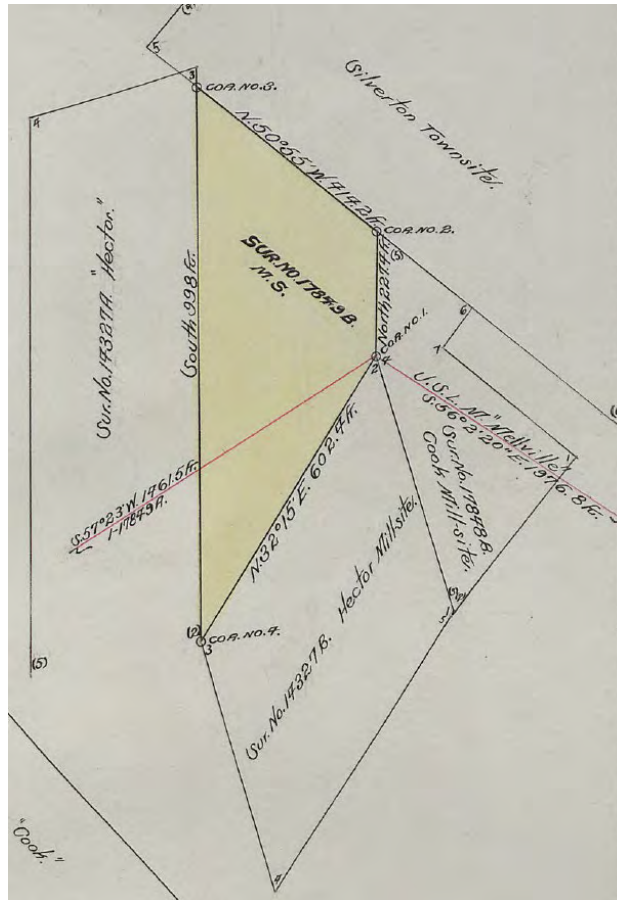


COUNTY IMPROVEMENT PERMIT APPLICATION
Preliminary-Final Plan

Proposed Rose Residence
Hector Lode USMS No. 14327 et al
Highway 550, near Silverton
San Juan County, Colorado



Applicant:

Damon Rose
4501 Harris Trail NW
Atlanta, GA 30327
(404) 831-3114

Prepared By:

Engineer Mountain, Inc.
Attn: Lisa Adair PE
962 Reese Street
PO Box 526
Silverton, Colorado 81433
(970) 387-0500
Job No. 2024-101

Submitted:

June 24, 2025



*SOILS *RETAINING WALLS
*SEPTICS *FOUNDATIONS
*GRADING AND DRAINAGE
*SITE DEVELOPMENT

June 24, 2025

San Juan County
Attn: Willy Tookey
1557 Greene Street
Silverton, Colorado 81433

EMI Job No. 2024-101

Subject: Preliminary-Final Plan, County Improvement Permit Application, Proposed Rose Residence, Hector Lode USMS No. 14327 et al, Highway 550, near Silverton, San Juan County, Colorado.

Dear Willy and Commissioners:

This submittal has been prepared to describe the proposed improvements on the Hector Lode and adjacent claims, located on Highway 550, near Silverton, in San Juan County. The Applicant and Property Owner is Damon Rose of Georgia.

The attached documents have been prepared as a Preliminary-Final Plan for a County Improvement Permit Application. The Applicant requests review of this project by the Planning Commission at their meeting in 21 days on July 15, 2025.

The proposed improvements consist of a single-family residence, driveway extension, and associated utilities.

Please contact Engineer Mountain, Inc. if you have any questions.

Sincerely,

Lisa M. Adair, PE
Engineer Mountain, Inc.

Attachments for Willy Tookey:
14 Binders for County Staff, Planning Commission, and County Commissioners.

Cc (binder): Damon Rose.

Cc (electronic copy): Willy Tookey, Gloria Kaasch-Buerger, Lucy Mulvihill, Bevan Harris, Damon Rose, Brian Briggs, Paul Lane, Rex Goodrich, Tim Barnett, Gilbert Archuleta, Tyler George, Dudley Ashwood, Kim Buck.

COUNTY IMPROVEMENT PERMIT APPLICATION
Preliminary-Final Plan

Proposed Rose Residence
Hector Lode USMS No. 14327 et al
Highway 550, near Silverton
San Juan County, Colorado
Engineer Mountain, Inc.

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6. Septic System Documents

7. Scenic Quality Report Addendum

8. Cumulative Impacts Report

9. Phase 1 Study

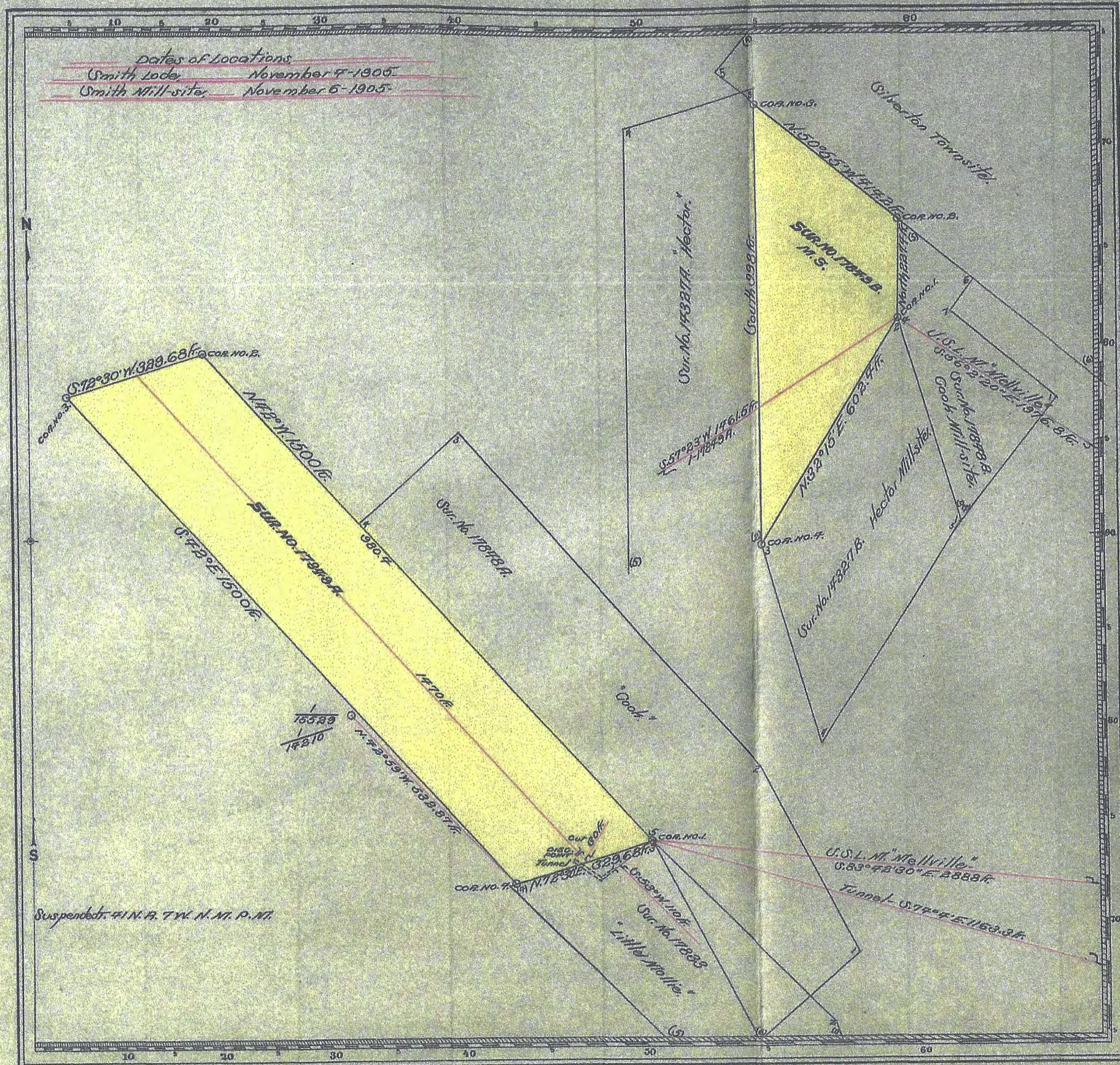
Front Cover Photo Credit: Original Mineral Survey Plat for Smith Mill Site

Application for Improvement Permit

		APPROVAL CHECKLIST		Initial	Date
Applicant	Name	DAMON ROSE			
	Address	4501 HARRIS TRAIL NW			
	Phone	ATLANTA GA 30327			
Owner	Name	SAME (404) 831-3114			
	Address				
	Phone				
Contractor	Name				
	Address				
	Phone				
Legal Description of Property:		Road System Relationship			
HECTOR LOBE USMS NO. 14327 Township 41N. Range 7W. Section 19		Zoning Compatibility			
		State Mining Permit			
		Owner Notification			
		Avalanche Hazard			
		Geologic Hazard			
		Floodplain Hazard			
		Wildfire Hazard			
		Mineral Resource Impact			
		Wildlife Impact			
		Historic Site Impact			
Nature of Improvement Planned:		Watershed Gearance			
PROPOSED RESIDENCE AND ACCESS/UTILITY IMPROVEMENTS					
		County Building Inspector			
		Building Permit			
State Electrical Inspector					
Land Use Zone:		MOUNTAIN			
Applicant Signature		[Signature]			
Date Application Requested					
Date Submitted for Permit					
Date Permit Issued					
Date Permit Denied					
Reason for Denial					
		Electrical Permit			
		San Juan Basin Health Unit			
		Sewage Disposal: Test			
		Design			
		Central Sewage Collection			
		State Division of Water Resources			
		Adequate Water Source			
		Well Permit			
		Central Water Distribution			
		U.S. Forest Service/BLM			
		Access Approval			
		State Division of Highways			
		Driveway Permit			
Receipt		FEE PAYMENT			
		Amount	Date		
Application					
Building Permit					
Subdivision/PUD					
Hearing Notice					
		Subdivision Variance			
		Subdivision Approval			
		PUD Approval			

(4-675)

Rec'd S.G.O. Dec. 8 '05



Dates of Locations
Smith Lode November 4-1905
Smith Mill-site November 5-1905

Claim Located 100
Mineral Survey No. 17849A and B
Lot No. Land District
PLAT
OF THE CLAIM OF
THE HERCULES CONSOLIDATED MINING
COMPANY,
KNOWN AS THE
SMITH LOPE AND SMITH MILL-SITE,

IN MINITAS MINING DISTRICT,
SAN JUAN COUNTY, COLORADO
Containing an area of 10.33 Acres.
Scale of 200 feet to the inch.
Variation 19° 50' East
SURVEYED December 4 1905 BY
A.E. Lowe, U.S. Deputy Mineral Surveyor,
The Original Field Notes of the Survey of the Mining Claim of
The Hercules Consolidated Mining Company,
known as the
Smith Lode and Smith Mill-site,

from which this plat has been made under my direction, have been examined and approved, and are on file in this office, and I hereby certify that they furnish such an accurate description of said Mining Claim as will, if incorporated into a patent, serve fully to identify the premises, and that such reference is made therein to natural objects or permanent monuments as will perpetuate and fix the locus thereof.
I further certify that Two Hundred Dollars worth of labor has been expended in improvements made upon said Mining Claim by claimant or its grantors, and that said improvements consist of the discovery out and an interest in a drift and a tunnel, as appears by the affidavit of the deputy surveyor,
that the location of said improvements is correctly shown upon this plat, and that no portion of said labor or improvements has been included in the estimate of expenditures upon any other claim.
And I further certify that this is a correct plat of said Mining Claim made in conformity with said original field notes of the survey thereof, and the same is hereby approved.

U.S. Surveyor General's Office, Denver Colorado
January 27, 1906
A.E. Lewis
U.S. Surveyor General for Colorado

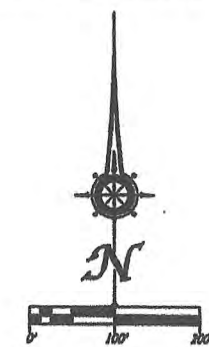
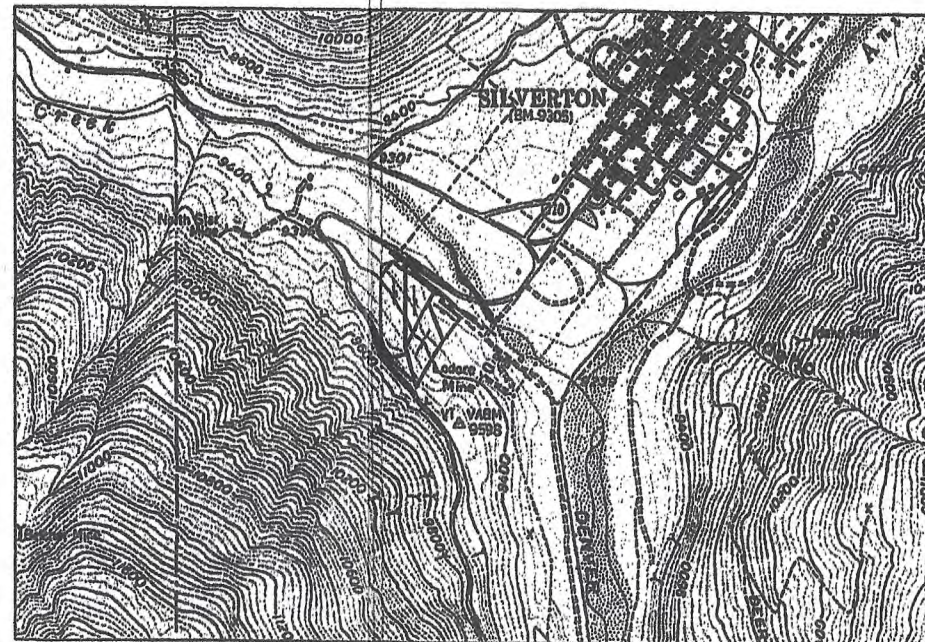
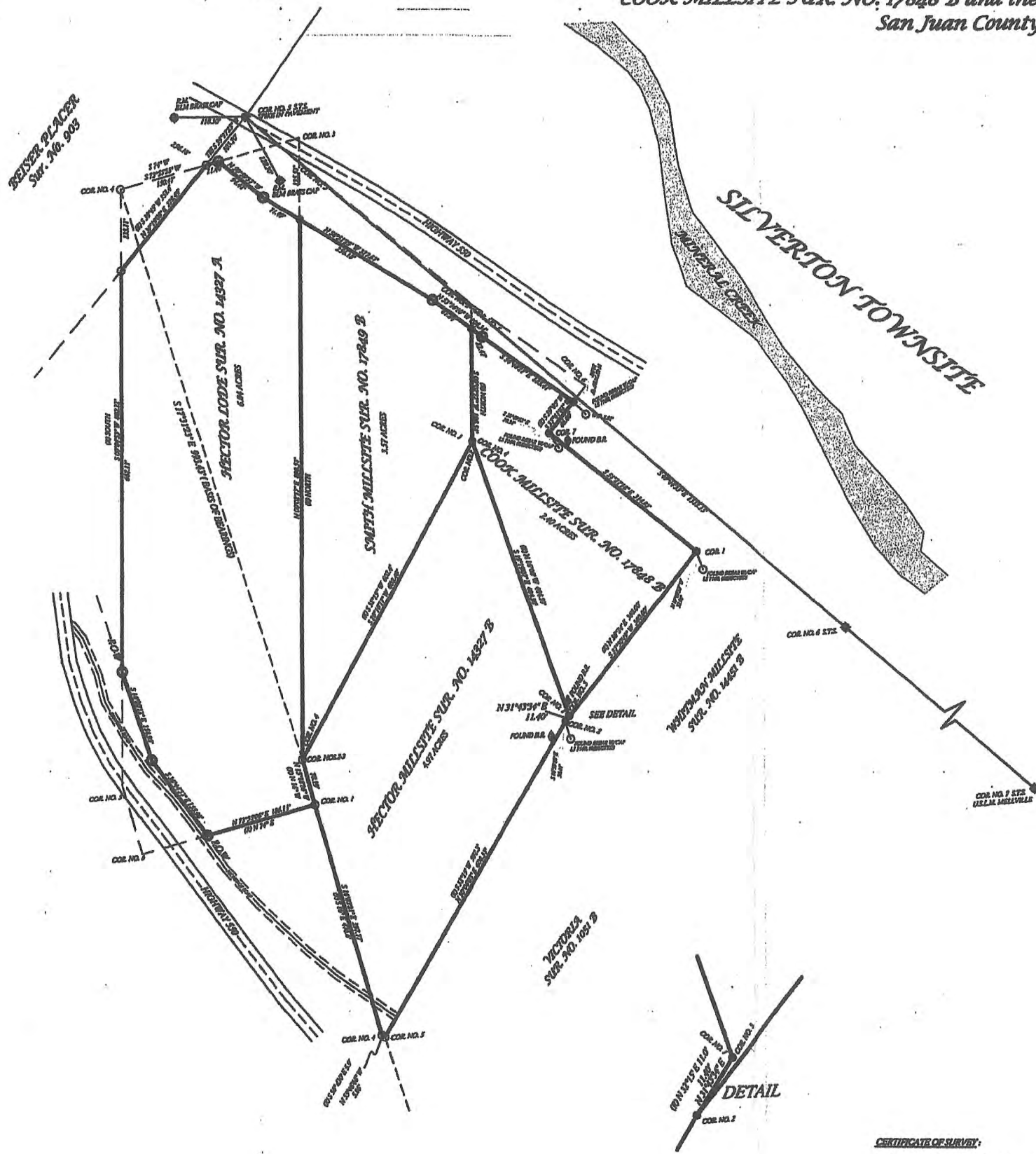
DRAWING

DRAWING NUMBER

DRAWING NUMBER

DRAWING

BOUNDARY SURVEY
OF PART OF THE
HECTOR LODE SUR. NO. 14327 A, HECTOR MILLSITE SUR. NO. 14327 B,
COOK MILLSITE SUR. NO. 17848 B and the SMITH MILLSITE SUR. MO. 17849 B
San Juan County, Colorado.



BASE OF BEARINGS:
The line between Cms. 2 and 4 of the
HECTOR LODE is assumed to bear
N 17°12'30" W and is monumented as
shown herein. All other bearings are
relative thereto.

- LEGEND:
- Found Bearing Rock
 - Found Government Survey Monument - 3 1/2" BRASS CAP
 - Set 3/4" x 2" alum. cap W/ rubber - LS 12457
 - Set 3/4" x 2" alum. cap W/ rubber as W.C. - LS 12457
 - Found 65 Rubber with 1 1/2" Alum. cap LS 7160
 - RECORD BEARINGS AND DISTANCES
 - Found R.C.W. marker LS 7160
 - Claim Boundary

NOTE:
References to Highway R.O.W. following easements and private agreements are
recorded in Book 245 at Page 677.

NOTES:
All fence lines shown herein are for graphical purposes only. They
may not be relied upon to establish property boundaries.
This survey was prepared without the benefit of a title policy or
examination and does not constitute a title search by E. Schaff &
Associates, Inc.
Certifications herein shall run only to the person(s) for whom this
survey was prepared and on his behalf to the agencies listed on
this/these sheet(s). Certifications are not transferable to additional
institutions or subsequent owners.
Only print of this survey marked with an original seal and signature
by the surveyor shall be considered true, valid copies.

CERTIFICATE OF SURVEY:

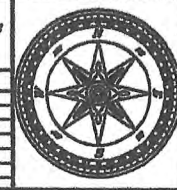
I, E. Schaff, a Registered Land Surveyor in the State of Colorado,
do hereby certify that this plat accurately represents a survey made by me or
under my direction and supervision. I further certify that the monument
shown herein actually exist, and that their positions are as shown.



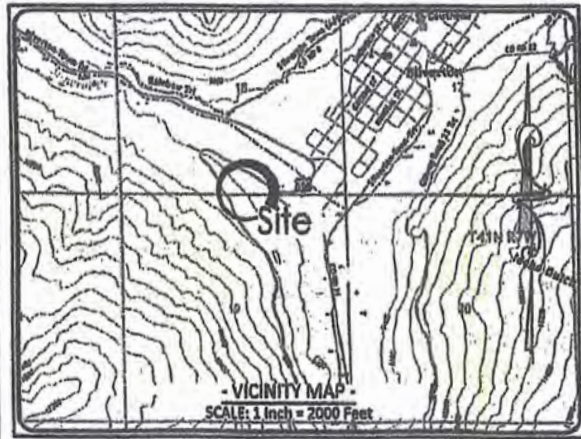
PLAT REFERENCES:

- (1) Original Mineral Survey maps
- (2) Survey by John A. Rouse LS7160 recorded in Book 245 at Page 677


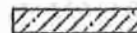

U.S. MINERAL SURVEYORS REGISTERED LAND SURVEYORS A.E. AS. CO. INC., INC. 1-800-314-4541	
PLAN SCALE: 1"=100'	REVISIONS:
FIELD CHECK: RWA, G.W. RB	
DRAWN BY: RWB	
DATE: 11/15/2005	



E. SCHAAF & ASSOCIATES, INC.
361 PALMER ST., DEER, COLORADO 81416 EMAIL: eschaff@schaffinc.com
MINERAL SURVEYS
1801-4327 ADD, 1801-7848 B, 1801-7849 B
ANDAMAS MINING DISTRICT
SAN JUAN COUNTY,
COLORADO
RON BALDWIN
6750 TEE DRIVE
FARMINGTON,
NEW MEXICO 87403
FIR: 6/05 JOB#: J04-50



- LEGEND -

-  - Active Snow Avalanche Path, as shown on the Avalanche Hazard HISTAR Map, dated 6/2/76
"Active snow avalanche paths including unvegetated slopes above timberline steeper than 60%," according to Table 3, Pg. 205, of article titled "Natural Hazards Maps for Land-Use Planning, San Juan Mountains, Colorado, U.S.A., by the Institute of Arctic and Alpine Research, University of Colorado, dated 1976."
-  - Potential Avalanche Area, as shown on the Avalanche Hazard HISTAR Map, dated 6/2/76
"All slopes steeper than 60% that are timbered and bear no clear signs of avalanche activity at the present time. Applies only to areas above 7000 ft (2134 m) elevation," according to Table 3, Pg. 205, of article titled "Natural Hazards Maps for Land-Use Planning, San Juan Mountains, Colorado, U.S.A., by the Institute of Arctic and Alpine Research, University of Colorado, dated 1976."
-  - Small Avalanche Path, as shown on the Avalanche Hazard HISTAR Map, dated 6/2/76
"Small avalanche path that cannot be depicted by active snow avalanche path (above) due to the scale of mapping," according to Table 3, Pg. 205, of article titled "Natural Hazards Maps for Land-Use Planning, San Juan Mountains, Colorado, U.S.A., by the Institute of Arctic and Alpine Research, University of Colorado, dated 1976."

