or occupancy of the Property.

83 **9. Protection of Lender's Security.** Except when Borrower has exercised Borrower's rights under § 6 above, if
 84 Borrower fails to perform the covenants and agreements contained in this Deed of Trust, or if a default occurs in a prior lien, or
 85 if any action or proceeding is commenced which materially affects Lender's interest in the Property, then Lender, at Lender's
 86 option, with notice to Borrower if required by law, may make such appearances, disburse such sums and take such action as is
 87 necessary to protect Lender's interest, including, but not limited to:

88 9.1. any general or special taxes or ditch or water assessments levied or accruing against the Property;

89 9.2. the premiums on any insurance necessary to protect any improvements comprising a part of the Property;

90 9.3. sums due on any prior lien or encumbrance on the Property;

91 9.4. if the Property is a leasehold or is subject to a lease, all sums due under such lease;

92 9.5. the reasonable costs and expenses of defending, protecting, and maintaining the Property and Lender's interest
 93 in the Property, including repair and maintenance costs and expenses, costs and expenses of protecting and securing the
 94 Property, receiver's fees and expenses, inspection fees, appraisal fees, court costs, attorney fees and costs, and fees and costs of
 95 an attorney in the employment of Lender or holder of the certificate of purchase;

96 9.6. all other costs and expenses allowable by the evidence of debt or this Deed of Trust; and

97 9.7. such other costs and expenses which may be authorized by a court of competent jurisdiction.

98 Borrower hereby assigns to Lender any right Borrower may have by reason of any prior encumbrance on the Property or by
 99 law or otherwise to cure any default under said prior encumbrance.

100 Any amounts disbursed by Lender pursuant to this § 9, with interest thereon, shall become additional indebtedness of
 101 Borrower secured by this Deed of Trust. Such amounts shall be payable upon notice from Lender to Borrower requesting payment
 102 thereof, and Lender may bring suit to collect any amounts so disbursed plus interest specified in § 2.2 (Note: Other Obligations
 103 Secured). Nothing contained in this § 9 shall require Lender to incur any expense or take any action hereunder.

104 **10. Inspection.** Lender may make or cause to be made reasonable entries upon and inspection of the Property, provided
 105 that Lender shall give Borrower notice prior to any such inspection specifying reasonable cause therefore related to Lender's
 106 interest in the Property.

107 **11. Condemnation.** The proceeds of any award or claim for damages, direct or consequential, in connection with any
 108 condemnation or other taking of the Property, or part thereof, or for conveyance in lieu of condemnation, are hereby assigned
 109 and shall be paid to Lender as herein provided. However, all of the rights of Borrower and Lender hereunder with respect to
 110 such proceeds are subject to the rights of any holder of a prior deed of trust.

111 In the event of a total taking of the Property, the proceeds shall be applied to the sums secured by this Deed of Trust, with
 112 the excess, if any, paid to Borrower. In the event of a partial taking of the Property, the proceeds remaining after taking out any
 113 part of the award due any prior lien holder (net award) shall be divided between Lender and Borrower, in the same ratio as the
 114 amount of the sums secured by this Deed of Trust immediately prior to the date of taking bears to Borrower's equity in the
 115 Property immediately prior to the date of taking. Borrower's equity in the Property means the fair market value of the Property
 116 less the amount of sums secured by both this Deed of Trust and all prior liens (except taxes) that are to receive any of the award,
 117 all at the value immediately prior to the date of taking.

118 If the Property is abandoned by Borrower or if, after notice by Lender to Borrower that the condemnor offers to make an
 119 award or settle a claim for damages, Borrower fails to respond to Lender within 30 days after the date such notice is given,
 120 Lender is authorized to collect and apply the proceeds, at Lender's option, either to restoration or repair of the Property or to the
 121 sums secured by this Deed of Trust.

122 Any such application of proceeds to principal shall not extend or postpone the due date of the installments referred to in
 123 §§ 4 (Payment of Principal and Interest) and 23 (Escrow Funds for Taxes and Insurance) nor change the amount of such
 124 installments.