PROPERTY DESCRIPTION

San Juan County Parcel No. 46290100010006

Part of the Hector Lode Survey No. 14327 A, Hector Millsite Survey No. 14327 B, Cook Millsite Survey No. 17846 B and the Smith Millsite Survey No. 17849 B
San Juan County, Colorado

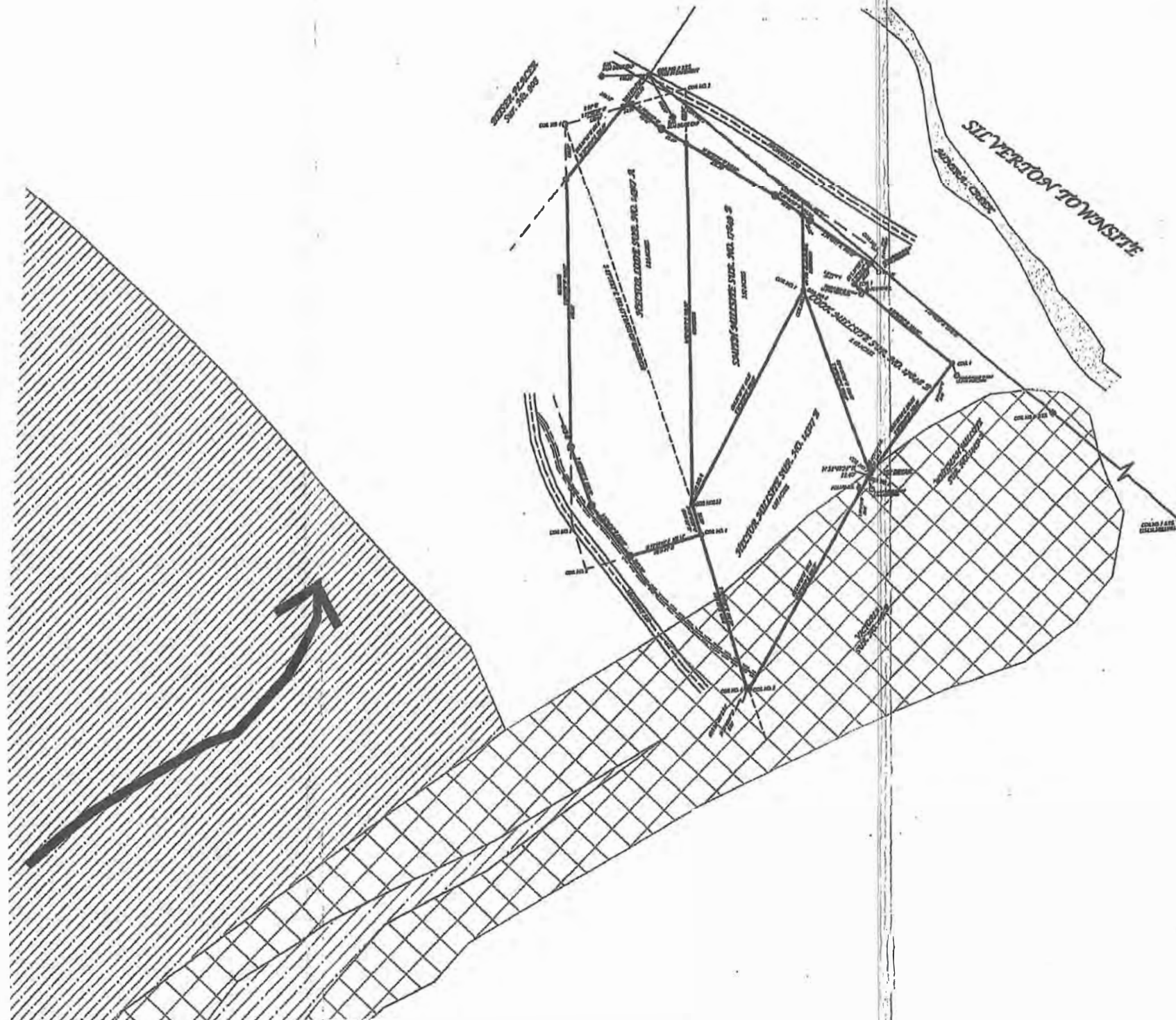
NOTES

1. This map has been prepared pursuant to client request for a Geologic and Avalanche Hazard Map overlay onto subject property.
2. This Exhibit is an overlay of the following reference documents:
 - Survey performed by E. Schmit & Associates, Inc., dated November 18, 2005, and recorded on Land Survey Deposit No. 142, San Juan County, Colorado.
 - Geologic Hazard Map HISTAR, dated 6/2/76
 - Avalanche Hazard HISTAR Map, dated 6/2/76
 - Article titled "Natural Hazards Maps for Land-Use Planning, San Juan Mountains, Colorado, U.S.A., by the Institute of Arctic and Alpine Research, University of Colorado, dated 1976."
3. The subject property is located entirely within the Collied slope area "cat", defined as "Areas of thick colluvial or glacial accumulations, generally thicker than 2 m. Potential mass failure areas," according to the Geologic Hazard Map HISTAR, dated 6/2/76, and Table 2, Pg. 186, of the article titled "Natural Hazards Maps for Land-Use Planning, San Juan Mountains, Colorado, U.S.A., by the Institute of Arctic and Alpine Research, University of Colorado, dated 1976."
4. Avalanche Hazards shown herein are based on the Avalanche Hazard HISTAR Map, dated 6/2/76, and the article titled "Natural Hazards Maps for Land-Use Planning, San Juan Mountains, Colorado, U.S.A., by the Institute of Arctic and Alpine Research, University of Colorado, dated 1976."
5. Reference Citation: Jack D. Ives & Michael J. Bowls (1976) Natural Hazards Maps for Land-Use Planning, San Juan Mountains, Colorado, U.S.A., Arctic and Alpine Research, 10:2, 185-212, DOI: 10.1080/00040841.1976.12003698
6. SGM makes no guarantee to the accuracy of referenced documents or reports. SGM assumes no liability for possible implications arising from this document.
7. This document does not represent a Geologic Hazards Evaluation performed by SGM.
8. This map is based on publicly available record information, no field survey was performed by SGM.
9. Units of linear measurements are displayed in US Survey Feet.
10. SGM is not responsible for any changes made to this document after it leaves our possession. Any copy, facsimile, etc., of this document must be compared to the original signed, sealed and dated document to insure the accuracy of the information shown on any such copy and to insure that no such changes have been made.
11. The property shown herein is subject to all easements, rights-of-way, building setbacks or other restrictions of record, as such items may effect this property. This survey does not represent a title search by this surveyor to determine ownership or to discover easements or other encumbrances of record.

DRAFT COPY ONLY

Geologic and Avalanche Hazard Map Overlay Exhibit

of part of the
Hector Lode Survey No. 14327 A, Hector Millsite Survey No. 14327 B,
Cook Millsite Survey No. 17846 B and the Smith Millsite Survey No. 17849 B,
Situated in Sections 18 & 19, Township 41 North, Range 7 West of the N.M. P.M.
San Juan County, Colorado



Graphic Scale
In U.S. Feet: 1" = 100'

SGM
555 RiverGate Lane, Suite 84-82
Durango, CO 81301
970.385.2340
www.sgm-inc.com

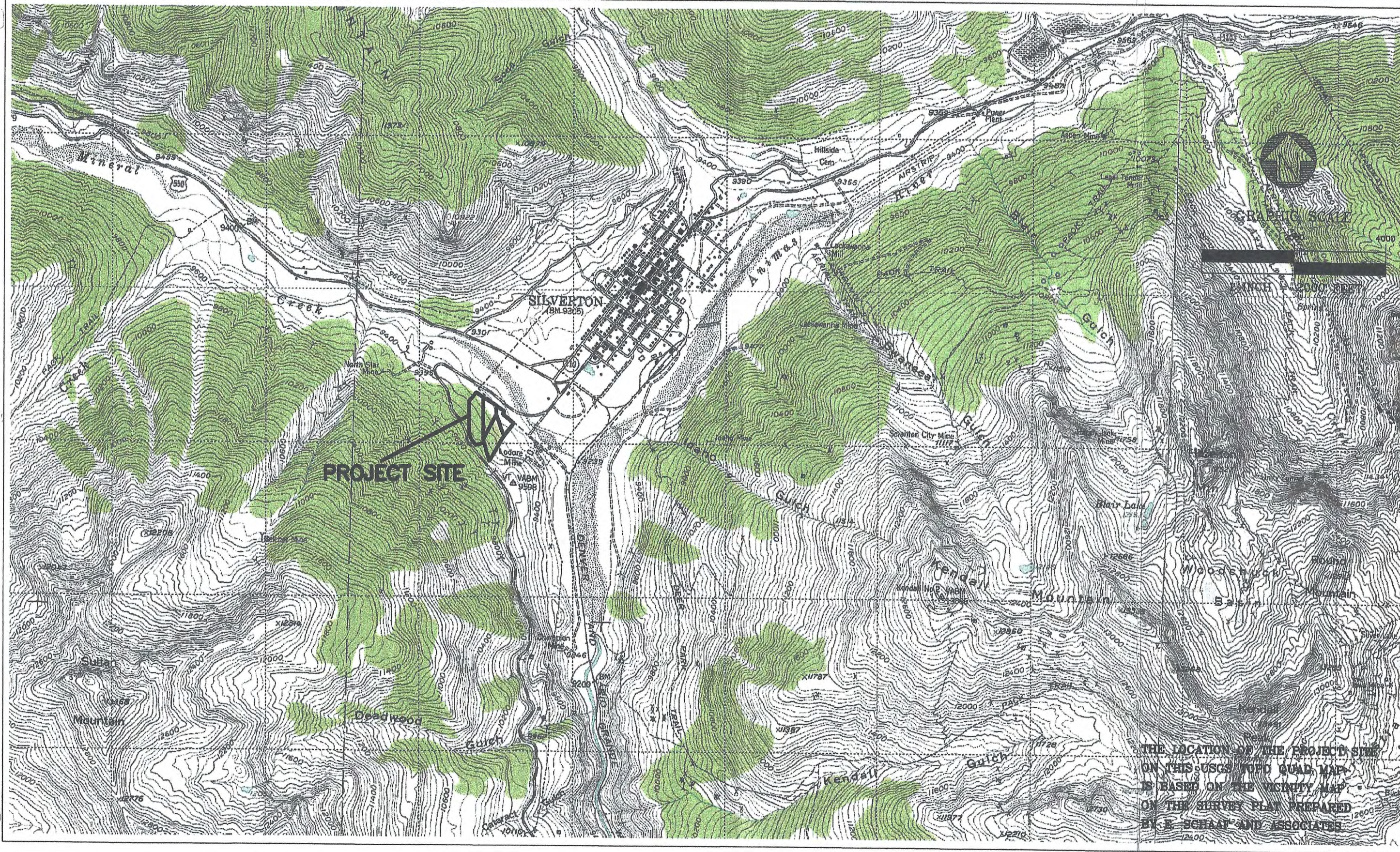
Geologic and Avalanche Hazard Map Overlay Exhibit

Date	Revision	By	For
07/27/2006	1	SGM	Client
07/27/2006	2	SGM	Client
07/27/2006	3	SGM	Client
07/27/2006	4	SGM	Client
07/27/2006	5	SGM	Client
07/27/2006	6	SGM	Client
07/27/2006	7	SGM	Client
07/27/2006	8	SGM	Client
07/27/2006	9	SGM	Client
07/27/2006	10	SGM	Client
07/27/2006	11	SGM	Client
07/27/2006	12	SGM	Client
07/27/2006	13	SGM	Client
07/27/2006	14	SGM	Client
07/27/2006	15	SGM	Client
07/27/2006	16	SGM	Client
07/27/2006	17	SGM	Client
07/27/2006	18	SGM	Client
07/27/2006	19	SGM	Client
07/27/2006	20	SGM	Client

Job No. _____
Drawn by _____
Date _____
Approved by _____
Title _____

Highway 580 N,
Silverton, CO
81433

Sheet No. **1**
Of: 1



*SOILS *RETAINING WALLS
 *SEPTICS *FOUNDATIONS
 *GRADING AND DRAINAGE
 *CIVIL SITE DEVELOPMENT

ENGINEER MOUNTAIN INC.
 formerly MACKIE Engineering
 P.O. BOX 526, SILVERTON, CO 81433
 (970) 387-0500 engineermountaininc@gmail.com

VICINITY MAP

PROPOSED ROSE RESIDENCE
HECTOR LOPE ET AL, HIGHWAY 550
SAN JUAN COUNTY, COLORADO

DATE: JULY 25, 2013

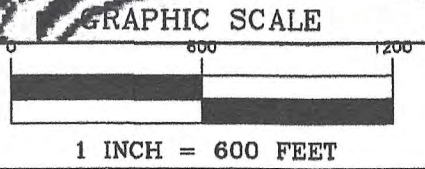
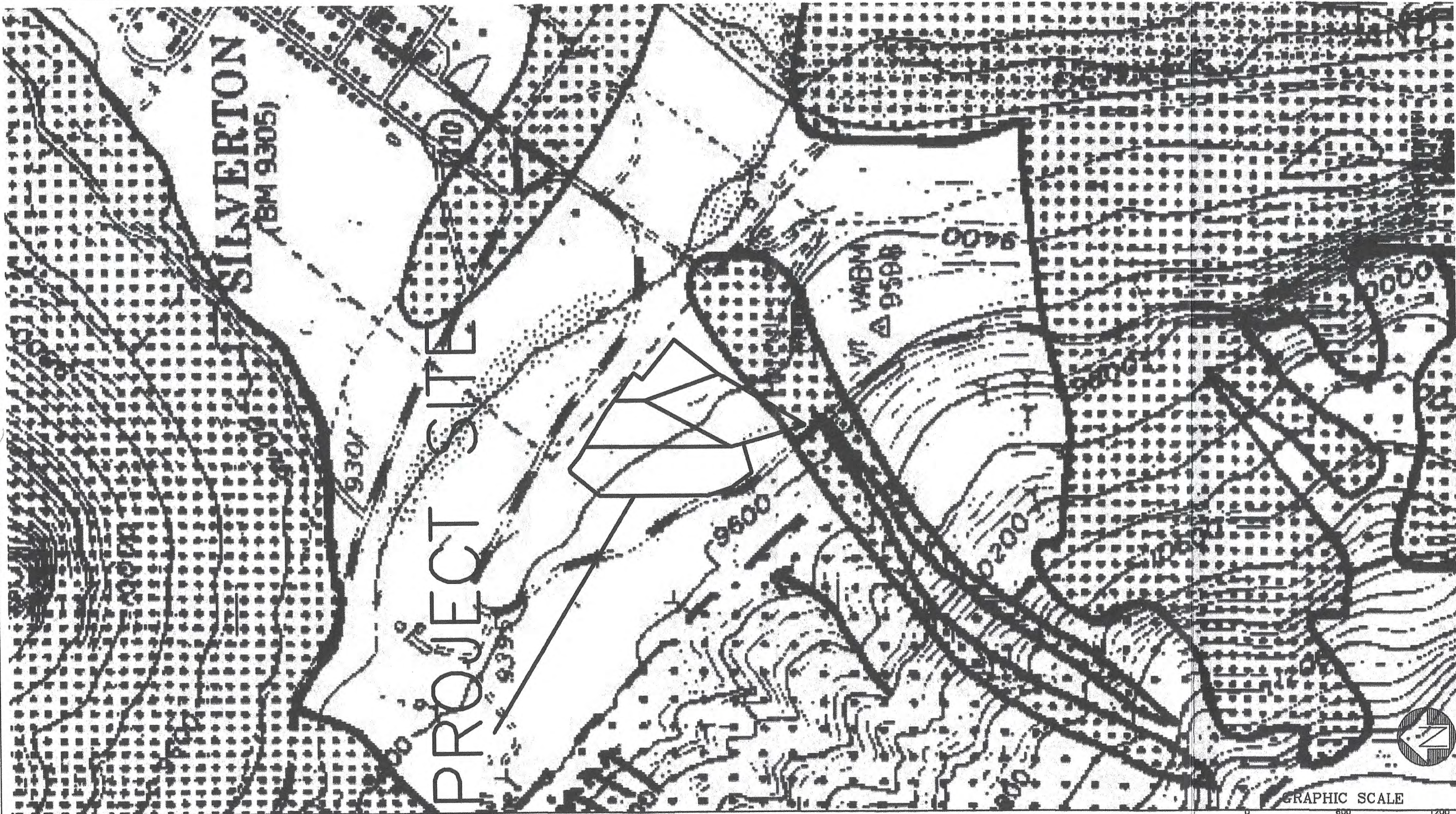
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LAST REVISED: 5/25/25

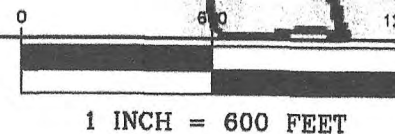
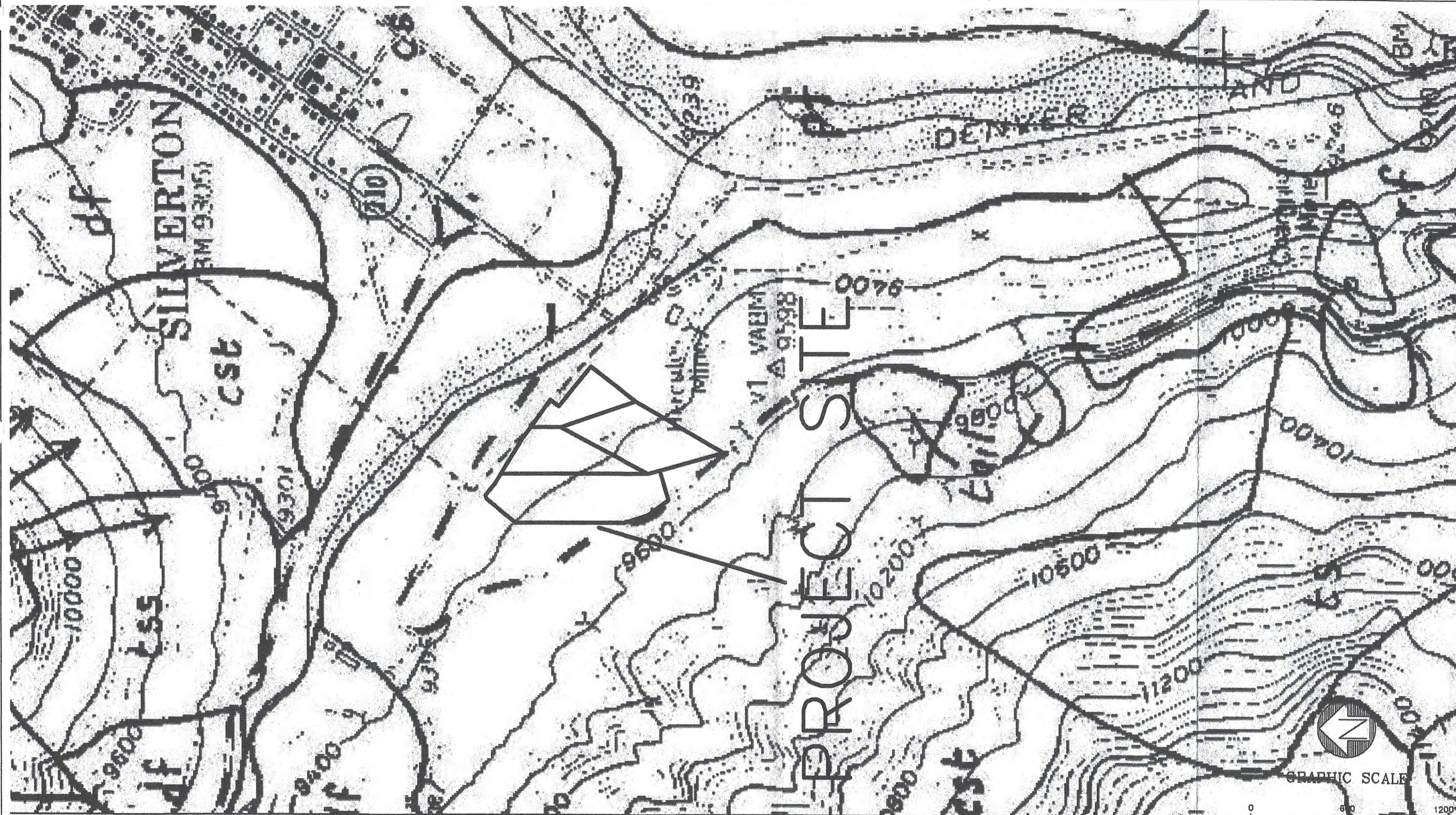
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LAYOUT/LMAE: VICINITY/VICINITY

SHEET
1
OF 3



DATE: AUGUST 26, 2013	VICINITY MAP + COUNTY AVALANCHE MAP	ENGINEER MOUNTAIN INC. formerly MACKIE Engineering P.O. BOX 526, SILVERTON, CO 81433 (970) 387-0500 engineermountaininc@gmail.com
DRAWN BY: LMA	PROPOSED ROSE RESIDENCE	
LAST REVISED: 5/25/25	HECTOR LODE, HIGHWAY 550	
DWG: 24-101/ELM Rose Plans.dwg	SAN JUAN COUNTY, COLORADO	
LAYOUT/LMA: AWY OVERLAY / AWY		
SHEET 2 OF 3		