125 **12. Borrower not Released.** Extension of the time for payment or modification of amortization of the sums secured by this
 126 Deed of Trust granted by Lender to any successor in interest of Borrower shall not operate to release, in any manner, the liability of
 127 the original Borrower, nor Borrower's successors in interest, from the original terms of this Deed of Trust. Lender shall not be
 128 required to commence proceedings against such successor or refuse to extend time for payment or otherwise modify amortization
 129 of the sums secured by this Deed of Trust by reason of any demand made by the original Borrower nor Borrower's successors in
 130 interest.

131 **13. Forbearance by Lender Not a Waiver.** Any forbearance by Lender in exercising any right or remedy hereunder, or
 132 otherwise afforded by law, shall not be a waiver or preclude the exercise of any such right or remedy.

133 **14. Remedies Cumulative.** Each remedy provided in the Note and this Deed of Trust is distinct from and cumulative to
 134 all other rights or remedies under the Note and this Deed of Trust or afforded by law or equity, and may be exercised
 135 concurrently, independently or successively.

136 **15. Successors and Assigns Bound; Joint and Several Liability; Captions.** The covenants and agreements herein
 137 contained shall bind, and the rights hereunder shall inure to, the respective successors and assigns of Lender and Borrower,
 138 subject to the provisions of § 24 (Transfer of the Property; Assumption). All covenants and agreements of Borrower shall be
 139 joint and several. The captions and headings of the sections in this Deed of Trust are for convenience only and are not to be used
 140 to interpret or define the provisions hereof.

141 **16. Notice.** Except for any notice required by law to be given in another manner, (a) any notice to Borrower provided for
 142 in this Deed of Trust shall be in writing and shall be given and be effective upon (1) delivery to Borrower or (2) mailing such
 143 notice by first class U.S. mail, addressed to Borrower at Borrower's address stated herein or at such other address as Borrower
 144 may designate by notice to Lender as provided herein, and (b) any notice to Lender shall be in writing and shall be given and be
 145 effective upon (1) delivery to Lender or (2) mailing such notice by first class U.S. mail, to Lender's address stated herein or to
 146 such other address as Lender may designate by notice to Borrower as provided herein. Any notice provided for in this Deed of
 147 Trust shall be deemed to have been given to Borrower or Lender when given in any manner designated herein.

148 **17. Governing Law; Severability.** The Note and this Deed of Trust shall be governed by the law of Colorado. In the
 149 event that any provision or clause of this Deed of Trust or the Note conflicts with the law, such conflict shall not affect other
 150 provisions of this Deed of Trust or the Note which can be given effect without the conflicting provision, and to this end the
 151 provisions of the Deed of Trust and Note are declared to be severable.

152 **18. Acceleration; Foreclosure; Other Remedies.** Except as provided in § 24 (Transfer of the Property; Assumption),
 153 upon Borrower's breach of any covenant or agreement of Borrower in this Deed of Trust, or upon any default in a prior lien
 154 upon the Property, (unless Borrower has exercised Borrower's rights under § 6 above), at Lender's option, all of the sums
 155 secured by this Deed of Trust shall be immediately due and payable (Acceleration). To exercise this option, Lender may invoke
 156 the power of sale and any other remedies permitted by law. Lender shall be entitled to collect all reasonable costs and expenses
 157 incurred in pursuing the remedies provided in this Deed of Trust, including, but not limited to, reasonable attorney's fees.

158 If Lender invokes the power of sale, Lender shall give written notice to Trustee of such election. Trustee shall give such
 159 notice to Borrower of Borrower's rights as is provided by law. Trustee shall record a copy of such notice and shall cause
 160 publication of the legal notice as required by law in a legal newspaper of general circulation in each county in which the
 161 Property is situated, and shall mail copies of such notice of sale to Borrower and other persons as prescribed by law. After the
 162 lapse of such time as may be required by law, Trustee, without demand on Borrower, shall sell the Property at public auction to
 163 the highest bidder for cash at the time and place (which may be on the Property, or any part thereof as permitted by law) in one
 164 or more parcels as Trustee may think best and in such order as Trustee may determine. Lender or Lender's designee may
 165 purchase the Property at any sale. It shall not be obligatory upon the purchaser at any such sale to see to the application of the
 166 purchase money.

167 Trustee shall apply the proceeds of the sale in the following order: (a) to all reasonable costs and expenses of the sale,
 168 including, but not limited to, reasonable Trustee's and attorney's fees and costs of title evidence; (b) to all sums secured by this
 169 Deed of Trust; and (c) the excess, if any, to the person or persons legally entitled thereto.

170 **19. Borrower's Right to Cure Default.** Whenever foreclosure is commenced for nonpayment of any sums due
 171 hereunder, the owners of the Property or parties liable hereon shall be entitled to cure said defaults by paying all delinquent
 172 principal and interest payments due as of the date of cure, costs, expenses, late charges, attorney's fees and other fees all in the
 173 manner provided by law. Upon such payment, this Deed of Trust and the obligations secured hereby shall remain in full force
 174 and effect as though no Acceleration had occurred, and the foreclosure proceedings shall be discontinued.

175 **20. Assignment of Rents; Appointment of Receiver; Lender in Possession.** As additional security hereunder,
 176 Borrower hereby assigns to Lender the rents of the Property; however, Borrower shall, prior to Acceleration under § 18
 177 (Acceleration; Foreclosure; Other Remedies) or abandonment of the Property, have the right to collect and retain such rents as
 178 they become due and payable.

179 Lender or the holder of the Trustee's certificate of purchase shall be entitled to a receiver for the Property after Acceleration
 180 under § 18 (Acceleration; Foreclosure; Other Remedies), and shall also be so entitled during the time covered by foreclosure
 181 proceedings and the period of redemption, if any; and shall be entitled thereto as a matter of right without regard to the solvency or
 182 insolvency of Borrower or of the then owner of the Property, and without regard to the value thereof. Such receiver may be
 183 appointed by any Court of competent jurisdiction upon ex parte application and without notice; notice being hereby expressly
 184 waived.

185 Upon Acceleration under § 18 (Acceleration; Foreclosure; Other Remedies) or abandonment of the Property, Lender, in
 186 person, by agent or by judicially-appointed receiver, shall be entitled to enter upon, take possession of and manage the Property
 187 and to collect the rents of the Property including those past due. All rents collected by Lender or the receiver shall be applied,
 188 first to payment of the costs of preservation and management of the Property, second to payments due upon prior liens, and then
 189 to the sums secured by this Deed of Trust. Lender and the receiver shall be liable to account only for those rents actually
 190 received.

191 **21. Release.** Upon payment of all sums secured by this Deed of Trust, Lender shall cause Trustee to release this Deed of
 192 Trust and shall produce for Trustee the Note. Borrower shall pay all costs of recordation and shall pay the statutory Trustee's
 193 fees. If Lender shall not produce the Note as aforesaid, then Lender, upon notice in accordance with § 16 (Notice) from
 194 Borrower to Lender, shall obtain, at Lender's expense, and file any lost instrument bond required by Trustee or pay the cost
 195 thereof to affect the release of this Deed of Trust.

196 **22. Waiver of Exemptions.** Borrower hereby waives all right of homestead and any other exemption in the Property
 197 under state or federal law presently existing or hereafter enacted.