DATE: AUGUST 29, 2013

DRAWN BY: LMA

LAST REVISED: 5/25/25

DWG: 24-101/EM Rose Plans.dwg

LAYOUT/LMAE GEOHAZ OVERLAY/GEOHAZ

VICINITY MAP + COUNTY GEOHAZARDS MAP

PROPOSED ROSE RESIDENCE

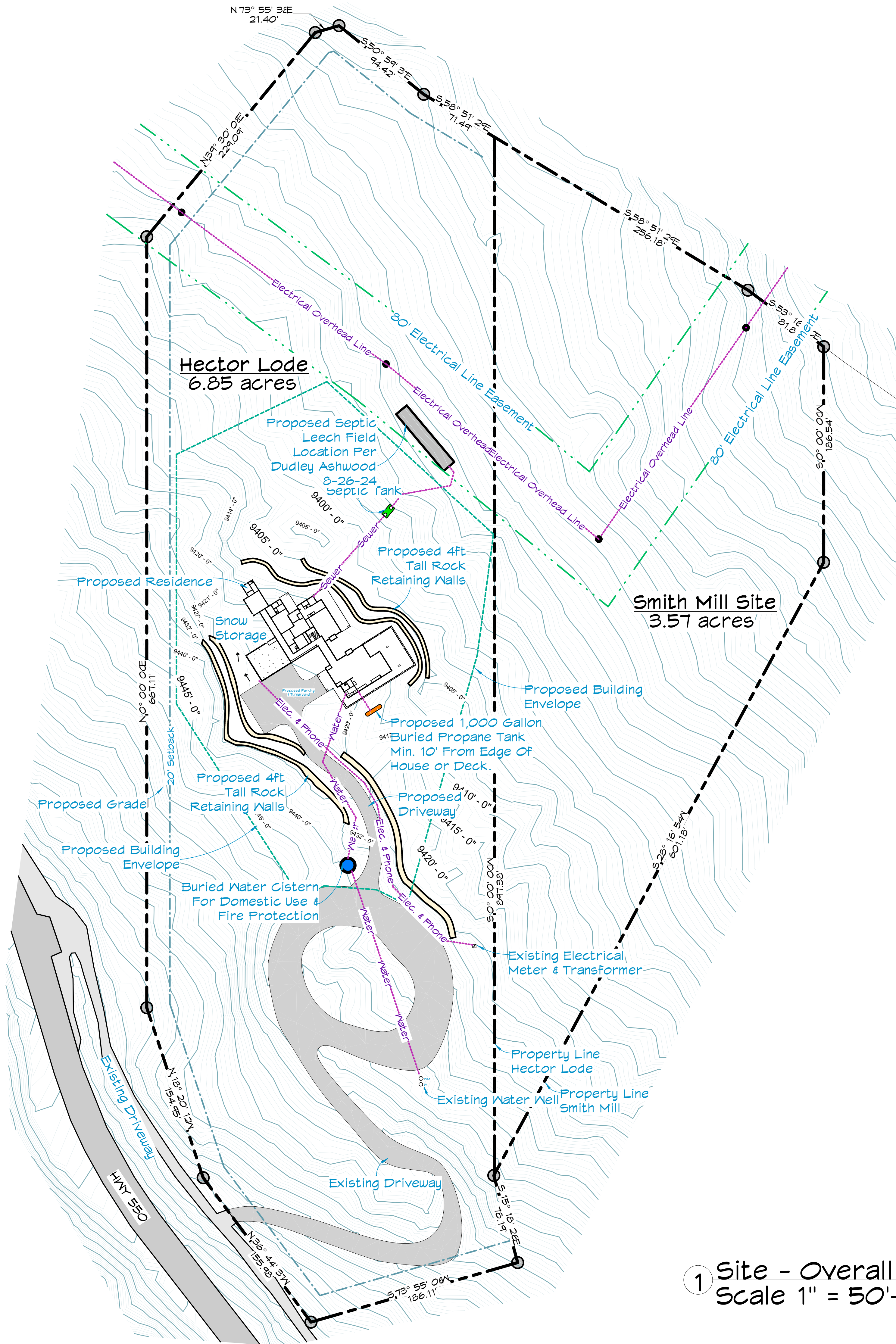
HECTOR LOPE, HIGHWAY 550

SAN JUAN COUNTY, COLORADO

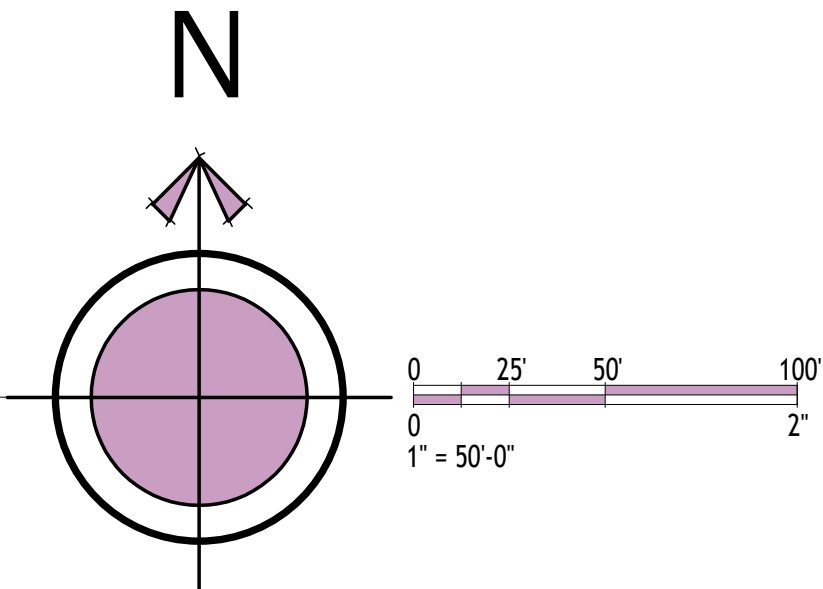
*SOILS *RETAINING WALLS
*SEPTICS *FOUNDATIONS
*GRADING AND DRAINAGE
*CIVIL SITE DEVELOPMENT

ENGINEER MOUNTAIN INC.
formerly MACKIE Engineering
P.O. BOX 526, SILVERTON, CO 81433
(970) 387-0500 engineermountaininc@gmail.com

SHEET
3
OF 3



1 Site - Overall
Scale 1" = 50'-0"



NOT FOR CONSTRUCTION

Project No.

Project Number

6/20/25

Revisions

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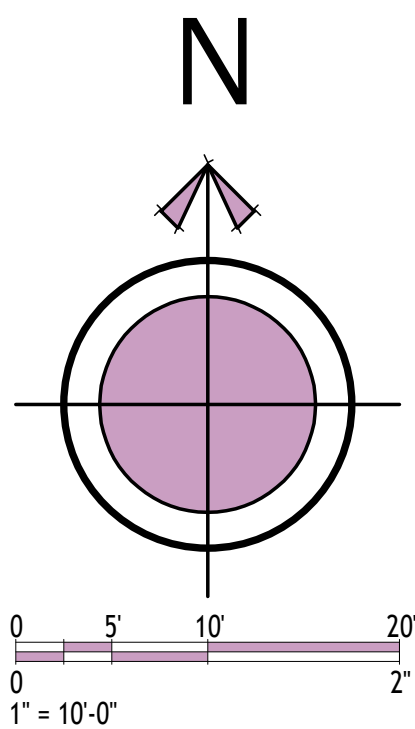
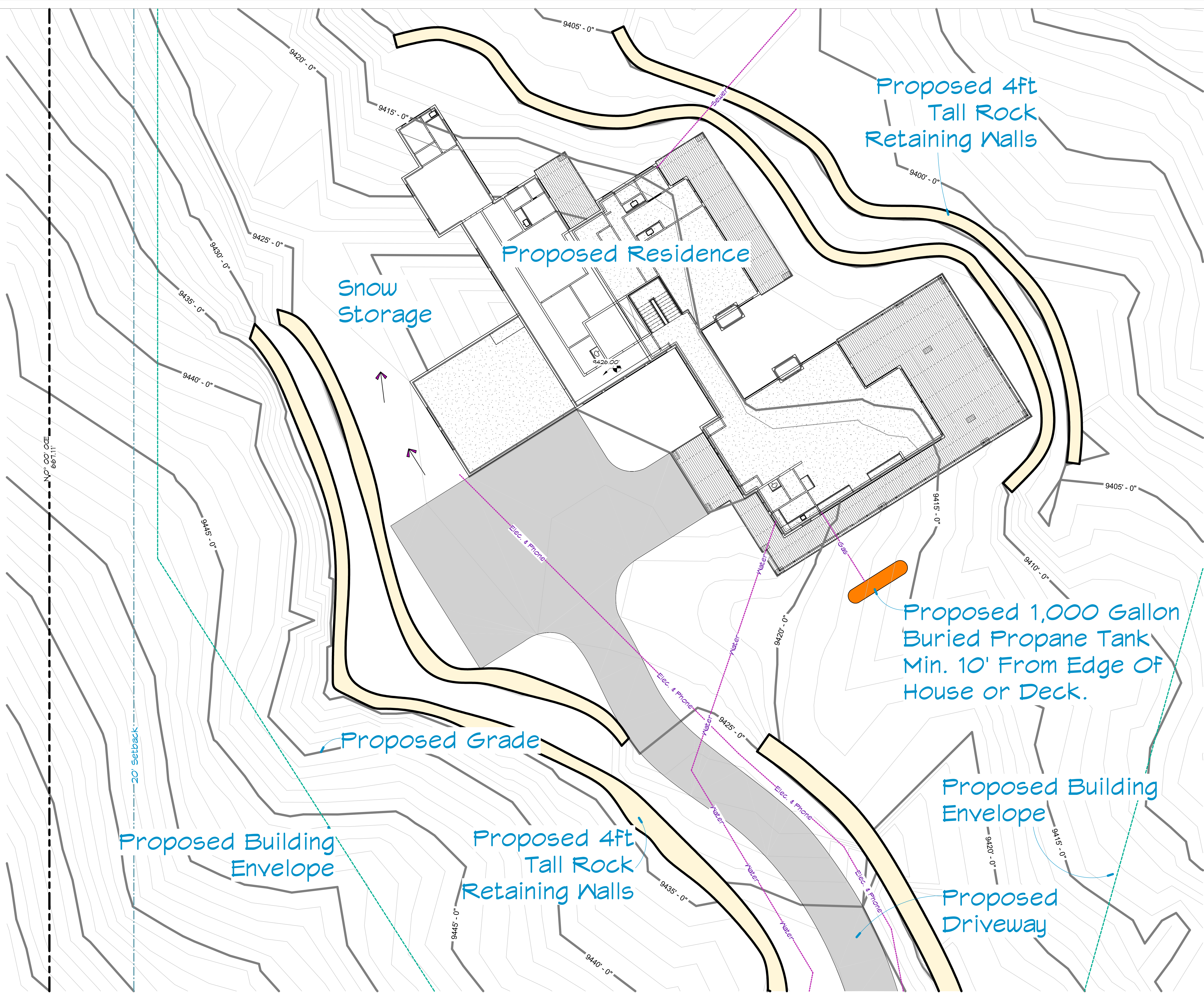
Scale

Overview Site Plan

C101

Bsheet No.

©2022



NOT FOR CONSTRUCTION

the Rose Residence

Hector Uribe
San Juan County, CO

Project No. Project Number

6/20/25

Revisions

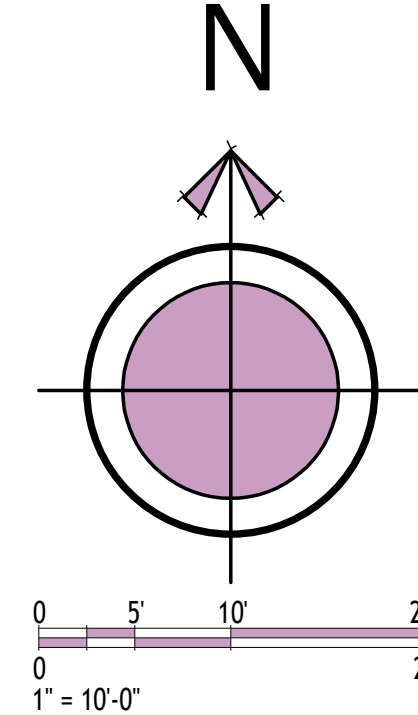
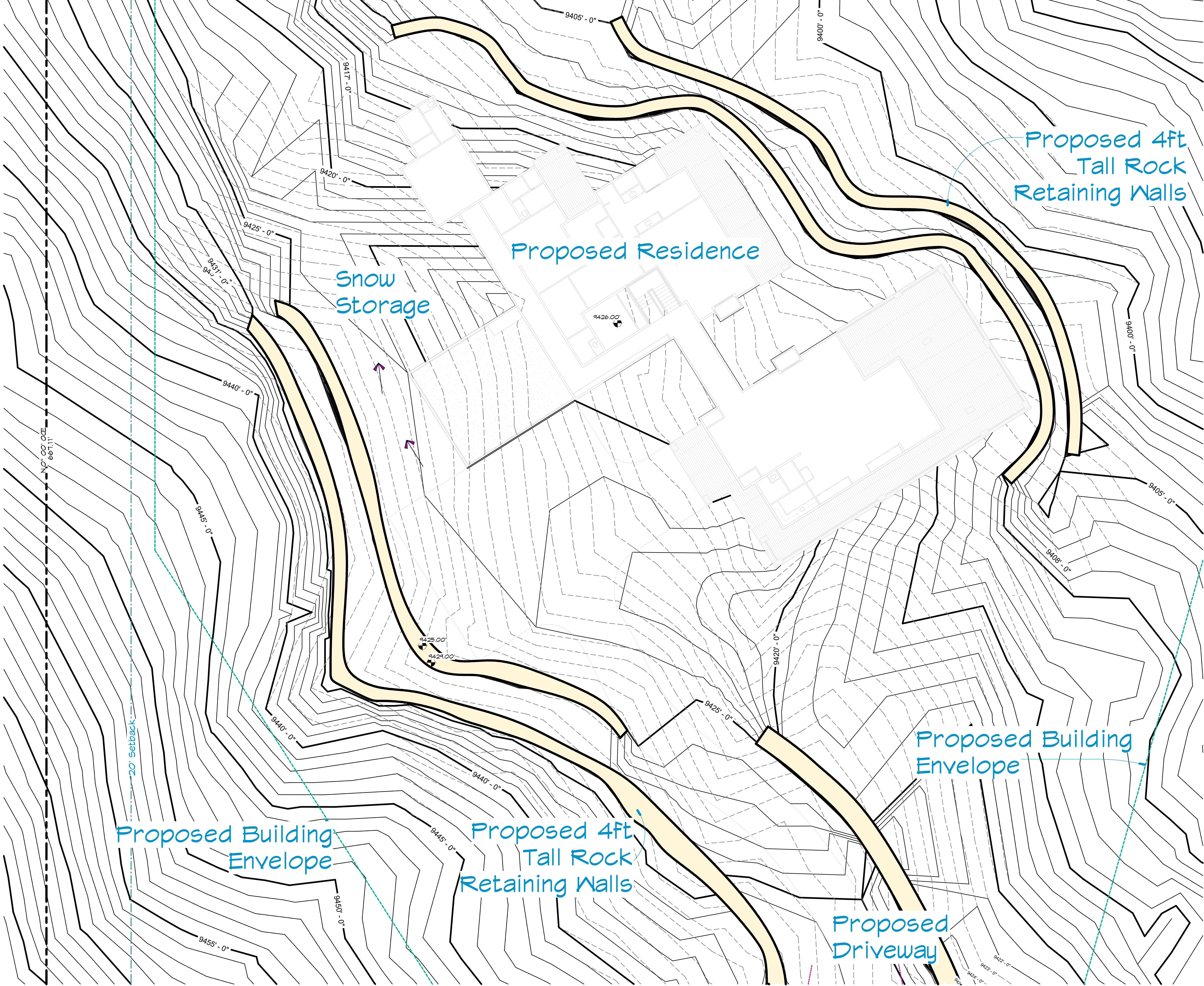
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Scale: 1" = 10'-0"
Site Plan Enlarged

C102

Sheet No. ©2022

6/20/2025 8:54:41 AM C:\Users\brewz\OneDrive - draft tech\CAD\DT Designs\Rose Residence\Site_Rose Residence.dwg



NOT FOR CONSTRUCTION

the Rose Residence

Hector Lode
San Juan County, CO

Project No. 6/20/25

Project Number

Revisions

Scale: 1" = 10'-0"

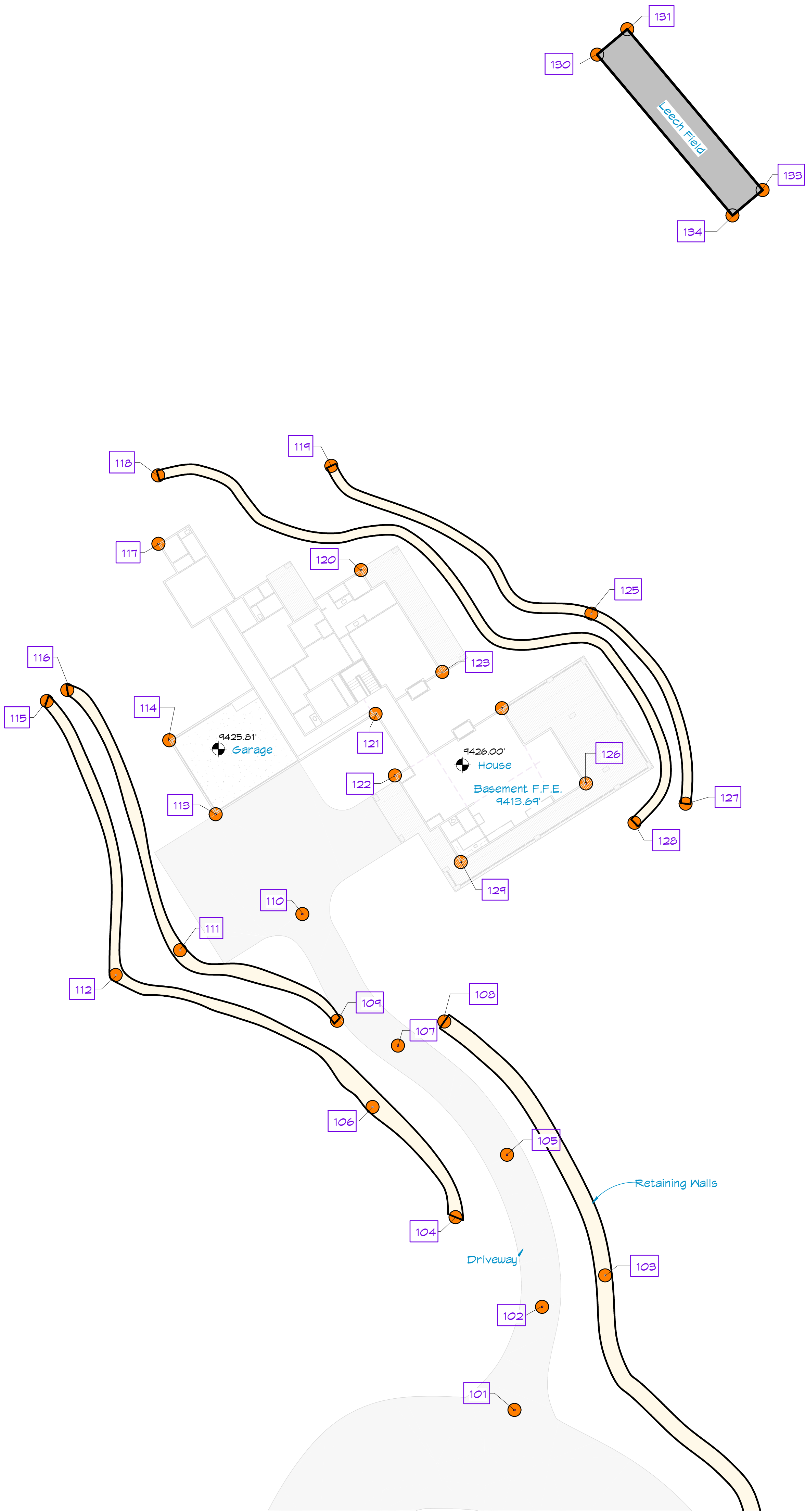
Topo Comparison

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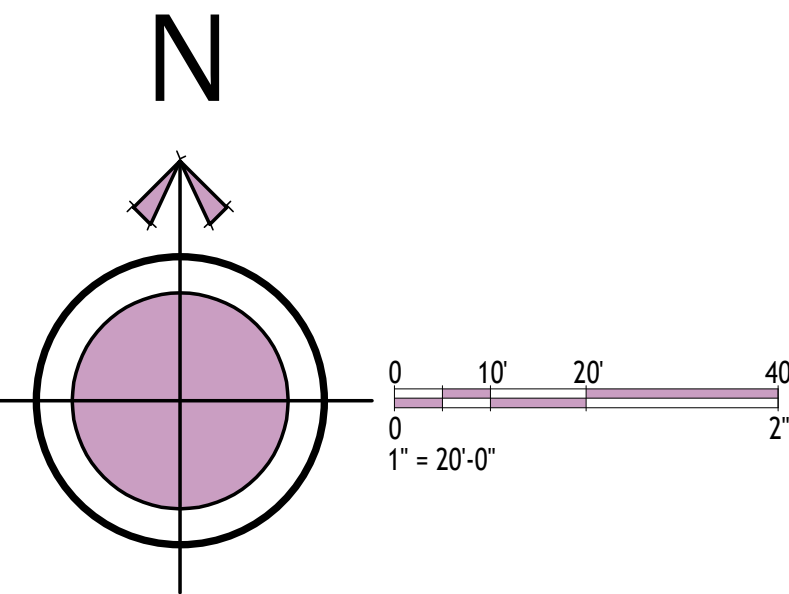
C103

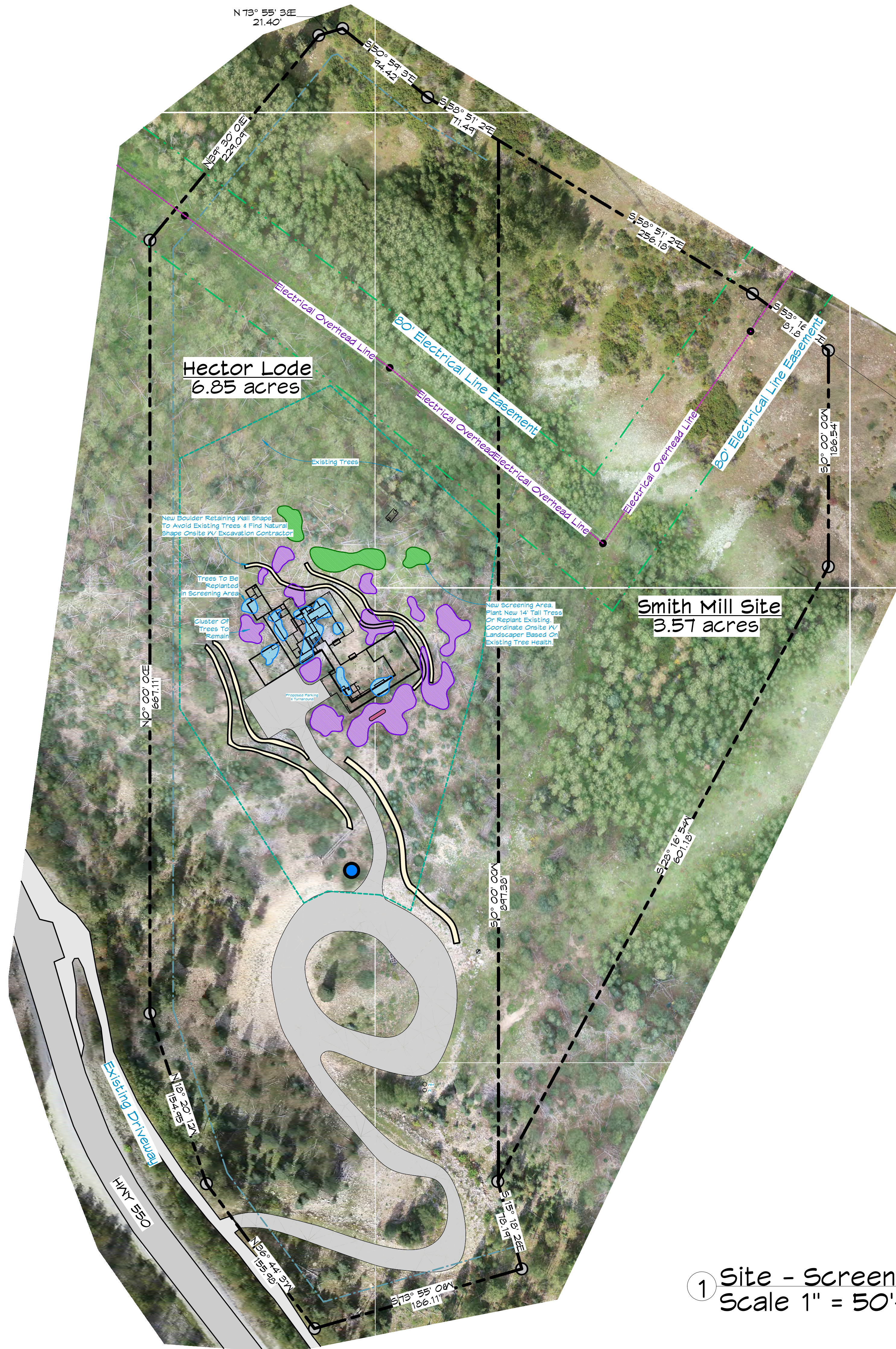
Sheet No. ©2022

N 0° 00' 00" E
607.11'

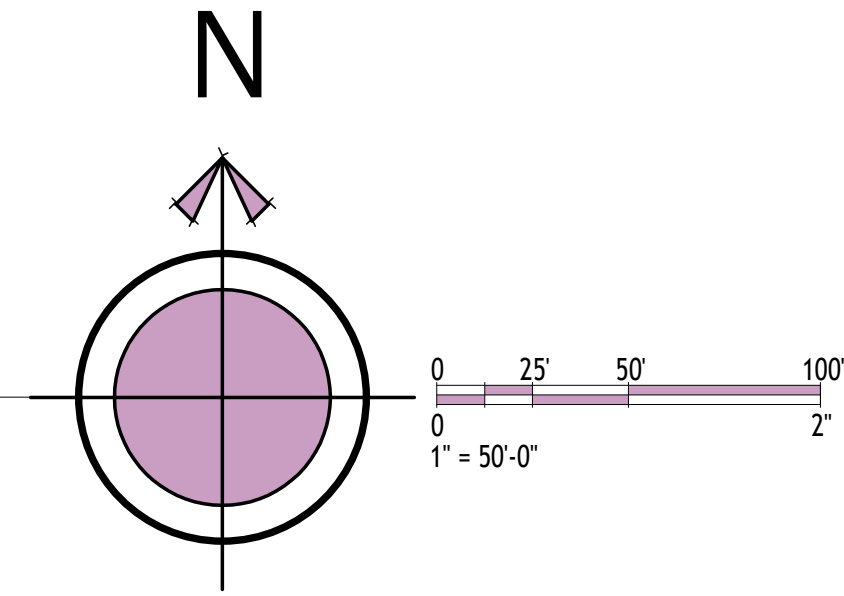


1 Site - Staking Plan
Scale 1" = 20'-0"





1 Site - Screening Plan
Scale 1" = 50'-0"



6/20/25



Revisions

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Sampling Plan

Screening Plan

C105

PROJECT NARRATIVE
Preliminary-Final Plan
Proposed Rose Residence, Hector Lode
Engineer Mountain, Inc.