198 **23. Intentionally Omitted.**

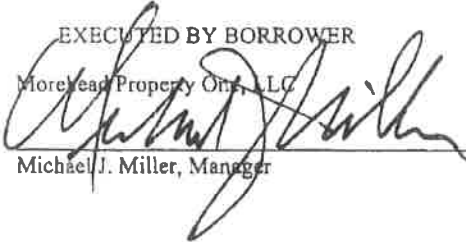
199 **24. Transfer of the Property; Assumption.** The following events shall be referred to herein as a "Transfer": (i) a
 200 transfer or conveyance of title (or any portion thereof, legal or equitable) of the Property (or any part thereof or interest therein);
 201 (ii) the execution of a contract or agreement creating a right to title (or any portion thereof, legal or equitable) in the Property (or
 202 any part thereof or interest therein); (iii) or an agreement granting a possessory right in the Property (or any portion thereof), in
 203 excess of 3 years; (iv) a sale or transfer of, or the execution of a contract or agreement creating a right to acquire or receive,
 204 more than fifty percent (50%) of the controlling interest or more than fifty percent (50%) of the beneficial interest in Borrower
 205 and (v) the reorganization, liquidation or dissolution of Borrower. Not to be included as a Transfer are (x) the creation of a lien
 206 or encumbrance subordinate to this Deed of Trust; (y) the creation of a purchase money security interest for household
 207 appliances; or (z) a transfer by devise, descent or by operation of the law upon the death of a joint tenant. At the election of
 208 Lender, in the event of each and every Transfer:

209 **24.1.** All sums secured by this Deed of Trust shall become immediately due and payable (Acceleration).

210 **24.2.** If a Transfer occurs and should Lender not exercise Lender's option pursuant to this § 24 to Accelerate,
 211 Transferee shall be deemed to have assumed all of the obligations of Borrower under this Deed of Trust including all sums
 212 secured hereby whether or not the instrument evidencing such conveyance, contract or grant expressly so provides. This
 213 covenant shall run with the Property and remain in full force and effect until said sums are paid in full. Lender may without
 214 notice to Borrower deal with Transferee in the same manner as with Borrower with reference to said sums including the
 215 payment or credit to Transferee of undisbursed reserve Funds on payment in full of said sums, without in any way altering or
 216 discharging Borrower's liability hereunder for the obligations hereby secured.

217 **24.3.** Should Lender not elect to Accelerate upon the occurrence of such Transfer then, subject to § 24.2 above, the
 218 mere fact of a lapse of time or the acceptance of payment subsequent to any of such events, whether or not Lender had actual or
 219 constructive notice of such Transfer, shall not be deemed a waiver of Lender's right to make such election nor shall Lender be
 220 estopped therefrom by virtue thereof. The issuance on behalf of Lender of a routine statement showing the status of the loan,
 221 whether or not Lender had actual or constructive notice of such Transfer, shall not be a waiver or estoppel of Lender's said
 222 rights.


223 25. Borrower's Copy. Borrower acknowledges receipt of a copy of the Note and this Deed of Trust.
224
225
226

EXECUTED BY BORROWER
Morehead Property One, LLC

Michael J. Miller, Manager

STATE OF NORTH CAROLINA
COUNTY OF MECKLENBURG

The foregoing instrument was acknowledged before me this 17th day of December, 2021,
by Michael J. Miller as Manager of Morehead Property One, LLC.



Witness my hand and official seal.
My commission expires: 10/13/2026

Notary Public

227

EXHIBIT A

TRACT I:

A tract of land being in the SE1/4SW1/4 of Section 12, Township 39 North, Range 9 West, N.M.P.M., and the E1/2NW1/4 of Section 13, Township 39 North, Range 9 West, N.M.P.M., in San Juan County, Colorado:

BEGINNING at the Northeast corner of the E1/2NW1/4 of said Section 13 whence the Northeast corner of said Section 13 bears North 89° 42' 00" East, 2836.37 feet:

Thence South 00° 04' 46" East, 1112.74 feet along the East line of the E1/2NW1/4 of said Section 13 to the Easterly right of way of U.S. Highway 550;

" North 19° 00' 00" West, 884.26 feet along the Easterly right of way of U.S. Highway 550;

" North 02° 38' 00" West, 117.14 feet along the Easterly right of way of U.S. Highway 550;

" along the arc of a curve to the right with a delta angle of 09° 48' 40" and a radius of 2766.00 feet for a distance of 473.64 feet (the long chord bears North 11° 29' 48" West, 473.06 feet) along the Easterly right of way of U.S. Highway 550;

" North 20° 29' 00" West, 140.13 feet along the Easterly right of way of U.S. Highway 550;

" North 04° 08' 00" West, 108.30 feet along the Easterly right of way of U.S. Highway 550;

" North 12° 59' 00" West, 106.20 feet along the Easterly right of way of U.S. Highway 550;

" North 16° 59' 00" West, 106.20 feet along the Easterly right of way of U.S. Highway 550;

" North 20° 59' 00" West, 106.20 feet along the Easterly right of way of U.S. Highway 550;

" North 24° 52' 00" West, 99.10 feet along the Easterly right of way of U.S. Highway 550;

" North 26° 45' 00" West, 70.70 feet along the Easterly right of way of U.S. Highway 550;

" North 26° 05' 00" West, 100.00 feet along the Easterly right of way of U.S. Highway 550;

" North 20° 24' 00" West, 100.00 feet along the Easterly right of way of U.S. Highway 550;

" North 10° 35' 00" West, 80.00 feet along the Easterly right of way of U.S. Highway 550;

" North 02° 52' 00" West, 47.00 feet along the Easterly right of way of U.S. Highway 550;

" North 06° 51' 00" East, 46.90 feet along the Easterly right of way of U.S. Highway 550;

" North 17° 10' 00" West, 3.00 feet along the Easterly right of way of U.S. Highway 550 to the North line of the SE1/4SW1/4 of said Section 12;

" North 89° 42' 30" East, 457.19 feet along the North line of the SE1/4SW1/4 of said Section 12 to the Westerly right of way of U.S. Highway 550;

" South 36° 47' 47" East, 95.06 feet along the Westerly right of way of U.S. Highway 550;

" South 34° 11' 00" East, 115.60 feet along the Westerly right of way of U.S. Highway 550;

" along the arc of a curve to the left with a delta angle of 09° 57' 56" and a radius of 1021.00 feet for a distance of 177.88 feet along the Westerly right of way of U.S. Highway 550 to the East line of the SE1/4SW1/4 of said Section 12;

" South 00° 10' 06" East 1019.80 feet along the East line of the SE1/4SW1/4 of said Section 12 to the point of beginning.

LESS AND EXCEPT a tract of land located in the SE1/4SW1/4 of Section 12, Township 39 North, Range 9 West, N.M.P.M., in San Juan County, Colorado, more particularly described as follows:

BEGINNING at a point on the Easterly line of said SE1/4SW1/4 whence the Southeast corner of said Section 12 bears South 81° 41' 16" East, 2665.81 feet;

Thence South 89° 54' 04" West, 420.13 feet to the Easterly right of way of U.S. Highway 550;

Thence North 20° 29' 00" West, 39.24 feet along the Easterly right of way of U.S. Highway 550;

" North 4° 08' 00" West, 108.30 feet along the Easterly right of way of U.S. Highway 550;

" North 12° 59' 00" West, 106.20 feet along the Easterly right of way of U.S. Highway 550;

" North 16° 59' 00" West, 106.20 feet along the Easterly right of way of U.S. Highway 550;

" North 20° 59' 00" West, 91.46 feet along the Easterly right of way of U.S. Highway 550;

" North 89° 51' 32" East, 827.51 feet to the Easterly line of said SE1/4SW1/4;

" South 0° 10' 06" East, 433.86 feet along the Easterly line of said SE1/4SW1/4 to the point of beginning.

(LEGAL DESCRIPTION FOR TRACT I, CONTINUED)

NOTE: The above described Tract is commonly known as Tracts "C", "E" and "G" on the Cascade Village Amended Master Plan according to the plat thereof filed for record February 12, 1996 as Reception No. 137955.

TRACT II:

That portion of the SE1/4SW1/4 of Section 12, the E1/2NW1/4 and NE1/4SW1/4 Section 13, Township 39 North, Range 9 West, N.M.P.M., San Juan County, Colorado, lying and being Westerly of the Westerly right of way of U.S. Highway 550 and Southerly of the following:

- Cascade Village Phase I Plat recorded May 7, 1981 in Book 222 at Pages 125, 126 and 127.
- The Twilight Meadow Subdivision at Cascade Village Plat recorded August 6, 1988 in Book 230 at Page 388.
- First Amendment of the Resubdivision of the Twilight Meadow Subdivision at Cascade Village Plat recorded June 10, 1994 in Book 243 at Pages 110 and 111.
- The Twilight Meadow Subdivision Phase II at Cascade Village Final Plat recorded July 27, 1999 under Reception No. 140023.