Applicant/Owner: Damon Rose of Georgia.

Project Site: Hector Lode USMS No. 14327, Hector Mill Site USMS No. 14327B, Smith Mill Site USMS No. 17849B, Cook Mill Site USMS No. 17848B, Parcel No. 48290190010006, Highway 550, near Silverton, San Juan County, Colorado, Township 41 North, Range 7 West, Section 19.

Project Location: The project site is right above Silverton on Highway 550. Highway 550 is at the top of the site. Below the site is the intersection of Highway 550 and the County Road to the Little Dora.

Additional Owner: The mineral rights of the Smith Mill Site are owned by Sultan Mountain LLC.

Proposed Development: One single family residential structure, driveway extension, and associated utility improvements.

Zoning: Mountain Zoning District, Town-County Mutual Overlay District, Scenic Preservation Overlay District.

Acreage: Approximately 17.94 acres.

Water Service: The Applicant plans to use an existing on-site well. The Well Permit was previously submitted. Water service lines and a buried cistern (for domestic use/fire protection) are proposed. Water quality testing is not yet available. A residential water treatment system is proposed.

Sewer Service: A septic system is proposed for the residence. The septic system has been “engineered” by a Colorado Licensed Professional Engineer, in accordance with the San Juan County Public Health Department regulations. The septic system information is included in this application for your review.

Power: There is an existing electric transformer and meter on the project site. The Applicant plans to install a buried electric service line under the proposed driveway extension to the proposed residence. Use of a generator is not proposed, except for during construction or during a power outage/emergency. Any generators need to be baffled or enclosed within a structure as required by County regulations.

Phone: Cell phone service is available at the site.

PROJECT NARRATIVE
Preliminary-Final Plan
Proposed Rose Residence, Hector Lode
Engineer Mountain, Inc.

- Access:** The property is currently accessed via an existing frontage road driveway off of Highway 550. The existing driveway starts close to the “Big Bend” of Highway 550 above Silverton. The approved CDOT Access Permit was previously submitted. The site has an existing dead end driveway loop visible from Highway 550. There is a proposed driveway extension, starting at the existing dead end driveway loop (for access in order to move the proposed building envelope into the trees).
- Propane:** The Applicant plans to utilize propane for cooking. The propane will be kept in a permanent aboveground or buried tank.
- Heating:** Heat for the residence is planned as in floor heating utilizing electric, with propane backup heat. The Applicant is also proposing two wood-burning devices (fireplace and/or woodstove, for an emergency heat source).
- Lighting:** All proposed lighting is required to be in conformance with the “dark sky” requirements of San Juan County. The proposed lighting shall also comply with the Town’s “dark sky” regulations, because the project site is within the Town-County Mutual Overlay District.
- Solid Waste Management:** The Applicant will be responsible for bi-weekly trash disposal. According to County regulations, property owners are responsible for solid waste transportation and solid waste disposal fees. On-site trash will need to be contained within a structure at all times until removal to the Transfer Station.
- Foundation:** The foundation is expected to include spread footings, a partial basement (with a walk-out basement level door on the downhill side of the structure), and an interior garage slab. Rex Goodrich PE of Grand Junction will be providing geotech recommendations in June.
- Retaining Wall:** There are proposed retaining walls located along the proposed driveway extension. The purpose of the proposed retaining walls are for proposed grading, to accommodate parking, a vehicle/propane truck/fire truck turnaround area, and a snow plowing/storage area. The proposed retaining walls will be designed by Colorado Professional Engineer Brian Briggs PE of Montrose, using the forthcoming geotech recommendations.
- Subsurface Conditions:** Geotech recommendations will be available in June. The subsurface conditions are described in the septic system design documents in

PROJECT NARRATIVE
Preliminary-Final Plan
Proposed Rose Residence, Hector Lode
Engineer Mountain, Inc.

this application. No bedrock and no groundwater was encountered in Summer 2024, to eight feet depth in the two septic profile test pits. The water well driller's report in the Phase 1 study recorded bedrock at 62 feet deep.

Landscaping:

Landscaping is to consist of raking and removal of combustible ground cover near the residence, as recommended by the Colorado State Forest Service Firewise Practices, to develop adequate defensible space. Revegetation and screening will be provided by the Applicant in accordance with the requirements of San Juan County. The Applicant plans to reseed and plant trees on a portion of the existing dead-end driveway loop.

Surveying:

A survey plat for the Hector Lode (and adjacent claims) was prepared by E. Schaaf and Associates in 2005. A signed and stamped copy of the E. Schaaf and Associates survey plat is included within this application for your review. Additional survey work has recently been provided by licensed surveyor Tim Barnett of SGM. Topographic contours within the building envelope were obtained to use for the layout and design of the proposed improvements. The 2024 SGM hazard map is included in this application for your review. The surveyor Tim Barnett of SGM staked the proposed improvements at the site in May 2025, which was a "condition of approval." The Surveyor, Tim Barnett of SGM, is currently preparing a proposed Lot Consolidation Plat.

Wetlands:

There are no known wetlands observed on the project site in the areas of the proposed limits of construction.

Building Envelope:

The proposed building envelope was selected by the Applicant to be located in the most heavily-treed part of the project site, which is generally surrounded by evergreens, aspens, and bushes to maximize natural screening. The proposed building envelope slopes down towards the Town of Silverton, Mineral Creek, and the intersection of Highway 550 and the County Road to the Little Dora. In relation to the Town "grid," the proposed building envelope roughly lines up with Bluff and Keystone Street. The proposed building envelope was moved into the trees by the Applicant, instead of being located at the more visible existing dead end driveway loop.

PROJECT NARRATIVE
Preliminary-Final Plan
Proposed Rose Residence, Hector Lode
Engineer Mountain, Inc.

- County Avalanche Map:** The Vicinity Map for this project has been overlaid onto the County Avalanche Hazard Map. The plan sheet is included within this application for your review. According to the County Avalanche Hazard Map, the majority of the project site, and all of the proposed building envelope, appear to lie outside of potential avalanche hazard areas.
- Mining Hazards:** The Inventory (list of parcels) in the County's Environmental Remediation Ordinance was checked, and none of the four parcels associated with the project site were found on that list. Because of nearby ongoing reclamation projects, the CDPHE reviewed this application for the County in February 2025. The Applicant has a Phase 1 Study which is included in this application.
- County Geohazards Map:** The project Vicinity Map has been overlaid onto the County Geohazards Map, and the plan sheet is included within this application for your review. According to the County Geohazards Map, the project site appears to be in an area designated as CST, which is believed to represent "colluvial slope/talus."
- Elevation at Structure:** The elevation at the project site benchmark is approximately 9,428 feet. That is below 11,000 feet elevation, where the County has a limit on residence square footage.
- Residence Size:** The proposed residence size is one story, and it is designed to have a walkout basement located underneath part of the main floor level. Structural Draftsman Paul Lane of Montrose is updating the building plans, which currently depict a first floor area of approximately 4,232 square feet. Additional square footage would be some exterior decks, and the partial basement. The most recent building plans are included in this application for your review.
- Residence Style:** The style of the proposed residence could be considered "mountain modern," with wooden board siding, stone accents, and some non-reflective black steel/metal accents.
- Building Plans:** Updated building plans for the proposed residence have been prepared for the Applicant by structural draftsman Paul Lane of Montrose. The Applicant has retained a local Colorado Licensed Structural Professional Engineer (Brian Briggs PE of Montrose) who will utilize the forthcoming geotech recommendations to prepare the Structural PE-stamped building plans. The latest version of the building plans are included in this application for your review.

PROJECT NARRATIVE
Preliminary-Final Plan
Proposed Rose Residence, Hector Lode
Engineer Mountain, Inc.

Building Materials:

The building materials for the proposed residence consist of the following: wooden board siding (probably tan brown), non-reflective dark metal roofing material (probably black standing seam), natural stacked stone used as accents (probably tan and brown variegated rectangular rock), and some black steel/metal accents/structural components.

Residence Height:

The proposed residence will consist of one main level/story. There is a proposed partial basement underneath. The updated building plans are included in this application for your review. The residential first floor height estimated on the current building plans is 22 feet 6 inches, measured from the proposed ground surface, to the highest part of the roof (excluding the chimney). A basement level, due to the slope, located under part of the one-story residence, would be approximately 12 feet tall. A “story pole” was installed at the site in May, at the highest location of the proposed roof. The top of the story pole was visible from Town. The project consultants have lowered the proposed Finished Floor Elevations (FFE) approximately five feet, since the top of the story pole was visible.

Retaining Wall:

There are proposed retaining walls along the proposed driveway extension. Where the proposed retaining walls are a total of five feet or taller they will be “engineered” by the Structural Engineer using the forthcoming geotech recommendations.

Screening:

Based on the recent site visit, we received the following information from the County Administrator via email on June 5:

“Hi Lisa,
Thanks for meeting with Bevan and I yesterday to do a site visit of the Hector Lode.
Now that the improvements have been staked it allows for a more accurate on-site review.
I believe at this time my primary concern of the proposed improvements is the visual impact.
It is good to know that the elevation of the structure will be reduced by 5 feet and that should help to reduce the visual impact.
I am however, concerned that due to the large footprint for the structure that the number of large pine trees that will need to be removed will greatly reduce the screening of the house.
I think we have a couple of options to consider.
1. The applicant flag all of the trees outside of the building corners as staked out on site that will need to be removed. We could then revisit the site and make a determination as to the visual impact.
2. That as a condition of approval that we prohibit any large pine tree from being removed that are located outside the staked building corners

PROJECT NARRATIVE
Preliminary-Final Plan
Proposed Rose Residence, Hector Lode
Engineer Mountain, Inc.

unless specifically approved by the County. With this option we would look at each tree on a case by case basis to determine why it needed to be removed, are there any alternatives and what will be the visual impact if it is removed.

Option 3 may be considered a requirement regardless of following option 1 or 2.

3. That the applicant be required to replace any large pine tree removed from outside the staked building corners with a large pine of similar size and placed in a location to maximize the screening. The applicant would also be responsible to replace any of the transplanted trees that do not survive.

If you or the applicant have any other thoughts on how to address this I would be happy to consider them.

I believe that it is critical that we preserve as many of the large pine trees as possible, and should make every effort to do so.

Please let me know if you have any questions.

Thanks, Willy”

The Applicant is proposing to plant large evergreen screening trees between the proposed house, decks, and the Town. The proposed trees will be strategically placed between the structure and Town to entirely or partially block the view of the structure from town. A Screening Plan has been prepared by Project Consultant Paul Lane.

After placement of the story-pole in May 2025, the building plans were revised. The Finished Floor elevations (FFE) were lowered approximately five feet in elevation. The lower FFEs will help to reduce the visibility of the proposed structure as viewed from Town. The story-pole at the site has not been shortened, and it is currently about five feet taller than the highest part of the roof. That is because the FFEs are now lowered five feet in elevation.



San Juan County Public Health
1315 Snowden St
Silverton, CO 81433

On-Site Wastewater Treatment System (OWTS) Permit Application

Owner: DAMON ROSE Phone: (404) 831-3114
Project Address (street, town/city, zip): HECTOR LOPE, HWY 550, NEAR SILVERTON
Assessor's Parcel #*: 48290190010006 Subdivision: N/A Lot#: N/A
Lot Size: 7 (acres) # of Dwellings: 1 # of Bedrooms: 3 or 4 Water Supply: EXISTING WELL
List Commercial Uses (e.g., office, factory, event venue): N/A
Owner's Mailing Address: 4501 HARRIS TRAIL NW, ATLANTA GA 30327
Owner's Email Address: damon@droseinc.com

For detailed parcel information please visit your county assessor's website or see your property tax statement

On-site Wastewater Treatment System (OWTS) Permit Types

Choose the most applicable permit type from the list below and check the box in upper-left corner

<input checked="" type="checkbox"/> New Construction - (\$1123.00) <i>For new OWTS and complete system replacement</i> <ul style="list-style-type: none">Contact Registered Soil Technician and/or Professional Engineer (PE) or system designer for analysis and design development. A PE may be required dependent on site and soil conditions.A design must be submitted to La Plata County (LPC). San Juan County (SJC) must have payment for LPC to review designs for permit issuance.	<input type="checkbox"/> Alteration - (\$1068.00) <i>For changes/additions to existing permitted OWTS</i> <ul style="list-style-type: none">Contact Registered Soil Technician and/or Professional Engineer (PE) or system designer for analysis and design development. A PE may be required dependent on site and soil conditions.A design must be submitted to La Plata County (LPC). San Juan County (SJC) must have payment for LPC to review designs for permit issuance.
<input type="checkbox"/> Change Of Use - (\$518.00) <i>For expanded use (e.g., bedroom count) of an existing permit without system modifications, OR new service connections (e.g., garages, shops) added to an existing permit</i> <ul style="list-style-type: none">For expanded use, provide a certification report from a Professional Engineer (PE) or system designer.For new service connections, provide a proposed site plan and describe scope of work below.Change of Use does NOT allow for connection of new uses (e.g., second dwellings, ADUs) unless the system was originally designed for it – use Alteration instead	<input type="checkbox"/> Minor Repair - (\$408.00) <i>For replacement of OWTS components with no change to permitted use</i> <ul style="list-style-type: none">Submit application with payment, transfer of title inspection report (if available) and a simple site plan showing location of repairs.List repairs/scope of work below (e.g. tank replacement, aerators, pipe repairs, etc.)A permit is NOT required for repair of components that do not provide treatment (e.g., fencing, tank lids, inspection ports)

Please describe in detail work to be completed: PROPOSED OWTS DESIGNED BY
DUDLEY ASHWOOD PE FOR PROPOSED SINGLE-FAMILY
RESIDENCE.

I acknowledge: (1) The information provided in this application is true and accurate to the best of my knowledge; (2) Submittal of this application does not constitute or guarantee approval of the requested permit or document; (3) Issuance of the requested permit or document does not assure that: (a) Final approval of the proposed system will be obtained upon inspection; or that (b) The permitted OWTS system will operate as intended; and that (4) I am responsible for the proper installation, repairs and maintenance of the OWTS system in accordance with the rules and regulations set forth in the SJCPH regulations, as well as any specific conditions of approval that may be imposed on issuance of the requested permit or document.

Owner's Signature: [Signature] Date: 1/28/25

Submit completed application to eh@lpcgov.org or at our office location.

This is NOT a permit; this application does not authorize construction or repairs.
All OWTS construction/repair work must be performed by an installer licensed by La Plata County.

September 26, 2024

NEW ON-SITE WASTEWATER TREATMENT SYSTEM

PROPERTY OF: DAMON ROSE
 HECTOR LODE #14327A
 SILVERTON, CO

A new 4 bedroom home is planned on this 18.1 acre total property, to be served with a new on-site wastewater treatment system (OWTS). The new home site is planned in the north-central portion of the property. The new OWTS will consist of a Septic Tank and a Soil Treatment Area (STA). The STA is planned to the north of the home site, in a widely spaced aspen forest, in moderate sloping terrain grading to the northeast where the terrain grade is in the 16 +/- % range.

Site soils within the planned STA are a silt loam. Soil and site conditions warrant the use of Bed construction with Infiltrator Chambers, using gravity flow for the STA.

This OWTS is designed in compliance with the requirements of the La Plata County Public Health (LPCPH) OWTS 2024 Regulations ⁽¹⁾

STA location:

- 37°46.584' N 107°38.438' W
- elevation 11,600 feet
- USDA/NRCS soils are reported as Needleton stony loam
- mean annual precipitation: 30 to 45 inches
 - parent material: colluvium
 - landform: mountain slope
 - slope: northeast 16 +/- %

Soils observed in deep test pits in the vicinity of the planned STA recorded:

DP1,2 0" - 4" forest litter
 4" - 15" brown silt loam topsoil
 15" - 96" light brown silt loam [granular.moderate][Soil Type 2][Table 10-1⁽²⁾]
 few 8"+/- rocks @ 60" +, no water, no limiting layer

Wastewater Flow: Table 6-1⁽²⁾: Residential: 4 bedrooms design flow: **$Q_D = 525$ gpd**

Septic Tank: Table 9-1⁽²⁾: **provide 1250 gallon septic tank with effluent screen**

Proposed STA: Bed with Quick4 Infiltrator™ Chambers

- From visual and tactile inspection: Table 10-1⁽²⁾: **Soil Type is 3A, LTAR = 0.30 gpd/sf**
- STA area required = 525 gpd / 0.60 gpd/sf = 875 sf
- STA Size Adjustment/Application: Table 10-2 ⁽²⁾: Bed/Gravity factor = 1.2
- STA area required = 875 sf x 1.2 = 1050 sf
- STA Size Adjustment/Distribution Media: Table 10-3 ⁽²⁾:
- Chamber factor: STA reduction allowed for Chambers = 0.7
- STA area required = 1050 x 0.7 = 735 sf
- use 4 rows of chamber per bed, use bed width = 12'
- minimum length of bed required = 735 sf / 12' = 61.25'

dudley ashwood, p.e.

c i v i l e n g i n e e r

- provide one (1) bed @ 12' x 64' w/ 4 rows of Chambers @ 60 lf each
- total chamber area = 1 bed x 60' x 12' = 720 sf
- 720 sf / 735 sf = 98% > 90%: ok

- **PROPOSED:**

- **Install 1250 gallon septic tank with effluent screen**

- **construct Soil Treatment Area:**

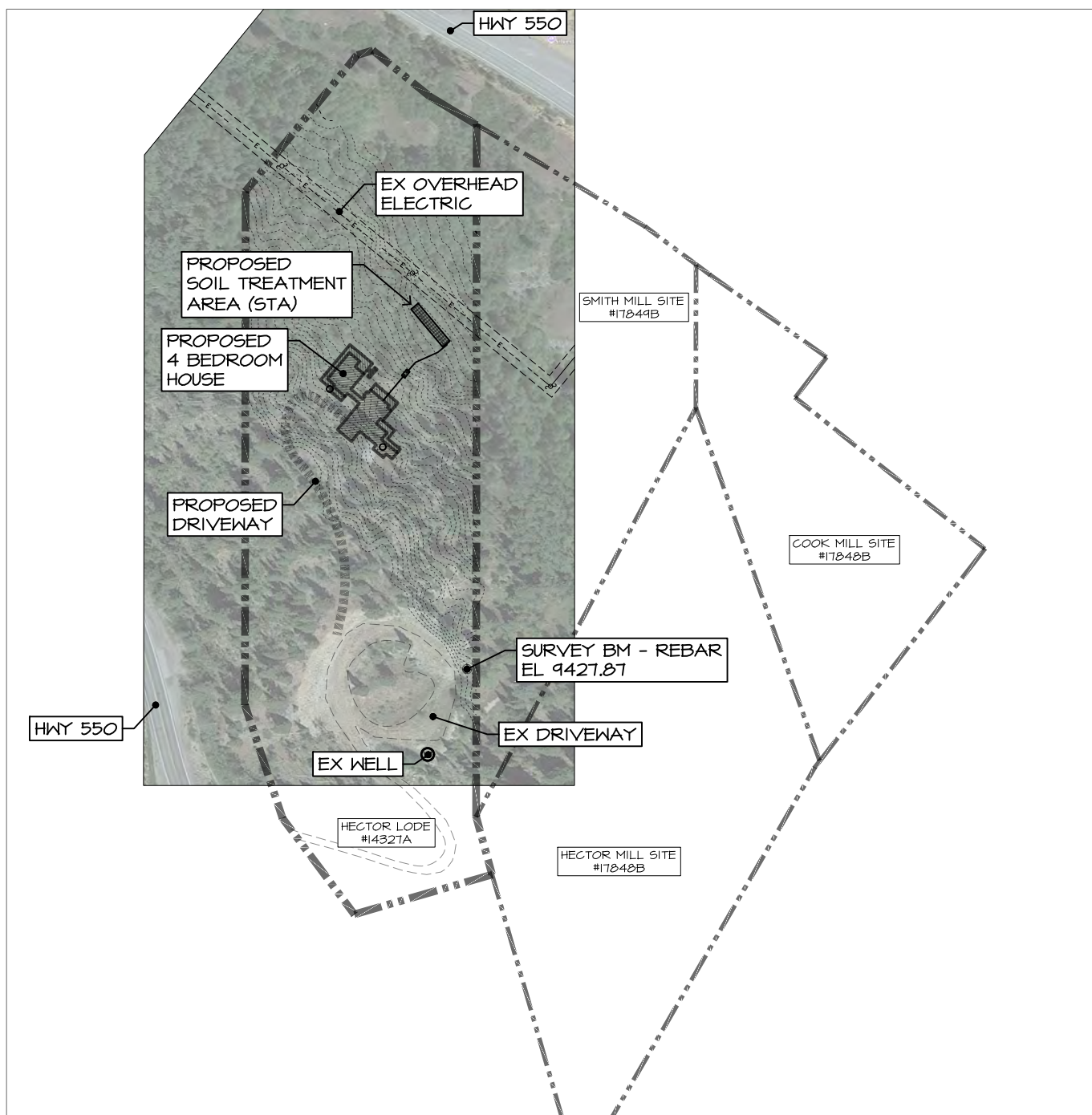
- one (1) BED @ 12' x 64' = 768 sf
- set bottom of bed level, 24" min 48" max deep, align with grade
- 4 rows of Quick4 Infiltrator™ chamber, with 60 lf per row of chamber, with gravity flow
- set top of chamber elevation below septic tank outlet invert