NOTE: The above described tract is commonly known as Tracts "A-1" and "B-1" of the Cascade Village Amended Master Plan according to the plat thereof filed for record February 12, 1996 as Reception No. 137955.

TRACT III:

A tract of land located in the SE1/4SW1/4 of Section 12, Township 39 North, Range 9 West, N.M.P.M., in San Juan County, Colorado, more particularly described as follows:

BEGINNING at a point on the Easterly line of said SE1/4SW1/4 whence the Southeast corner of said Section 12 bears South 81° 41' 16" East, 2666.61 feet;

- Thence South 89° 54' 04" West, 420.13 feet to the Easterly right of way of U.S. Highway 550;
- " North 20° 29' 00" West, 39.24 feet along the Easterly right of way of U.S. Highway 550;
- " North 4° 08' 00" West, 108.30 feet along the Easterly right of way of U.S. Highway 550;
- " North 12° 59' 00" West, 105.20 feet along the Easterly right of way of U.S. Highway 550;
- " North 18° 59' 00" West, 105.20 feet along the Easterly right of way of U.S. Highway 550;
- " North 20° 59' 00" West, 91.45 feet along the Easterly right of way of U.S. Highway 550;
- " North 89° 51' 32" East, 827.61 feet to the Easterly line of said SE1/4SW1/4;
- " South 0° 10' 06" East, 433.86 feet along the Easterly line of said SE1/4SW1/4 to the point of beginning.

NOTE: The above described Tract is commonly known as Tract "F" on the Cascade Village Amended Master Plan according to the plat thereof filed for record February 12, 1996 as Reception No. 137955.

TRACT IV

Parcels 1, 2 and 3, CASCADE VILLAGE PHASE 1-A according to the plat thereof filed for record October 16, 1984 in Book 227 at Pages 798 and 799.

David Mars
SW W stew ter Se vic Inc.
1424 CR 223
Du ngo, CO 8130
5/ 7/ 0

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Ci iS lp
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847 9 5 46

De Ni K s:

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S i e e l y

D v i d M s
O R C



1435 West Morehead Street
Suite 130
Charlotte, NC 28208
704.362.2400

Claude and all,

To everyone at or owning property at Cascade Village, Happy New Years.

Late last year, after a few years of investigation CitiSculpt Colorado bought the remaining assets of Cascade Village and Grizzly Peak Investments from Mr. Jim Bush.

CitiSculpt Colorado is a fairly new entity, however the parent company of CitiSculpt and its various holdings have been in the Real Estate and Development business for over 30 yrs. Over that time, we've been fortunate and unfortunate to experience almost all the ups and downs that these types of projects can provide. We are somewhat experienced at correcting and reviving slower producing developments. Currently we are finishing out projects in the city of Durango and considering other area purchases.

Our interest in Cascade Village arose from some local relationships and being introduced to Mr. Bush. The area isn't hard to love! Mr. Bush made it clear that he was what I might call a 'don't want' in that his ownership derived from limited choices in protecting a long again investment. Since we at CitiSculpt do consider ourselves professional developers, we believe there is opportunity to Do Good and Do Well. Specifically, one of our active areas is investment in Qualified Opportunity Zones across several states. Cascade does sit in a US certified Qualified Opportunity Zone.

As to our plans, they have not been finalized, however we do intend to work our way through the remaining development of Cascade Village under the current allotted entitlements on record. We will deal with challenges along the way such as the utility system. As some of you may have seen we have been updating the Environmental, Title, and Surveys of the overall properties, as well as doing research into the Utility situation.

We are currently considering the first phase of new development to likely be the two pads that seat to the further West of the site, behind two existing condo buildings. No pricing, or architectural style has been set, but we expect both to be consistent with the local market.

For future phases we will take a methodical approach reacting to what can be built and what the market may like to see. We are considering all options such as new high-end development, and or conservation easements on certain parcels.

As many of you may realize any new development should only benefit current property owners as the sale prices will almost certainly be higher, bringing all valuations up, and the cost to run the overall development should be spread over a larger group, which could effectively bring down current fees.

Specifically addressing the Sewer Utility, it is a know that the State of Colorado has changed certain threshold allowances which will eventually render this facility out of compliance. To be clear there is no functional issues that we are aware of



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with the Sewage treatment plant today, and it's working fine, however we are aware of a challenge that will need to be thought out for everyone's best interests in the long term. The options could be to rebuild the current sewer treatment or join in a neighboring facility if feasible, or some agreed combination, or alternate solution presented. Some of these solutions would likely include the Water utility as well, possibly providing a professionally run, long range solution that would standardize Cascades expenses with the rest of the market. At this time, we do not know the costs of any of these options, or how they would be funded. It is in everyone's best interest to find the most cost effective and long term secured solution.

None of this should alarm anyone. We have enjoyed an open and candid relationship with the Cascade HOA and expect that to continue. We will share progress and ideas as they become relevant, and will provide as much future view into new projects as feasible.

CitiSculpt is a developer, but not a management company. We are in the process of hiring services as needed, but for the time being all questions are best sent through your HOA representatives.

Thank you for allowing us to be part of your community, and we look forward to continued growth and prosperity for all.

Sincerely,

Charles Lindsey McAlpine



Please note that final look and design may vary. Any change is subject to ownership discretion.



Please note that final look and design may vary. Any change is subject to ownership discretion.



Please note that final look and design may vary. Any change is subject to ownership discretion.



Please note that final look and design may vary. Any change is subject to ownership discretion.



Please note that final look and design may vary. Any change is subject to ownership discretion.

Lauren Davis

From: Hanks, Karola <Karola.Hanks@durangofire.org>
Sent: Tuesday, May 24, 2022 1:04 PM
To: Lauren Davis
Cc: Kakavas, Shane
Subject: RE: Cascade Village Townhomes

Meeting w/ Karola took place on Friday May 27th @ 2pm. Comments incorporated into drawings.

Lauren,

We would love to meet with you to go over this project and yes, it is in our district. I have time to meet this Friday the 27th at 2pm or the 31st at 1pm or the 2nd at 1:30 pm. Would any of these work for you?

This will be a challenging project as the water purveyor has refused to test and maintain the hydrants and/or provide us a report of having done so. As a result, we will be requiring proof of water and hydrant flow testing (which you will need for automatic fire sprinkler system design). The area is currently on a red flag for us to implement a tanker shuttle as we don't know that any of the hydrants work.

The other item will be the requirement for a separate fire alarm monitoring system per building and not connected to the other buildings system. That system is currently challenged with false alarms multiple times per week and I do not wish to add to the problem.

Fire Marshal Karola J. Hanks
Durango Fire Protection District
970-382-6023

Solving the Wildfire Problem Requires the Following:

- 1. All structures in the Wildland Urban Interface to be more resistant to ignition*
- 2. Current codes and standards*
- 3. Responder safety to include water supply and access*
- 4. Government must increase resources for vegetative fuel management*
- 5. Understanding our roles and taking action*

From: Lauren Davis <ldavis@ra-ae.com>
Sent: Tuesday, May 24, 2022 12:28 PM
To: Hanks, Karola <Karola.Hanks@durangofire.org>
Cc: Tracy Reynolds <treynolds@ra-ae.com>
Subject: Cascade Village Townhomes

External message - please be cautious when opening links or attachments in email.

Karola,

It was good to see you this morning and be a part of this morning's meeting!

As I mentioned this morning, we are working on 2 new buildings up at Cascade Village. These were preapproved residential townhomes for Phase 1 per the Master Plan. The proposed buildings are located directly behind the buildings Columbine and Engineer. Each building includes (10), 3 story townhomes with potential roof decks.