- All OWTS work shall be inspected and certified by the design engineer

(1) La Plata County Public Health (LPCPH) On-Site Wastewater Treatment Systems Regulations 2024

(2) Regulation 43



ALL LOCATIONS MAY VARY

WATER SUPPLY - EX WELL

EXISTING DATA FROM SURVEY BY SGM 9/3/2024, TOPOGRAPHY FROM USGS LIDAR 2017, GOOGLE EARTH IMAGERY. ALL LOCATIONS ARE APPROXIMATE ONLY



dudley ashwood, p.e.

civil engineer

1961 thunderbird road . hesperus . co . 81326
970.903.9811 - dudley.ashwood@gmail.com

LOCATION PLAN

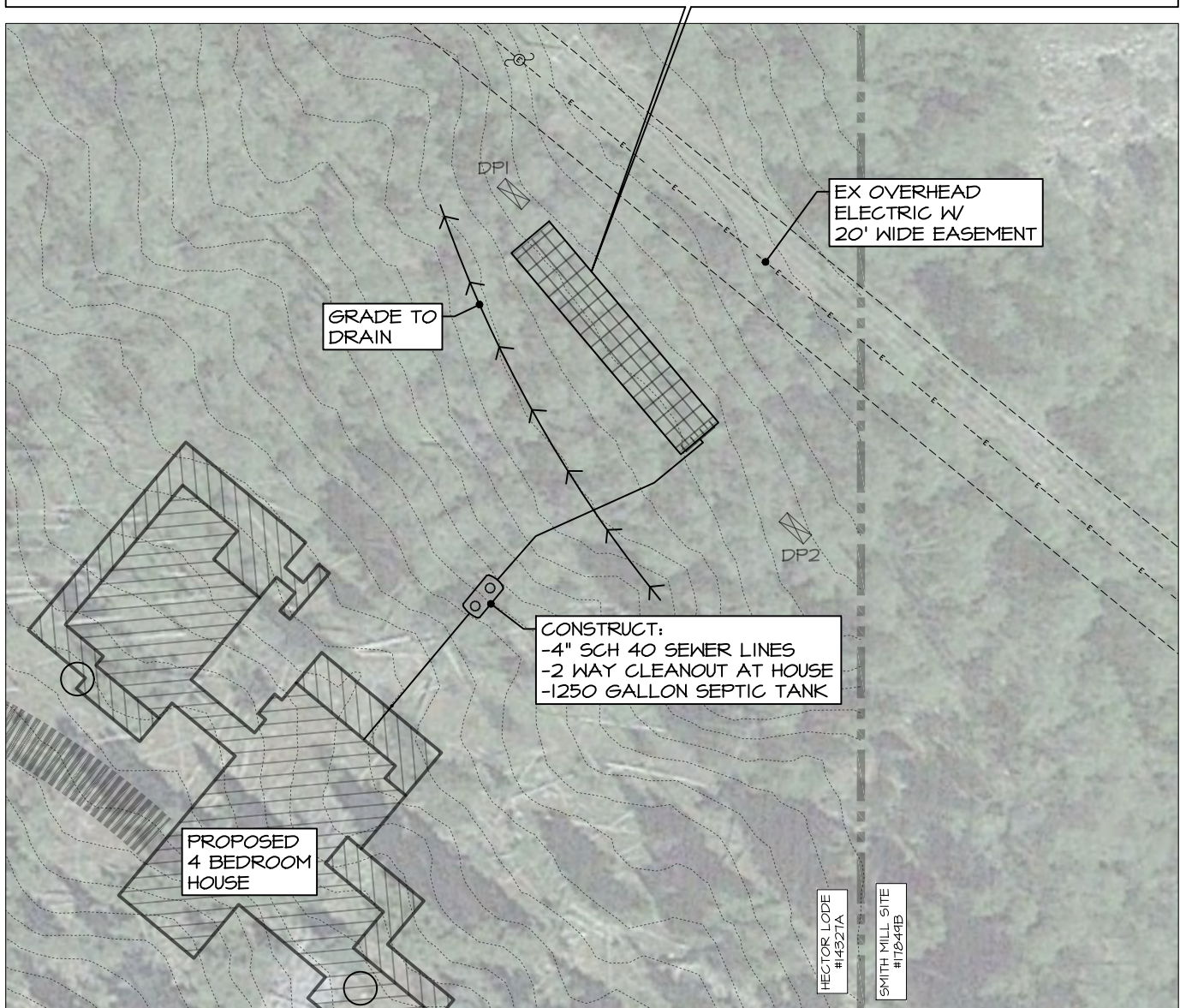
PROPERTY OF DAMON ROSE
HECTOR LODE #14327A
SILVERTON, CO

SEPTEMBER 26, 2024
SCALE 1" = 200'



CONSTRUCT NEW SOIL TREATMENT AREA (STA): PROVIDE 768 SQ FT OF BED AREA.

-EXCAVATE ONE (1) 12' X 64' BED, SET BOTTOM OF BED LEVEL, ALIGNED WITH GRADE, 24" MIN 48" MAX INTO EX GRADE. IN BED, INSTALL 4 ROWS OF QUICK 4 PLUS INFILTRATOR UNITS (60 LF PER ROW, 15 UNITS PER ROW, 60 UNITS TOTAL PER BED), WITH END CAPS. BACKFILL BED WITH CLEAN NATIVE SOIL. FILL TO FINISHED GRADE AND MOUND WITH TOPSOIL, CLEAN SITE SOILS. MOUND AND GRADE SYSTEM AREA TO DRAIN, AND ESTABLISH FINAL VEGETATIVE COVER (ALPINE MIX).



ALL LOCATIONS MAY VARY

WATER SUPPLY - EX WELL

EXISTING DATA FROM SURVEY BY SGM 9/3/2024, TOPOGRAPHY FROM USGS LIDAR 2017, GOOGLE EARTH IMAGERY. ALL LOCATIONS ARE APPROXIMATE ONLY

dudley ashwood, p.e.

civil engineer

1961 thunderbird road . hesperus . co . 81326
970.903.9811 - dudley.ashwood@gmail.com

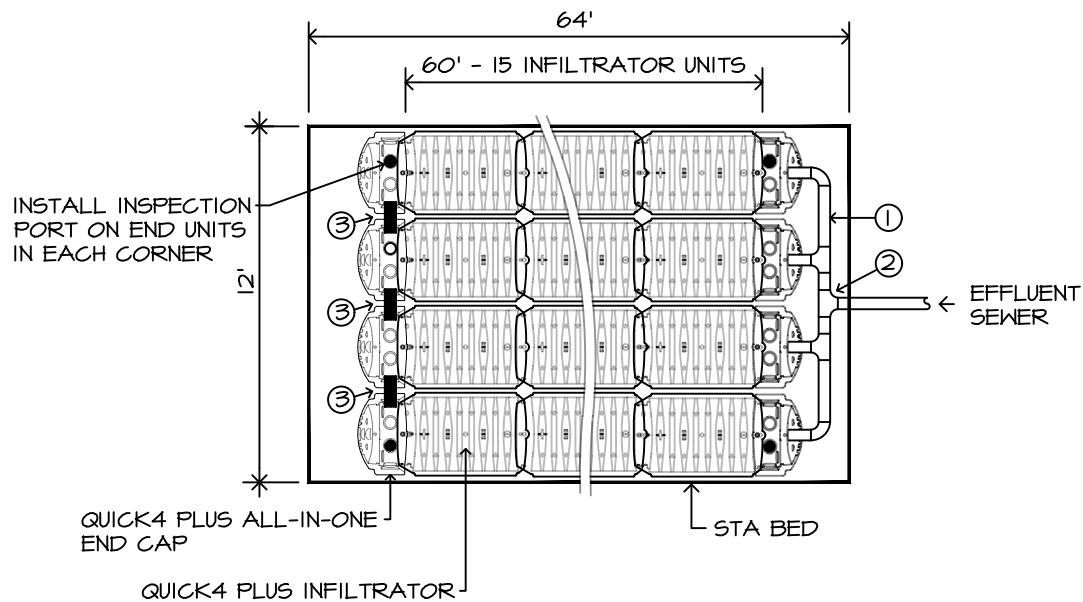


SITE PLAN

PROPERTY OF DAMON ROSE
HECTOR LODE #14327A
SILVERTON, CO

SEPTEMBER 26, 2024
SCALE 1" = 40'





- ① CONSTRUCT 4" PVC 'DISTRIBUTION HEADER'. SET LEVEL. CONNECT INTO UPPER PORT OF EACH END CAP. SET SPLASH BLOCK BELOW EACH INLET. USE 12'X12' CONCRETE PAVER OR EQUAL.
- ② CONNECT EFFLUENT SEWER TO CENTER OF 'DISTRIBUTION HEADER'.
- ③ CONNECT END CAPS AT TOP WITH 4" PVC (TYP)

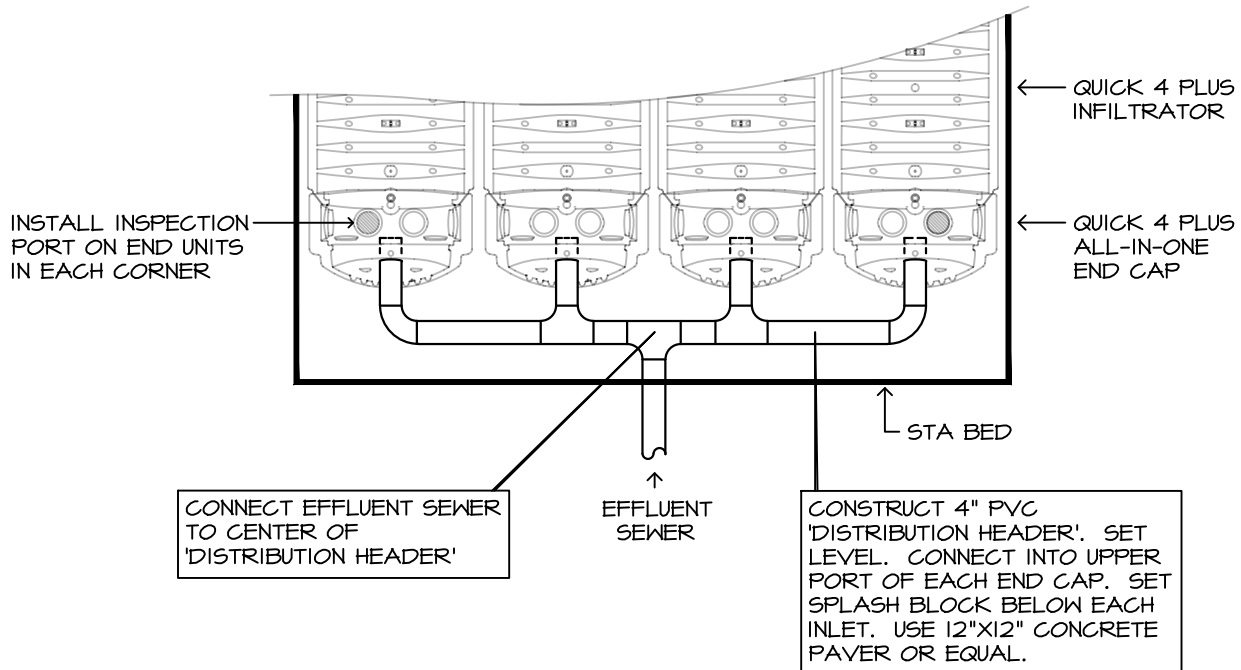
dudley ashwood, p.e.
civil engineer

1961 thunderbird road . hesperus . co . 81326
970.903.9811 - dudley.ashwood@gmail.com

STA - PLAN

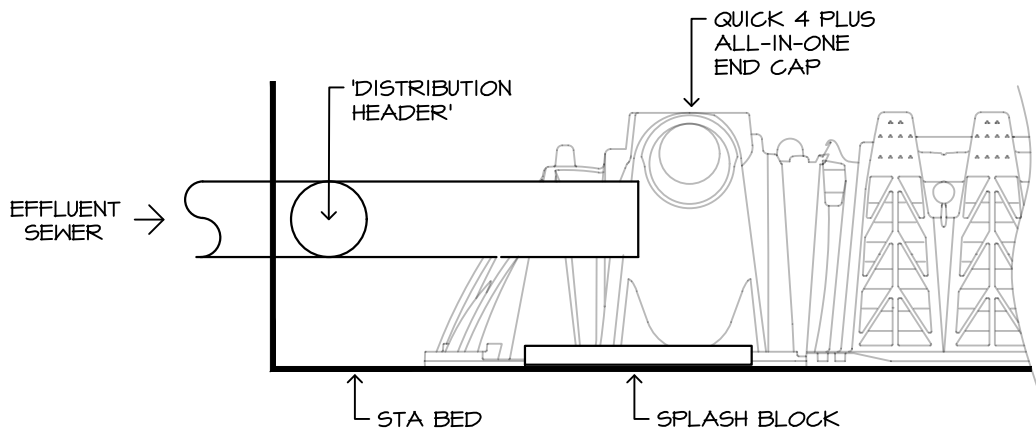
PROPERTY OF DAMON ROSE
HECTOR LODGE #14321A
SILVERTON, CO

SEPTEMBER 26, 2024



PLAN

NTS



SECTION

NTS

dudley ashwood, p.e.

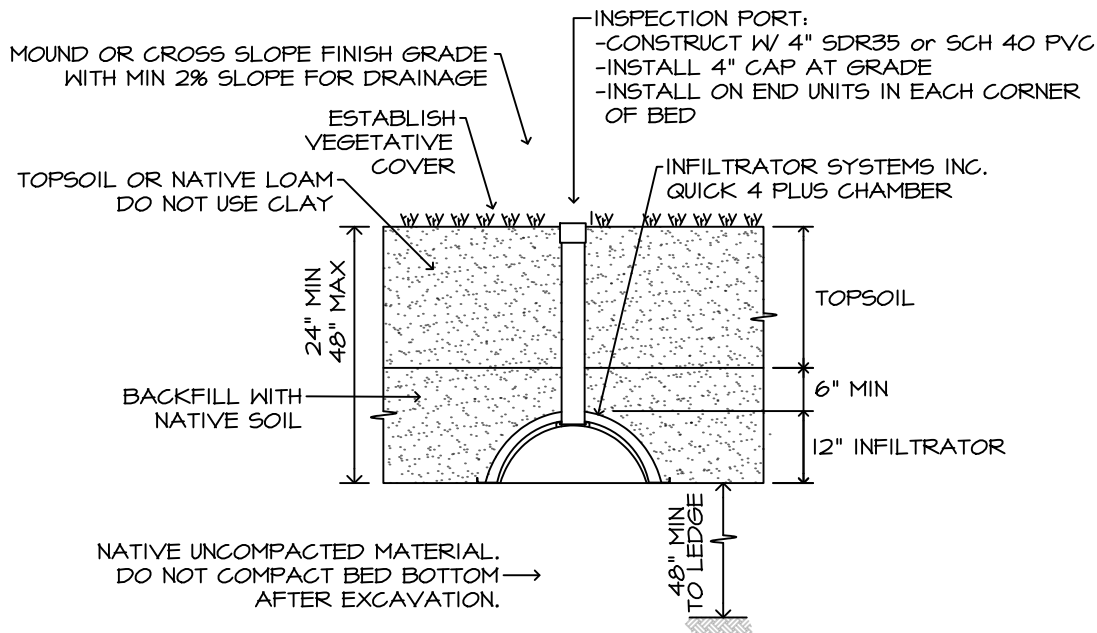
c i v i l e n g i n e e r

1961 thunderbird road . hesperus . co . 81326
970.903.9811 - dudley.ashwood@gmail.com

STA - DISTRIBUTION HEADER

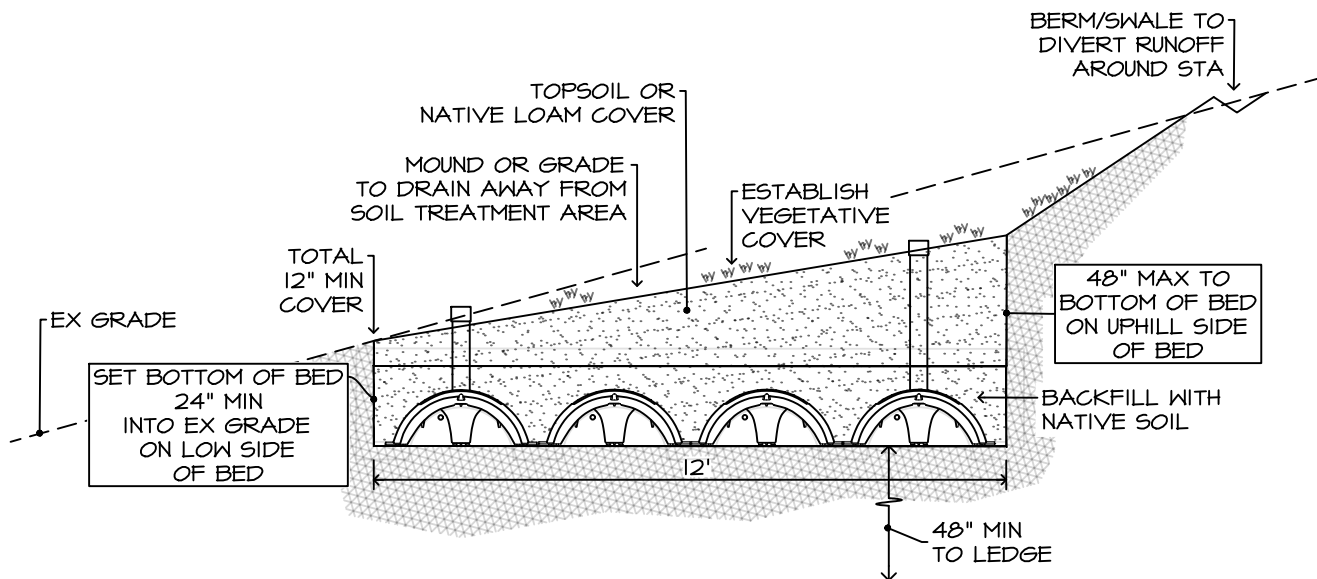
PROPERTY OF DAMON ROSE
HECTOR LODE #14327A
SILVERTON, CO

SEPTEMBER 26, 2024



TYPICAL INFILTRATOR SECTION

NTS



BED SECTION

NTS

dudley ashwood, p.e.

civil engineer

1961 thunderbird road . hesperus . co . 81326
 970.903.9811 - dudley.ashwood@gmail.com

SOIL TREATMENT AREA (STA) - DETAILS

PROPERTY OF DAMON ROSE
 HECTOR LODE #14327A
 SILVERTON, CO

SEPTEMBER 26, 2024

GENERAL NOTES

1. ALL CONSTRUCTION AND COMPONENTS SHALL CONFORM TO THE CURRENT LA PLATA COUNTY PUBLIC HEALTH (LPCPH) REGULATIONS, ALL LOCAL AND NATIONAL REGULATIONS, MANUFACTURER'S GUIDELINES, AND REQUIREMENTS AS MAY BE STIPULATED HEREIN.
2. DESIGN APPROVAL BY THE LPCPH IS REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. CONTACT THE DESIGN ENGINEER PRIOR TO COMMENCEMENT OF CONSTRUCTION IF YOU HAVE ANY QUESTIONS - CALL ME AT 970.903.9811.
4. LPCPH AND THE DESIGN ENGINEER SHALL INSPECT SYSTEM CONSTRUCTION. NOTIFY LPCPH AND THE ENGINEER PRIOR TO COMMENCEMENT OF CONSTRUCTION FOR SCHEDULING PURPOSES. REQUIRED INSPECTIONS MAY INCLUDE:
 - COMPLETED INSTALLATION PRIOR TO BACKFILL
 - FINAL GRADING AND LANDSCAPING
5. CALL BEFORE YOU DIG - CALL 811 - OR - 1-800-922-1987 - OR - www.co811.org.
6. VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
7. VERIFY THE LOCATION AND ELEVATION OF ALL OWTS COMPONENTS PRIOR TO CONSTRUCTION. CONTACT THE DESIGN ENGINEER (970-903-9811) IF A CONFLICT WITH THE INTENT OF THIS PLAN IS DISCOVERED.
8. MAINTAIN ALL REQUIRED SETBACKS FROM ALL OWTS COMPONENTS.
9. PROHIBIT VEHICULAR AND LARGE ANIMAL TRAFFIC OVER ABSORPTION AREAS.
10. DO NOT DISCHARGE WATER TREATMENT DISCHARGES NOR CONNECT BUILDING DRAINS TO THIS ON-SITE WASTEWATER TREATMENT SYSTEM.

CONSTRUCTION NOTES

1. SEWER LINES SHALL BE 4" SCH 40 PVC FOR 5' MIN FROM TANKS AND BUILDINGS, AND MAY BE 4" SCH 40 PVC OR 4" SDR 35 ELSEWHERE.
2. MINIMUM SEWER PIPE SLOPE SHALL BE 2.0% (1/4" PER FOOT).
3. INSTALL CLEANOUT TO GRADE ON SEWER LINE AT BUILDING(S) AND CHANGES IN DIRECTION PER UPC, AND AT MIN 100' INTERVALS.
4. NEW SEPTIC TANKS SHALL BE OF THE SIZE NOTED ON PLANS, WITH RISER AND COVER TO GRADE ABOVE TANK INLET AND OUTLET, AND SHALL BE PROVIDED WITH EFFLUENT SCREEN. TANKS SHALL BE APPROVED FOR USE IN COLORADO.
5. CONSTRUCT NEW SOIL TREATMENT AREA (STA) - SEE NOTES ON SITE PLAN.
6. GRADE AREA ABOVE SOIL TREATMENT AREA TO DIVERT RUNOFF AROUND SYSTEM AREA.

SETBACKS: (AS OF 11/10/2014):

	SEPTIC TANK	SOIL TREATMENT AREA (STA)
SPRINGS, WELLS, SUCTION LINES, CISTERN	50'	100'
POTABLE WATER SUPPLY LINES	10'	25'
STRUCTURE W/ BASEMENT OR FOOTING DRAIN	5'	20'
STRUCTURE W/OUT BASEMENT OR FOOTING DRAIN	5'	10'
PROPERTY LINE	10'	10'
SUBSURFACE DRAIN, INTERMITTENT IRRIGATION LATERAL	10'	25'
LAKE, WATERCOURSE, IRRIGATION DITCH, STREAM	50'	50'
DRY GULCH	10'	25'
SEPTIC TANK	--	5'
DRY GULCH, CUT BANK, FILL CREST	10'	25'

dudley ashwood, p.e.

c i v i l e n g i n e e r

1961 thunderbird road . hesperus . co . 81326
970.903.9811 - dudley.ashwood@gmail.com

NOTES

PROPERTY OF DAMON ROSE
HECTOR LODE #14327A
SILVERTON, CO

SEPTEMBER 26, 2024

NEW OWTS - ROSE PROPERTY - SILVERTON, CO

1 message

Dudley Ashwood <dudley.ashwood@gmail.com>

Thu, May 15, 2025 at 7:43 PM

To: EH <eh@lpcgov.org>

Cc: Lisa Adair <engineermountaininc@gmail.com>, Damon Rose <damon@droseinc.com>

Hi All

Please delete the previous submittal for the ROSE PROPERTY, and replace with the following.

Attached please find a design for a **NEW ON-SITE WASTEWATER TREATMENT SYSTEM** for the ROSE PROPERTY, HECTOR LODE #14327A, SILVERTON, CO, Parcel #48290190010006, for your review and approval.

The attached application and payment is being made to San Juan County Public Health concurrently.

As always, thanks for your attention.
Dudley

dudley ashwood, p.e.

c i v i l e n g i n e e r

1961 thunderbird road . hesperus . co . 81326

970.903.9811 - dudley.ashwood@gmail.com

2 attachments**10 REPORT - ROSE.pages.pdf**
2709K**Signed SJCPH Septic Permit App Form, Hector Lode, Rose Residence.pdf**
1175K



San Juan County Public Health

1315 Snowden St.
Silverton, CO 81433

FEES / RECEIPT

This receipt is not a permit. Do not begin construction or repairs until a permit is signed and issued.

Wednesday, June 4, 2025

Permit #: **WWPSJ2025-0002**

Permit Type: **CONSTRUCTION**

Address:

Parcel: **48290190010006**

PROPOSED OWTS DESIGNED BY DUDLEY ASHWOOD PE FOR PROPOSED SINGLE-FAMILY RESIDENCE

PRIMARY CONTACT - PROP OWNER

DAMON ROSE
4501 HARRIS TRAIL NW
ATLANTA, GA 30327
(404) 831-3114

FEE SUMMARY

DATE	DESCRIPTION	FEE AMOUNT	PAID	BALANCE DUE
06/04/2025	New OWTS Permit (Construction)	\$1,123.00	(\$1,123.00)	\$0.00
TOTAL DUE:		\$1,123.00	(\$1,123.00)	\$0.00

PAYMENT TRANSACTIONS

DATE	RECEIPT #	METHOD	PAYEE	AMOUNT
06/04/2025	REC007742	CHECK	DAMON ROSE	(\$1,123.00)
	COMMENT: CHECK MAILED TO SJC 6/3/25		New OWTS Permit (Construction)	(\$1,123.00)



Lisa Adair <engineermountaininc@gmail.com>

RE: NEW OWTS - ROSE PROPERTY - SILVERTON, CO

1 message

EH <EH@lpcgov.org>

Wed, Jun 4, 2025 at 9:19 AM

To: Dudley Ashwood <dudley.ashwood@gmail.com>

Cc: Lisa Adair <engineermountaininc@gmail.com>, Damon Rose <damon@droseinc.com>

Hello,

This has been received and is scheduled to be reviewed by the end of the day 6/25. However, please note that if corrections need to be made or additional materials are required the issue date may be pushed back beyond that initial review date.

Thanks,

Samantha Bustillos

970-828-8810

sbustillos@lpcgov.org

Environmental Health Assistant



From: Dudley Ashwood <dudley.ashwood@gmail.com>

Sent: Thursday, May 15, 2025 7:44 PM

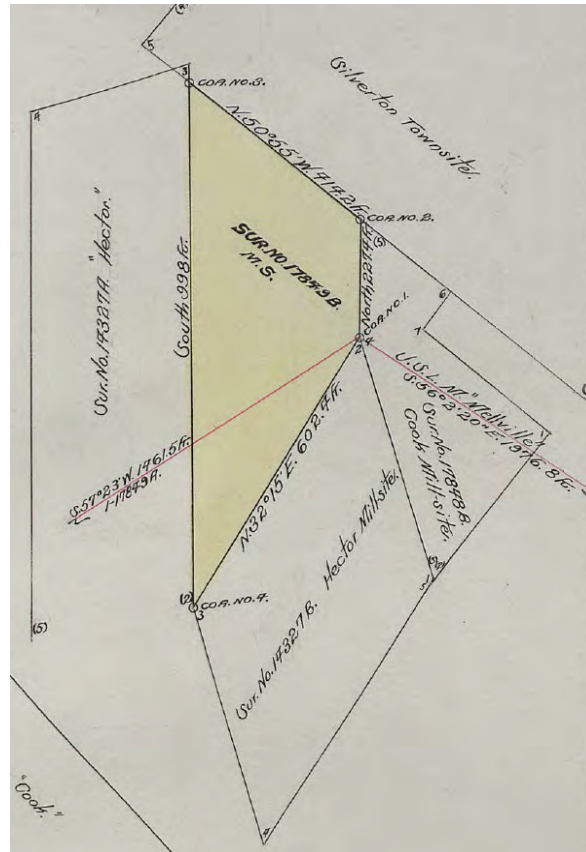
To: EH <EH@lpcgov.org>

Cc: Lisa Adair <engineermountaininc@gmail.com>; Damon Rose <damon@droseinc.com>

Subject: NEW OWTS - ROSE PROPERTY - SILVERTON, CO

SCENIC QUALITY REPORT ADDENDUM

Proposed Rose Residence Hector Lode USMS No. 14327 et al Highway 550, near Silverton San Juan County, Colorado



Applicant:

Damon Rose
4501 Harris Trail NW
Atlanta, GA 30327-3813
(404) 831-3114

Prepared By:

Engineer Mountain, Inc.
Attn: Lisa Adair PE
962 Reese Street
PO Box 526
Silverton, Colorado 81433
(970) 387-0500
Job No. 2024-101

Submitted:

June 24, 2025

SCENIC QUALITY REPORT ADDENDUM
Hector Lode, USMS No. 14327
Prepared By Engineer Mountain, Inc.

1. INTRODUCTION AND SITE LOCATION

San Juan County regulations state the following:

All residential development shall be required to submit a Scenic Quality Report at the time of sketch plan submittal.

This document is a Scenic Quality Report Addendum for the proposed Rose Residence, located on the Hector Lode, USMS No. 14327, prepared by Engineer Mountain, Inc. This is the second Scenic Quality Report submitted for this project. For additional background information, refer to the original Scenic Quality Report submitted on January 28, 2025.

The Hector Lode is located near Silverton on Highway 550. The closest neighbor/development is/was the Sasquatch Campers manufacturing facility. At the top of the project site is Highway 550. At the bottom of the site is the intersection of Highway 550 and the County Road to the Little Dora.

There is an existing frontage road driveway to the Hector Lode off of Highway 550. The proposed Hector Lode building envelope is on the heavily-treed hillside above Silverton, roughly in line with the “Town grid” at Bluff and Keystone Streets.

An aerial map of the project site from the County Assessor’s website, is provided on the following page.

SCENIC QUALITY REPORT ADDENDUM
Hector Lode, USMS No. 14327
Prepared By Engineer Mountain, Inc.



An aerial map of the project site from the County Assessor's website.

SCENIC QUALITY REPORT ADDENDUM
Hector Lode, USMS No. 14327
Prepared By Engineer Mountain, Inc.

2. PROPOSED BUILDING FOOTPRINT

The County regulations require that this Scenic Quality Report include the following information:

Designations of scenic views of natural and historic features both from and toward the site and descriptions of how these vistas shall be preserved. Graphic depictions of the proposed structure's impact on these views shall be submitted to allow staff, the Planning Commission, and the Board of County Commissioners to assess the impacts of the project and the effectiveness of proposed mitigation measures.

The proposed building footprint was selected by the Applicant. It is believed to be the least visible area on the site for a proposed structure, due to dense evergreens and aspens, estimated at approximately 20 to 50 feet tall.

The corners of the proposed residence have been staked by Project/Licensed Surveyor Tim Barnett of SGM in May 2025, as well as staking of the proposed improvements (driveway extension, retaining wall, leachfield).

A story pole was placed in May 2025. At the top of the story pole, we attached a bright orange hunting vest. There are pictures of the story pole in this report. Because the story pole was visible from town, the proposed building Finished Floor Elevations (FFE's) have been lowered approximately five feet. The story pole in the pictures is now five feet too tall.

New photos from May 2025 of the proposed building footprint stakes are included on the following two pages.

SCENIC QUALITY REPORT ADDENDUM
Hector Lode, USMS No. 14327
Prepared By Engineer Mountain, Inc.



May 2025 Photo of the proposed building footprint stakes, looking towards the north. The story pole is visible (and due to recent building design revisions, it is 5 feet too tall in the picture).



May 2025 photo of the proposed building footprint stakes, looking towards the south. The story pole is visible (and it is 5 feet too tall in the picture)

SCENIC QUALITY REPORT ADDENDUM
Hector Lode, USMS No. 14327
Prepared By Engineer Mountain, Inc.



May 2025 photo of the proposed building footprint stakes looking towards the east. The story pole is visible (and it is 5 feet too tall in the picture)



May 2025 photo of the proposed building footprint looking towards the west. The story pole is visible (and it is 5 feet too tall in the picture)

SCENIC QUALITY REPORT ADDENDUM

Hector Lode, USMS No. 14327

Prepared By Engineer Mountain, Inc.

3. VISIBILITY OF THE PROPOSED RESIDENCE FROM HIGHWAY 550

Highway 550 provides access to the project site. There is an existing dead-end loop driveway on the project site, which is visible from Highway 550. The Applicant plans to construct a proposed driveway extension from the visible loop driveway dead-end into the trees. The proposed building envelope is located at the end of the proposed driveway extension, within the tree cover. The proposed building envelope is downhill of Highway 550, and it is anticipated that the roof of the proposed residence may be visible to a passerby in a vehicle on Highway 550.

The following page contains May 2025 photos from the Highway 550 shoulder. The view is depicted from the edge of the highway, looking straight down the highway embankment toward the proposed building envelope. These photos were taken at the end of winter in May, so there is still a lack of leaves on the existing aspen trees that are intermingled with the existing evergreens.

The proposed building envelope is located below Highway 550 and is surrounded by dense tree cover. Portions of the roof of the proposed residence may be visible from Highway 550. If the residence becomes visible—or if light becomes visible through the trees at night—the Applicant is required by the County to provide adequate screening.

The following page includes two photos taken from Highway 550, looking directly downhill toward the proposed building envelope in May 2025. The two photos represent the view toward the building footprint from Highway 550.

SCENIC QUALITY REPORT ADDENDUM
Hector Lode, USMS No. 14327
Prepared By Engineer Mountain, Inc.



May 2025 photo from the Highway 550 shoulder, looking down from the Highway directly above the building envelope.



May 2025 photo taken on the edge of the Highway 550 embankment, looking down from the Highway at the building envelope, showing the view of the story pole. The story pole in the picture is 5 feet too tall.

SCENIC QUALITY REPORT ADDENDUM
Hector Lode, USMS No. 14327
Prepared By Engineer Mountain, Inc.

4. VISIBILITY OF THE PROPOSED RESIDENCE FROM TOWN

The project site and the proposed building envelope is above the Town of Silverton. At the bottom of the project site is the intersection of Highway 550 and the County Road to the Little Dora.

The proposed building envelope has relatively dense evergreen and aspen trees, which is expected to mostly block the view of the proposed structure, as viewed from Town. Since the top of the story pole was visible from Town, the building design plans have been adjusted to lower the Finished Floor Elevations (FFE) of the proposed residence by approximately five feet. The Applicant is also proposing to plant/transplant large evergreens as proposed screening to further reduce visibility of the structure from Town.

If visibility of the proposed residence does occur, it is most likely to happen in winter at nighttime, when the aspen leaves are gone and lighting could potentially be seen through the trees from Town. The Applicant has been researching tinted windows to reduce any nighttime interior lighting visibility, to comply with the Town and County “Dark sky” regulations.

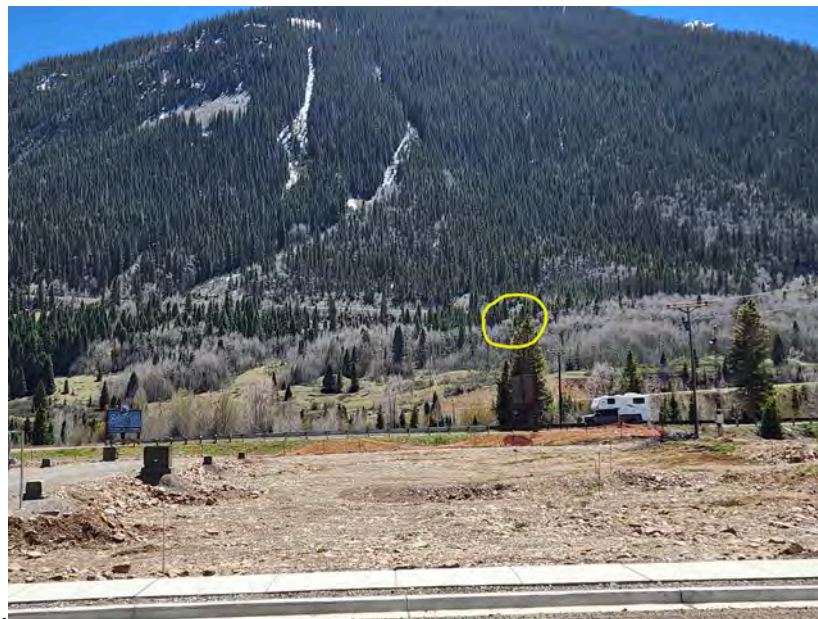
The Applicant is proposing a driveway extension from the existing dead-end loop driveway in order to relocate the proposed building envelope farther into the trees, thereby reducing visibility from Town. Constructing the proposed residence at the location of the existing dead-end loop driveway would have made the residence highly visible from both Town and the Highway.

On the following three pages are “before and after” pictures of the proposed future residence as viewed from Town.

SCENIC QUALITY REPORT ADDENDUM
Hector Lode, USMS No. 14327
Prepared By Engineer Mountain, Inc.



May 2025 “before photo” of the project site looking towards the southwest, taken from 5th and Bluff Streets. The existing Bluff Street overhead electric line visible in the photo leads to the proposed building envelope. The proposed building envelope is located where the evergreens and the aspens meet.



May 2025 “after” photoshop render of the project site looking towards the southwest, taken from 5th Street in line with Bluff Street after the proposed residence is built. The existing Bluff Street overhead electric line is located close to the proposed building envelope. The render of the building is within the yellow circle on the picture.

SCENIC QUALITY REPORT ADDENDUM
Hector Lode, USMS No. 14327
Prepared By Engineer Mountain, Inc.



May 2025 “before” photo of the proposed building envelope looking towards the southwest, taken from 5th and Bluff Streets, using binoculars. The existing Bluff Street overhead electric line in the photo is located close to the proposed building envelope. The orange hunting vest at the top of the story pole is visible (due to design changes the story pole is now 5 feet too tall).

SCENIC QUALITY REPORT ADDENDUM
Hector Lode, USMS No. 14327
Prepared By Engineer Mountain, Inc.



May 2025 “after” photo (rendering) of the proposed future residence looking towards the southwest, taken from 5th and Bluff Streets using binoculars. Due to this rendering, the design plans have recently been revised to lower the Finished Floor Elevations of the proposed residence by approximately five feet and the applicant has proposed additional screening to reduce visibility.

SCENIC QUALITY REPORT ADDENDUM

Hector Lode, USMS No. 14327

Prepared By Engineer Mountain, Inc.

5. VISIBILITY OF THE PROPOSED DRIVEWAY EXTENSION FROM HIGHWAY 550

The Applicant plans to construct a proposed driveway extension. The proposed driveway extension would start at the end of the existing dead-end driveway loop. The proposed driveway extension will end at the proposed building.

The purpose of the proposed driveway extension is to get the proposed building envelope farther down into the existing dense tree cover, thereby reducing visibility from both Highway 550 and Town.

The centerline of the proposed driveway extension was staked by the Project/Licensed Surveyor in May 2025.

On the following page is a photo from May 2025 showing the proposed driveway extension centerline stakes. One photo is taken from the start of the proposed driveway extension.

SCENIC QUALITY REPORT ADDENDUM
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Prepared By Engineer Mountain, Inc.



May 2025 photo of the centerline stakes of the proposed driveway, taken from the beginning of the proposed driveway, at the bottom of the existing driveway loop. The red oval drawn onto the picture is the view of a vehicle which is visible through the vegetation going by on the Highway.

SCENIC QUALITY REPORT ADDENDUM
Hector Lode, USMS No. 14327
Prepared By Engineer Mountain, Inc.

6. VIEWS FROM THE PROPOSED RESIDENCE

In the County Scenic Quality Report regulations, it is requested that we provide information about the views **from** the proposed residence.

Photos are included on the following pages showing the view **from** the proposed building envelope. The photos were taken from the approximate location of the proposed center of the residence. The proposed residence stakes are visible in the foreground of the images (although the proposed structure has recently been moved slightly uphill on the plans).

Views from the proposed residence are generally obscured by existing dense evergreen trees, aspen trees, and the natural terrain and slope. Below the proposed residence is the Town of Silverton; above it is Highway 550 toward Durango.

On the following two pages are four color photographs showing the views **from** the approximate center of the proposed residence, looking toward the north, south, east, and west.

SCENIC QUALITY REPORT ADDENDUM
Hector Lode, USMS No. 14327
Prepared By Engineer Mountain, Inc.



May 2025 photo from the proposed building envelope, facing towards the north. The story pole marks roughly the center of the proposed structure.



May 2025 photo from the proposed building envelope, facing towards the south. The story pole marks roughly the center of the proposed structure.

SCENIC QUALITY REPORT ADDENDUM
Hector Lode, USMS No. 14327
Prepared By Engineer Mountain, Inc.



May 2025 photo from the proposed building envelope, facing towards the east. The story pole marks roughly the center of the proposed structure.



View from the proposed structure, looking towards the west. The story pole marks roughly the center of the proposed structure.

SCENIC QUALITY REPORT ADDENDUM
Hector Lode, USMS No. 14327
Prepared By Engineer Mountain, Inc.

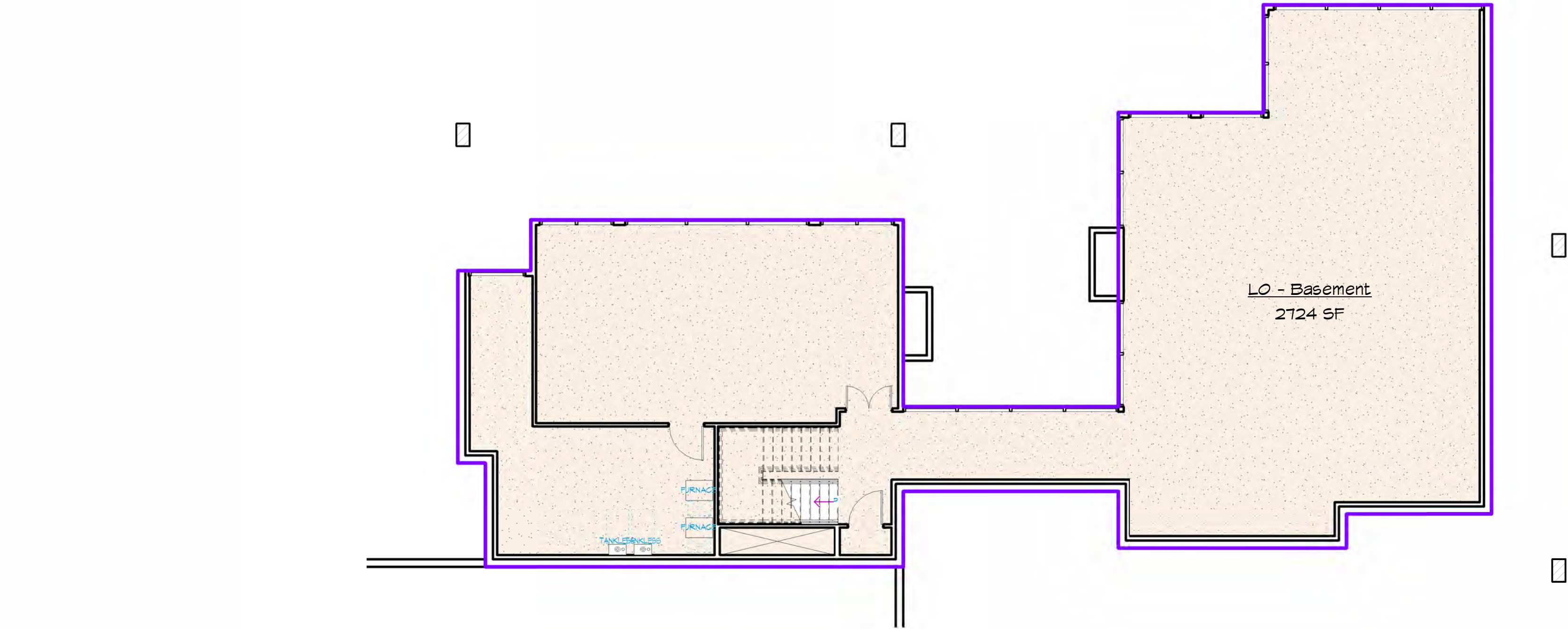
7. UPDATED BUILDING PLANS

The County regulations require that the Scenic Quality Report include information regarding the following:

Evidence that the designs orient improvements in ways that allow them to blend in with and utilize the natural topography. The submittal shall include, but not be limited to, elevations at a scale suitable for a determination that all standards in this section have been met, Three-Dimensional Modeling, etc.

The proposed residence is one story with a walkout basement under the main level, in order to utilize the existing ground surface slope, which was estimated (by the septic designer) at approximately 16 percent. The proposed Finished Floor Elevations (FFE's) have recently been lowered approximately five feet in elevation, to provide better screening of the future structure as viewed from Town.

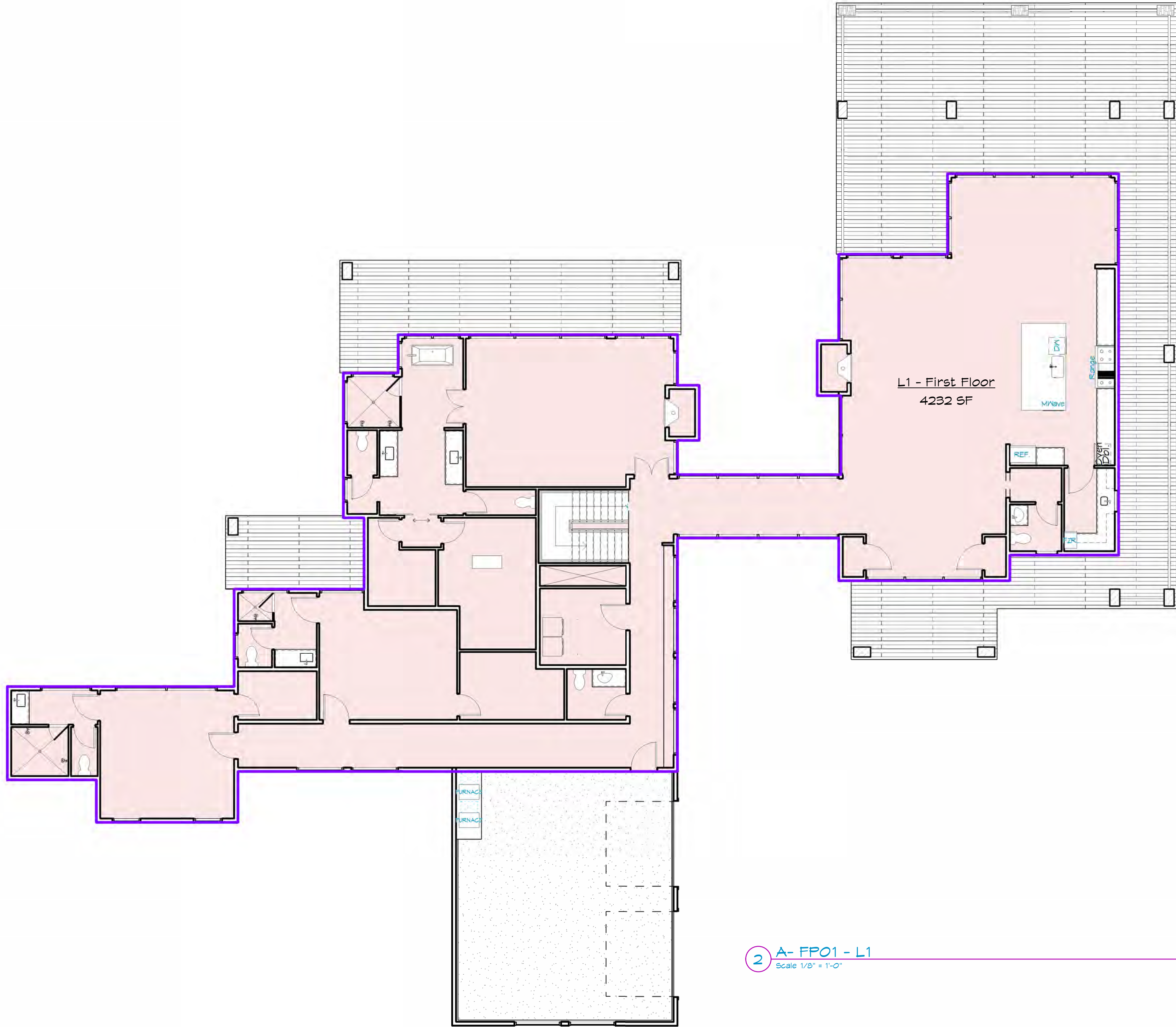
Updated Building Plans prepared by structural draftsman Paul Lane of Montrose, are included on the following 11x17 plan sheet pages for your review.



1 A- FPO0 - LO
Scale 1/8" = 1'-0"

Area Legend

LO - Basement



2 A- FPO1 - L1
Scale 1/8" = 1'-0"

Area Legend

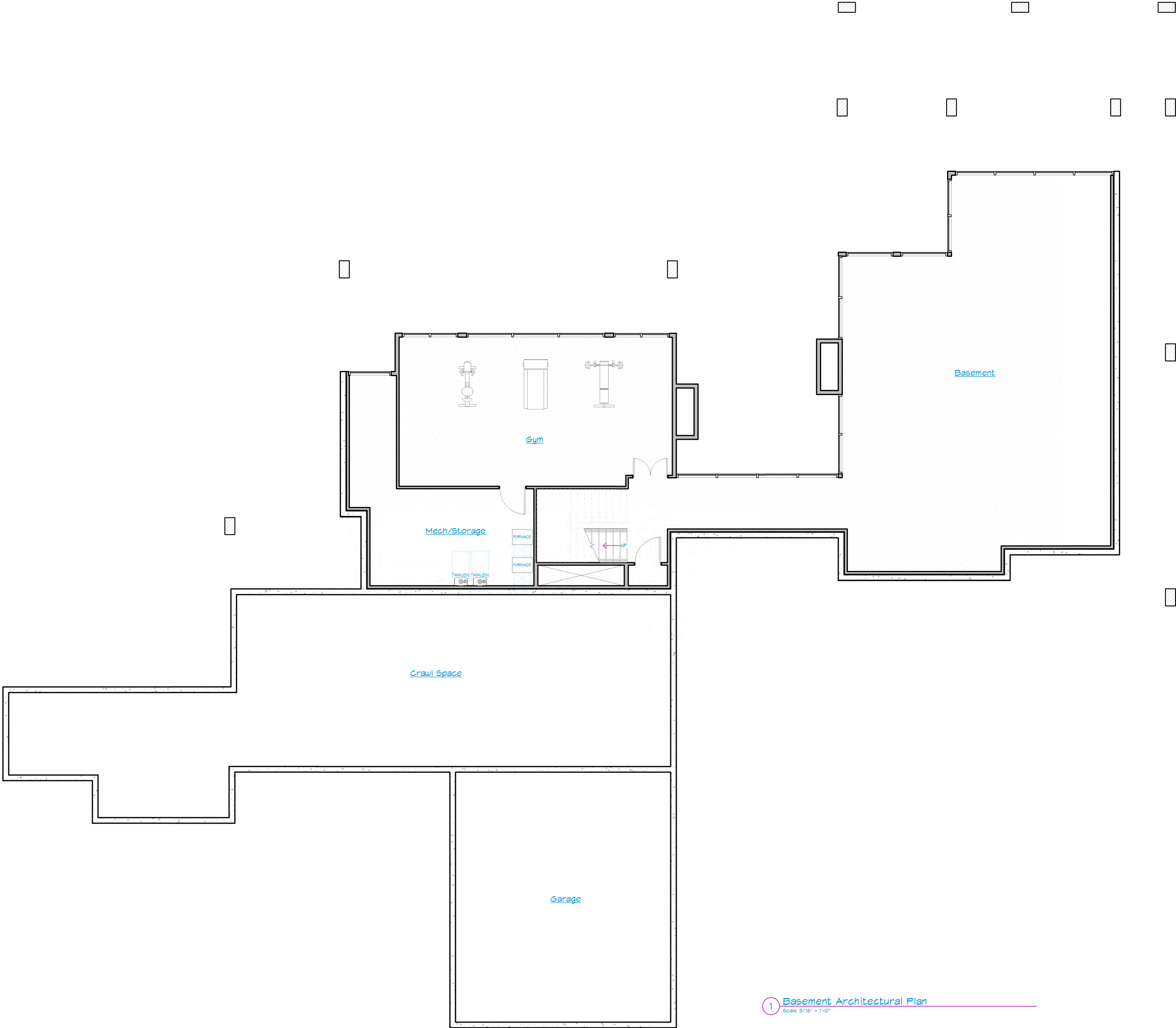
L1 - First Floor

Code Info	
Key Name	Code Comments
Building Code Designed To	2018 IRC
Energy Code In Use	2018 ECG
Type of Occupancy	Group R-3
Type of Construction	VB
Parcel Number	
Zoning	

Area Schedule (Heated)			
Name	Area	Perimeter	Comments
L1 - First Floor	4232 SF	475' - 6"	
LO - Basement	2724 SF	325' - 2"	
	6956 SF		

Area Schedule (Exterior)			
Name	Area	Perimeter	Comments

NOT FOR CONSTRUCTION



1 Basement Architectural Plan
Scale 3/16" = 1'-0"

Floorplan Notes:

- All dimensions are to face of structure (f.o.s.) unless otherwise noted.
- Do not scale from drawings.
- Any inconsistencies or unforeseen conditions to be reviewed by the Builder prior to proceeding with construction.
- All doors and windows dimensioned to centerline of clear opening unless otherwise noted.
- All non-dimensioned doors to be one of the following:
A. Centered in opening.
B. Offset from the hinge-side wall to allow for 6" as standard.
C. At Min. allowance of (2) 2x4 studs at the jamb side.
- All non-dimensioned windows to be centered in the respective room.
- All casework, dimensions to face of finish.
- All partitions full height to ceiling, unless noted otherwise.
- In addition to Windows & Doors, all electrical & mechanical openings and penetrations in exterior walls to be completely sealed with spray foam.
- Fire blocking is required in all exterior frame walls over 10'-0" high.
- Include all plumbing accessory blocking, verify with Builder on location of blocking.
- Provide all necessary blocking for TP holders, towel rods/ hooks/ rings, grab bars and mirrors, verify with Builder on locations of blocking.

Keynotes:

NOT FOR CONSTRUCTION

the
Address

Rose Residence

Project No. Project Number

6/20/25

Revisions

11/12/24	Revision 1
1/16/25	Revision 2
1/24/25	Revision 3-Presentation
5/2/25	Rev 4 - Basement & Steel

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Scale: As Indicated

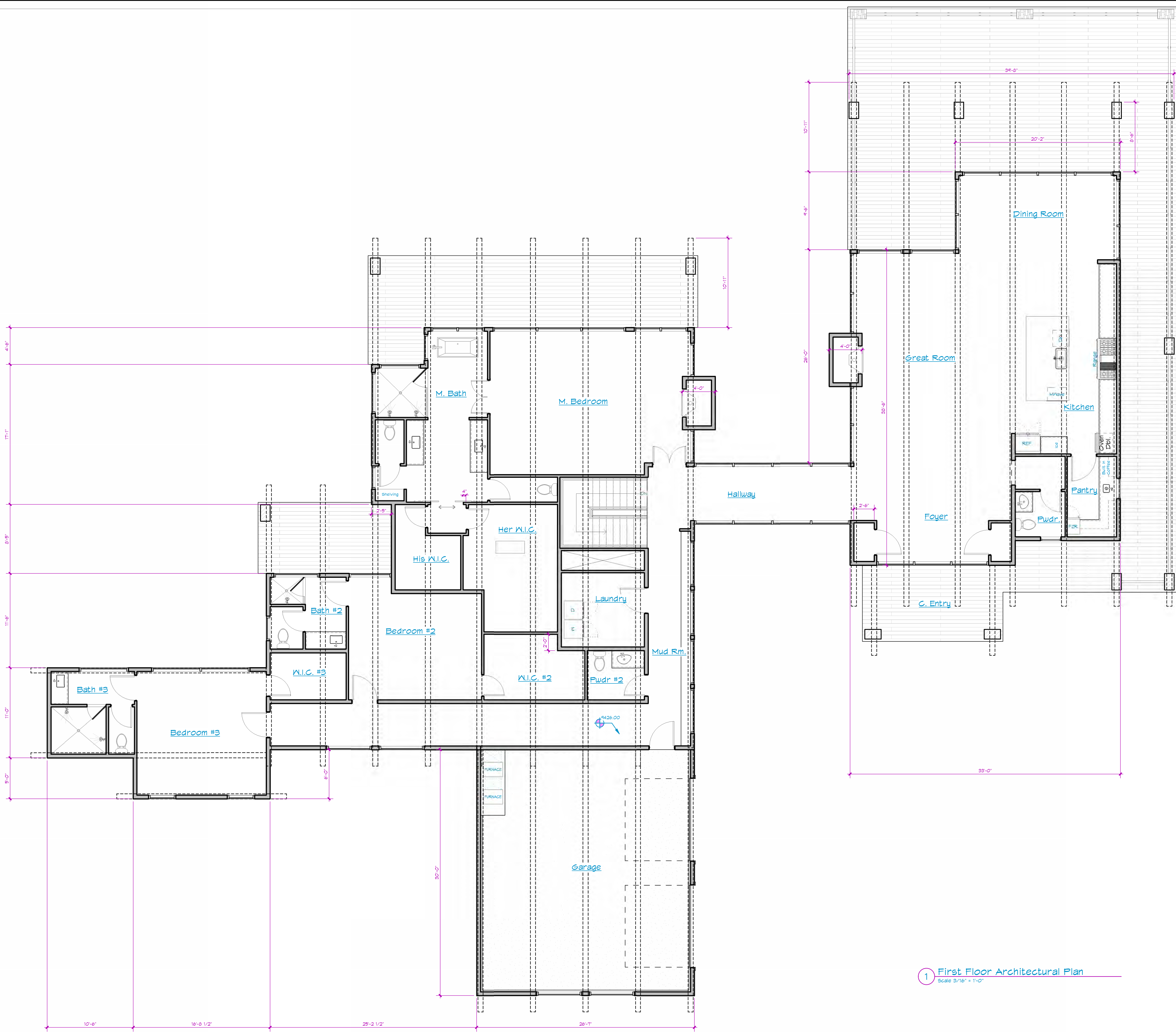
LO-Basement

A1-0

Sheet No. ©2022

DRAFTTECH

TURNING DREAMS INTO PLANS



1 First Floor Architectural Plan
Scale 3/16" = 1'-0"

- Floorplan Notes:
- All dimensions are to face of structure (f.o.s.) unless otherwise noted.
 - Do not scale from drawings.
 - Any inconsistencies or unforeseen conditions to be reviewed by the Builder prior to proceeding with construction.
 - All doors and windows dimensioned to centerline of clear opening unless otherwise noted.
 - All non-dimensioned doors to be one of the following:
A. Centered in opening.
B. Offset from the hinge-side wall to allow for 6" as standard.
C. At Min. allowance of (2) 2x4 studs at the jamb side.
 - All non-dimensioned windows to be centered in the respective room.
 - All casework dimensions to face of finish.
 - All partitions full height to ceiling, unless noted otherwise.
 - In addition to Windows & Doors, all electrical & mechanical openings and penetrations in exterior walls to be completely sealed with spray foam.
 - Fire blocking is required in all exterior frame walls over 10'-0" high.
 - Include all plumbing accessory blocking, verify with Builder on location of blocking.
 - Provide all necessary blocking for TP holders, towel rods/ hooks/ rings, grab bars and mirrors, verify with Builder on locations of blocking.
- Keynotes:

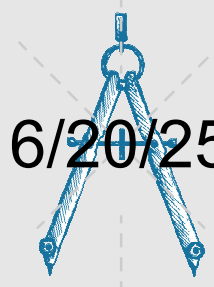
NOT FOR CONSTRUCTION

DRAFTTECH
TURNING DREAMS INTO PLANS

Rose Residence

the
Address

Project No. Project Number



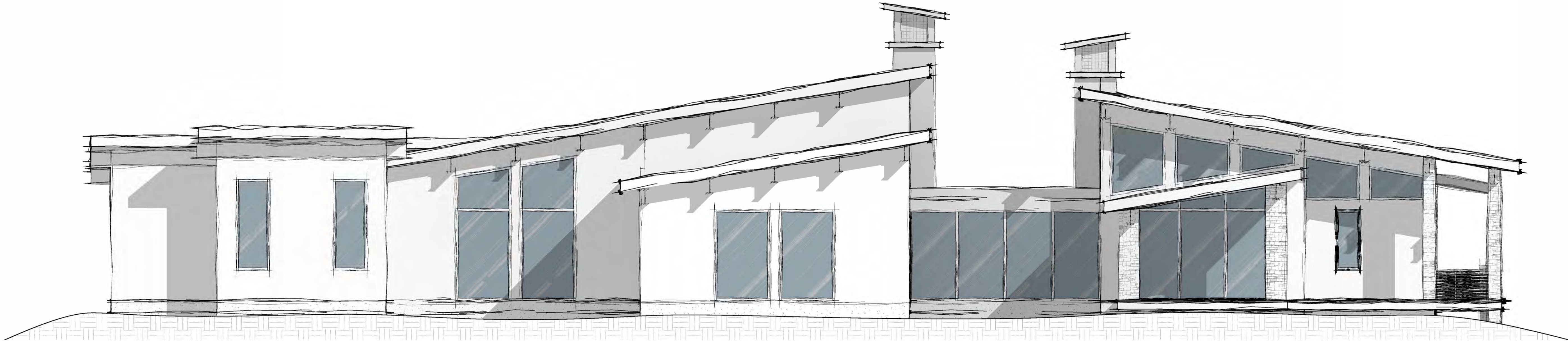
Revisions
11/12/24 Revision 1
1/16/25 Revision 2
1/24/25 Revision 3-Presentation

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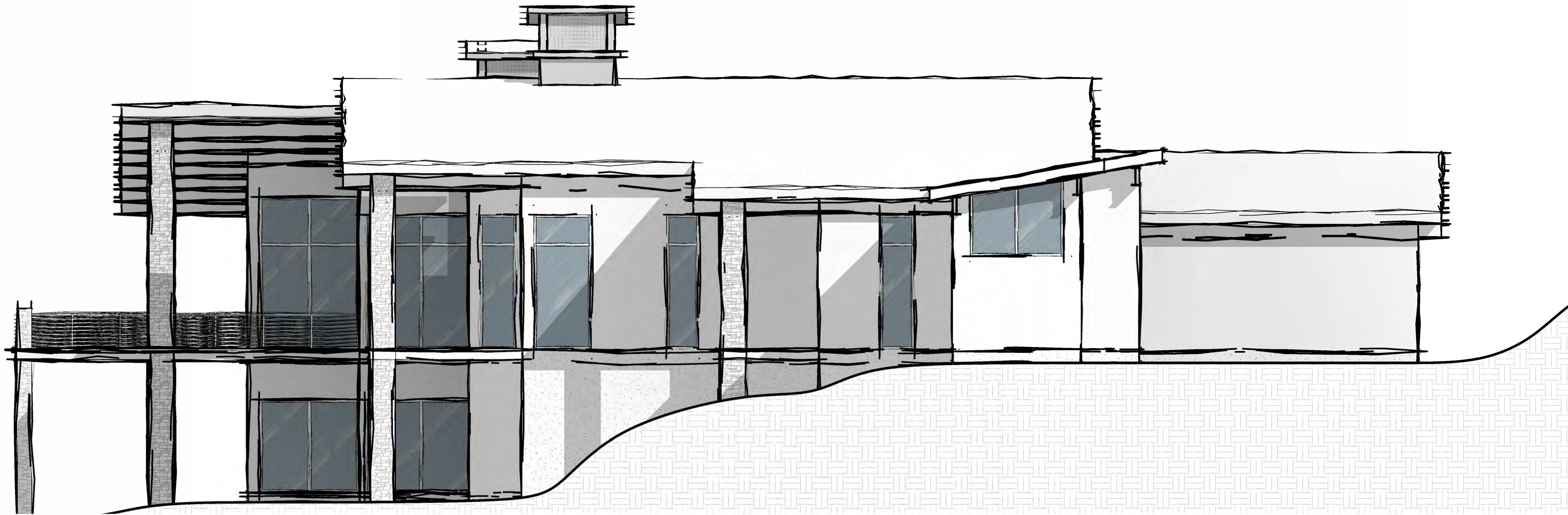
Scale As Indicated
L1-First Floor

A1-1

Sheet No. ©2023



1 Front Elevation
Scale 3/16" = 1'-0"



2 Right Elevation
Scale 3/16" = 1'-0"

Elevation Notes:	
1.	It is the Responsibility of The Contractor To Provide Positive Drainage Away From The Foundation. Re: Soils Engineer Report.
2.	It is the Responsibility of The Contractor To Provide Proper Flashing & Waterproofing as Needed Based on Final Grade.
3.	Grade Line Shown is For Illustration Purposes Only. It is the Responsibility of The Contractor To Verify Based on Site Conditions & Civil Engineering Drawings.
4.	Grade is To Be Sloped Away From The Foundation 10% in The 1st 12' & Be A Min. Of 6" Below Top Of Foundation. Re: Soils Engineering. Datum elevation 0'-0" corresponds to T.O. subfloor.
5.	Finish grade elevation 6" Below T.O.F.
6.	

Keynotes:

NOT FOR CONSTRUCTION

the Rose Residence

Project No. Project Number

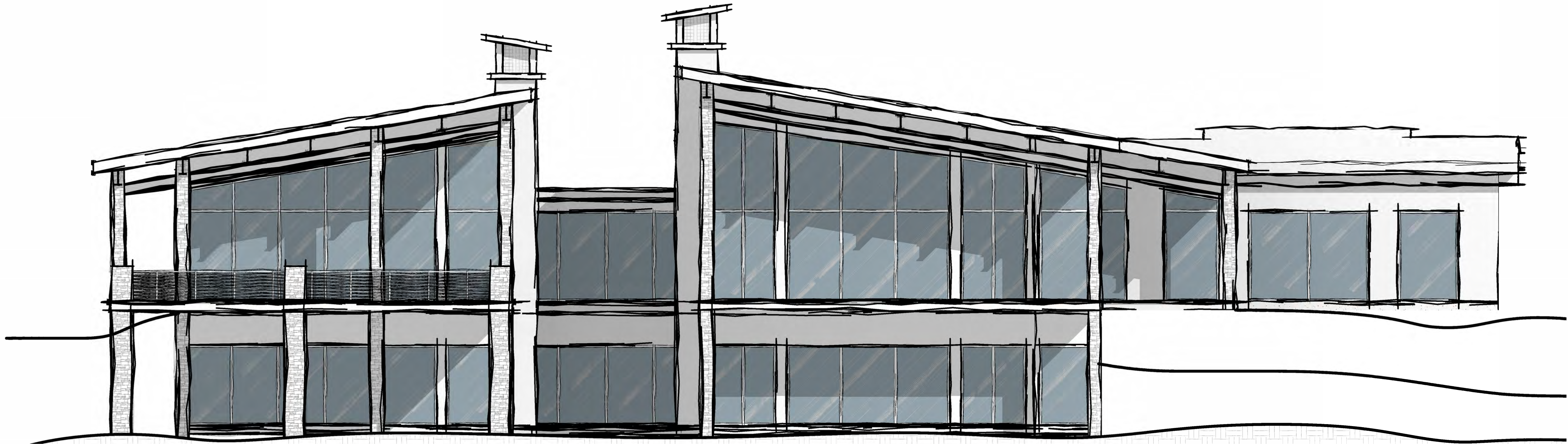


Revisions
11/12/24 Revision 1
1/16/25 Revision 2
1/24/25 Revision 3-Presentation

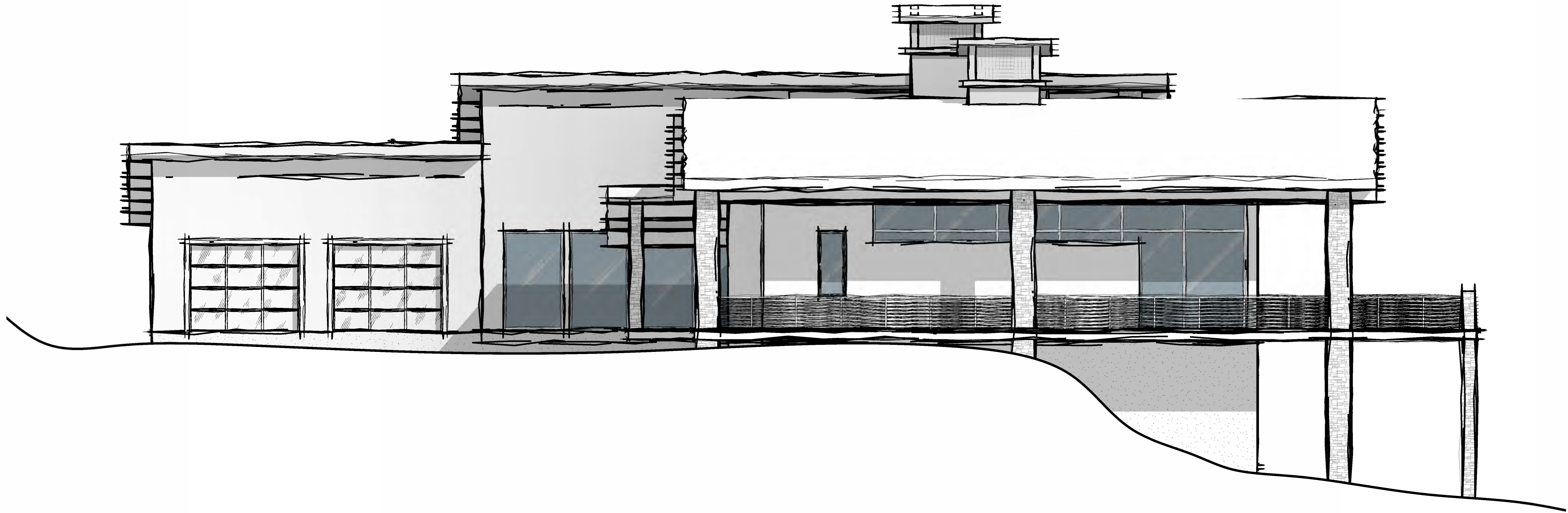
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Scale As Indicated
Elevations

A2-1



2 Rear Elevation
Scale 3/16" = 1'-0"



1 Left Elevation
Scale 3/16" = 1'-0"

Elevation Notes:	
1.	It is the Responsibility of The Contractor To Provide Positive Drainage Away From The Foundation. Re: Soils Engineer Report.
2.	It is the Responsibility of The Contractor To Provide Proper Flashing & Waterproofing as Needed Based on Final Grade.
3.	Grade Line Shown is For Illustration Purposes Only. It is the Responsibility of The Contractor To Verify Based on Site Conditions & Civil Engineering Drawings.
4.	Grade is To Be Sloped Away From The Foundation 10% in the 1st 12' & Be A Min. Of 6" Below Top Of Foundation. Re: Soils Engineering. Datum elevation 0'-0" corresponds to T.O. subfloor.
5.	Finish grade elevation 6" Below T.O.F.
6.	
Keynotes:	

NOT FOR CONSTRUCTION

the Rose Residence

Address

Project No. Project Number



6/20/25

Revisions
11/12/24 Revision 1
1/16/25 Revision 2
1/24/25 Revision 3-Presentation

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Scale As Indicated

Elevations

A2-2

SCENIC QUALITY REPORT ADDENDUM
Hector Lode, USMS No. 14327
Prepared By Engineer Mountain, Inc.

8. TOPSOIL, UTILITIES, LIGHTING, AND DRIVEWAYS

The County regulations require that the project include the following:

Plans to remove and save topsoil, prior to any grading or excavation and replacement, for reuse during re-vegetation.

Any topsoil found during construction of the proposed driveway and residence shall be stockpiled on-site for use in landscaping.

The County regulations require that the project include the following:

Location and installation of utilities in ways that will cause the least damage to the natural environment.

The project includes the following proposed utilities: a proposed underground electric line from the existing electrical transformer; a proposed water line from an existing permitted well to a proposed cistern and the proposed residence; a proposed underground septic system; and a proposed above-ground or buried propane tank.

The septic system location is downhill of the proposed residence and has been selected based on State and San Juan County Public Health Department regulations and required setbacks. All proposed utility lines are designed to follow the alignment of the proposed driveway extension in order to limit site disturbance.

The County regulations require that the project include the following:

Provisions requiring shielding of exterior lighting to prevent direct visibility of light bulbs from off-site, directing of all exterior lighting toward either the ground or the surface of a building, and prohibiting high-intensity sodium vapor or similar lighting.

The proposed lighting for this project shall comply with the County's "dark sky" regulations.

The County regulations require that the project include the following:

Design and construction plans for roads and associated structures that bear a logical relationship to existing topography to minimize the need for cuts and fills.

There is an existing frontage road driveway that begins on the downhill side of Highway 550. This driveway currently terminates in a circular dead-end loop located in a clearing below the highway. The Applicant is proposing a driveway extension from this location to shift the proposed building envelope farther into the trees.

SCENIC QUALITY REPORT ADDENDUM

Hector Lode, USMS No. 14327

Prepared By Engineer Mountain, Inc.

9. BUILDING MATERIALS

The County regulations require that the building design include the following:

Utilization of colors and textures found naturally in the landscape and prohibition of reflective materials, such as highly reflective glass or metals.

The proposed residence will incorporate the following materials:

- Wooden board siding (likely tan-brown in color)
- Irregular rectangular stone used as an accent (likely variegated brown tones)
- Accents comprised of black steel or metal
- Non-reflective dark metal roofing material (likely black standing seam)

Color photographs of the conceptual proposed exterior building materials are included on the following page.

SCENIC QUALITY REPORT ADDENDUM
Hector Lode, USMS No. 14327
Prepared By Engineer Mountain, Inc.



Wooden board exterior siding building material (photo credit: ar.inspiredpencil.com)



Irregular rectangular stone accent building material (photo credit genstone.com)



Matte black steel/metal exterior accents (photo credit pinterest.com)



Dark or black standing seam non-reflective metal roofing (photo credit angleslist.com)

SCENIC QUALITY REPORT ADDENDUM

Hector Lode, USMS No. 14327

Prepared By Engineer Mountain, Inc.

10. CONCLUSIONS

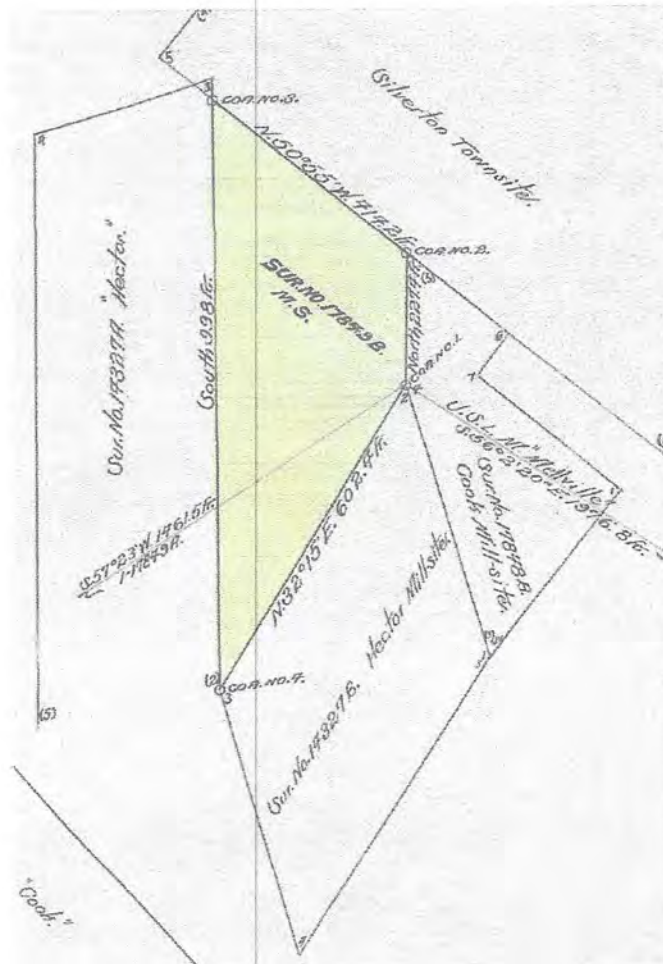
This project appears to be in general conformance with the County Scenic Quality regulations in the following ways:

- The proposed building envelope was selected based on the presence of dense, tall tree cover, which is expected to reduce the visibility of the residence from both the Town and Highway 550.
- The most easily developed site with the best views (at the existing dead-end loop driveway) was not selected by the Applicant, as it would have caused the residence to be visible from the Town of Silverton and Highway 550.
- The proposed driveway extension has been aligned with the natural contour to minimize tree clearing and grading.
- The colors and textures of the proposed exterior building materials—including tan/brown wooden board siding, variegated brown natural stone accents, and black/dark steel or metal roofing and accents—have been selected to blend with the surrounding evergreen and aspen forest.
- After placement of the story pole, the Building Plans were revised, to lower the Finished Floor Elevations (FFE) of the proposed structure approximately five feet, to reduce visibility of the future structure as viewed from Town.
- The Applicant is proposing to plant additional large evergreens between the structure and Town to further limit visibility of the structure.

Thank you for your consideration of this application for the proposed Rose Residence on the Hector Lode. If additional information is needed, please contact Engineer Mountain, Inc. at (970) 946-2217, or the Applicant, Damon Rose, at (404) 831-3114.

CUMULATIVE IMPACTS REPORT

Proposed Rose Residence
Hector Lode USMS No. 14327
Highway 550, near Silverton
San Juan County, Colorado



Applicant:

Damon Rose
4501 Harris Trail NW
Atlanta, GA 30327
(404) 831-3114

Prepared By:

Engineer Mountain, Inc.
Attn: Lisa Adair PE
962 Reese Street
PO Box 526
Silverton, Colorado 81433
(970) 387-0500
Job No. 2024-101

Submitted:

June 24, 2025

CUMULATIVE IMPACTS REPORT
Proposed Rose Residence, Hector Lode
Engineer Mountain, Inc.

1. Introduction

This is a Cumulative Impacts Report for the proposed Rose Residence, located on the Hector Lode, Highway 550, near Silverton, in San Juan County, Colorado.

The Board of County Commissioners conditionally approved the Sketch Plan for this project on March 12, 2025. One of the conditions of approval stated this requirement: "A Cumulative Impact Report will need to be completed prior to Preliminary/Final Plan Appearance."

County Zoning and Land Use Regulations Section 4-103

We have prepared this report in accordance with the County Zoning and Land Use Regulations Section 4-103.

A Cumulative Impacts Report is required for this project, according to the County regulations. The range of area to be considered was recently changed from all properties within a two-mile radius to a "relevant area."

Section 4-103, regarding cumulative impacts, is on the following two pages for your review.

CUMULATIVE IMPACTS REPORT
Proposed Rose Residence, Hector Lode
Engineer Mountain, Inc.

STANDARDS FOR REVIEW

The following general standards will be applied to any proposed development in the County.

- .1 The County recognizes that development or use of individual properties may have impacts on other properties, including County roads. Further, the County recognizes that the cumulative impact of individual development or use of properties within an area may create impacts and service demands different from or greater than the impacts and service demands of an individual development proposal. Finally, the County recognizes that unless the potential cumulative effects of development are considered in connection with each development or use proposal, future development and use of properties may be adversely affected or precluded because of effects caused by development or uses that are approved without consideration of cumulative impacts. For these reasons, the review process described herein requires the consideration of cumulative impacts of all potential development and uses within an area in connection with any proposal being reviewed under this Chapter.
- .2 In conducting a review under Chapter 4 of the Code, the County shall consider all proposals in the context of all existing or potential uses of other properties in the vicinity of the proposed use. Unless a greater or lesser distance is required by the unique characteristics of a particular area, the vicinity of a proposed use shall be defined to be within a two mile radius of the proposed use or development. This shall require consideration of each of the factors listed herein not just for the proposed use in isolation but rather in conjunction with all existing and potential uses of other properties in the vicinity so as to permit the County to assess the overall impacts of development in the general area of the proposed use.
- .3 All applications for review under this Chapter will be examined initially to determine whether the proposal is consistent with the County's Master Plan. If consistent with the Master Plan, all applications will be reviewed to determine whether, based upon the objective facts contained within the record before the reviewing body:
 - (a) The proposal will have any adverse impact on public health, safety, morals or welfare.
 - (b) Adequate potable water is available or can be developed to safely support the proposed use, including fire control and suppression.
 - (c) Adequate sewage disposal can be provided to support the proposed use.
 - (d) The proposed use will have any adverse effect on public or private property in the vicinity of the development.

CUMULATIVE IMPACTS REPORT
Proposed Rose Residence, Hector Lode
Engineer Mountain, Inc.

- (e) The proposed use will have any adverse effect on scenic values, historic sites or structures, air or water or environmental quality, wildlife (including habitat, food sources, migration routes, hunting, etc.), erosion or other geological condition.
 - (f) Adequate road access exists or can be developed to ensure access appropriate to the use, including access for emergency services.
 - (g) Adequate utilities are or can be made available for the proposed use, unless deemed unnecessary or not practical.
 - (h) Adequate emergency services exist to serve the proposed use, unless deemed unnecessary or not practical.
 - (i) There are natural hazards which may adversely affect the site or the proposed use of the site. (see Chapters 8 – 11 of this Code).
- 4 In addition to all other powers which the County may have with regard to review under this Chapter, the County shall have the authority to:
- (a) Require the applicant to provide evaluations, studies, reports, designs or opinions from qualified experts, approved by the County, with regard to any of the factors listed above or with regard to the design or siting of any proposed development or use.
 - (b) Require the proponent to provide additional information with regard to any factor listed above to permit the County to make an informed decision regarding the application.
 - (c) Condition approval of a proposal on the elimination of any hazard, condition or effect identified by the review process or in Sections 1 – 113 through Section 1 – 116 of this Code.
 - (d) Require as a condition of approval the mitigation (either on the property where the use is proposed or on public or private property, with the consent of the owner) of any hazard, condition or effect identified by the review process or in Sections 1 – 113 through Section 1 – 116 of this Code.
 - (e) Reject the application because of hazards, conditions or effects identified in the review process or in Sections 1 – 113 through Section 1 – 116 of this Code. In the event the County denies approval after review, the denial of an application pursuant to this provision shall identify the hazard, condition or effect on which the denial is based.
- A Land Use or Improvement Permit must be issued by the County when the County finds that the applicant has sustained the burden of proof that the proposed development, activity or use, including best management practices, if any, does not present or create an adverse effect to the resources sought to be protected or

utilized within the overlay district, or districts. Such a permit will be denied when the County determines that the applicant has not sustained such burden of proof.

CUMULATIVE IMPACTS REPORT
Proposed Rose Residence, Hector Lode
Engineer Mountain, Inc.

Scope of Report

The County regulations above (section 4-103) requires:

... the County shall consider all proposals in the context of all existing or potential uses of other properties in the vicinity of the proposed use. Unless a greater or lesser distance is required by the unique characteristics of a particular area, the vicinity of a proposed use shall be defined to be within the relevant area of the proposed use or development. ...

The Proposal currently being reviewed by the County is a proposed residence on the Hector Lode, which is owned by Damon Rose.

This report contains information on the existing and potential development in the vicinity of the proposal.

For this report we have selected the properties within 1500 feet (approximately 1/3 of a mile) from the exterior boundaries of the project site, using the County Assessor's information. This property is located above Silverton, accessed by Highway 550. The property is approximately 18 acres. The proposed residence is near the northern corner of the Hector Lode, in a clearing surrounded by trees. The site is located about 1000 feet from the edge of Silverton. The "relevant area" selected of more than 1500 feet includes properties around Highway 550 from Silverton towards both Durango and Ouray. The "relevant" area includes properties within the Silverton Town-Limits, the Town/County Mutual Overlay District, Scenic Preservation Overlay District, and Mountain Zoning District. The "relevant area" selected for this project includes 106 properties in the vicinity of the project site.

For the purposes of this report we first have an overview of the Proposal. Then we have attempted to evaluate existing, proposed, and potential development of the properties in the "relevant area" vicinity of the project site. Then the criteria listed in the County regulations were used to evaluate the proposal and potential impacts.

The scope of this report is to allow the County to review this proposal ... *in the context of all existing or potential uses of other properties in the vicinity of the proposed use.*

CUMULATIVE IMPACTS REPORT
Proposed Rose Residence, Hector Lode
Engineer Mountain, Inc.

2. The Proposal

The Proposal, as described in County regulations section 4-103 above, is the proposed Rose Residence, located on the Hector Lode, Highway 550, near Silverton, San Juan County, Colorado.

A Sketch Plan Improvement Permit Application was submitted to County Administrator Willy Tookey on January 28, 2025. On March 12, 2025, the Board of County Commissioners conditionally approved the Sketch Plan Improvement Permit Application.

For additional information please refer to the Preliminary-Final Plans and attached documents within this submittal binder.

In the front part of this submittal binder you will find the following Preliminary-Final documents depicting the Proposal:

- Vicinity Map, showing project site location and distance from Silverton;
- Overview Site Plan, showing project site and proposed improvements;
- Site Plan, showing a close-up view of the proposed improvements;
- Project Narrative, describing in text the proposed improvements.

A summary of the Proposal is construction of one proposed single family residence, proposed attached garage, a proposed driveway extension, a proposed "engineered" septic system, and the site is approximately eighteen acres, located above Silverton.

Please refer to the documents and plans in the front part of this binder for additional information regarding the Proposal.

CUMULATIVE IMPACTS REPORT
Proposed Rose Residence, Hector Lode
Engineer Mountain, Inc.

3. The Vicinity

The "relevant area" we have selected for the Vicinity, in order to evaluate development potential surrounding the project site, includes the properties located within 1500 feet of the exterior boundaries of the project site. The properties we have included for evaluation in this report are located within about 1/3 of a mile of the project site.

The project site is located near Silverton. The Vicinity includes properties in Silverton, as well as some mining claims on Highway 550 and Sultan Mountain. Many of the properties are within the Silverton Town Limits.

The plans and maps following this page were used to evaluate the existing uses and potential future development of properties within the "relevant area" surrounding the project site.

We have also included the County Environmental Remediation Ordinance "Inventory," which indicates sites with potential mining hazards.

SOILS RETAINING WALLS
 FOUNDATIONS
 GRADING AND DRAINAGE
 CIVIL SITE DEVELOPMENT
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 (970) 387-0500
 engineer@mountaininc.com

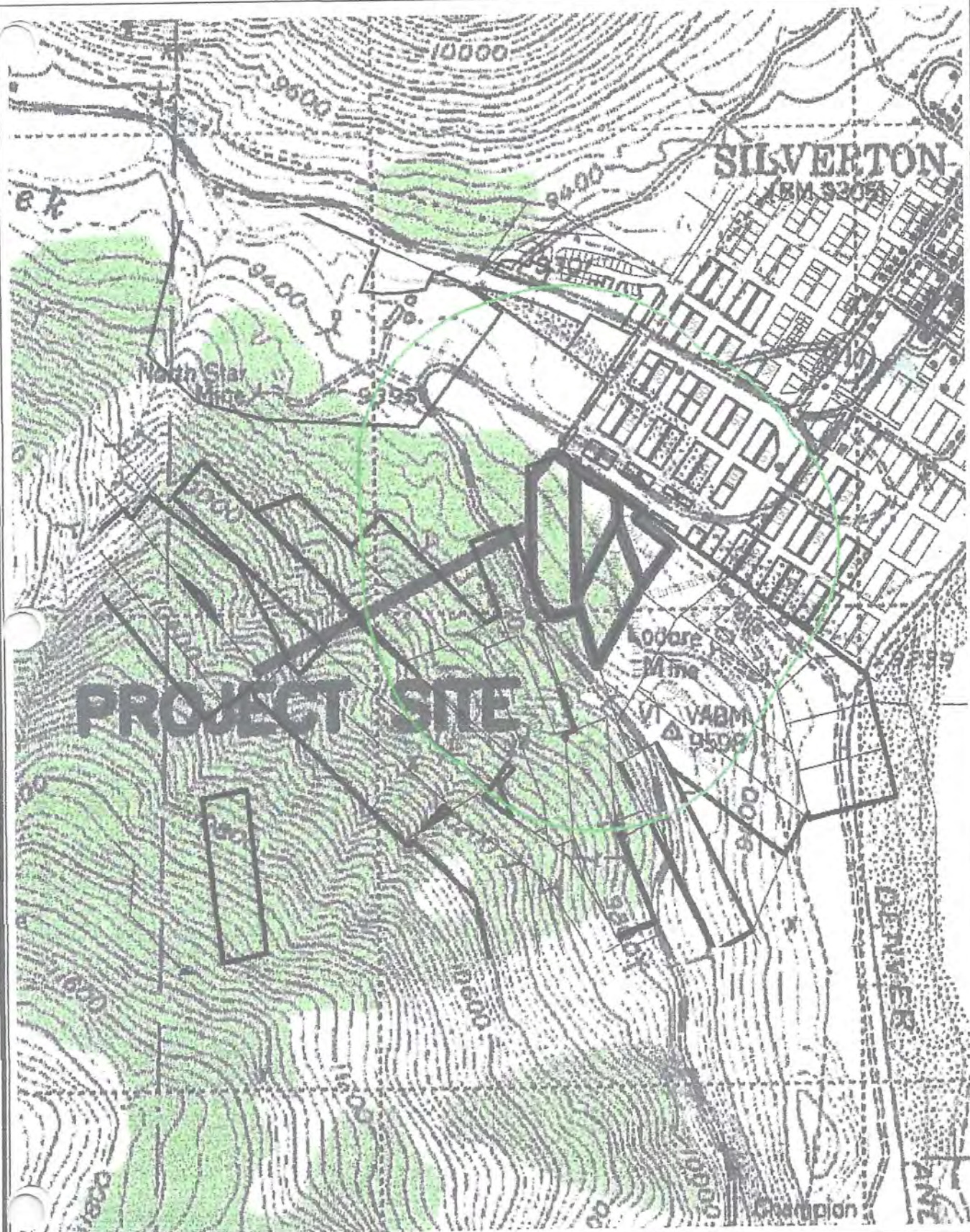
ADJACENT LAND OWNER MAP
 PROPOSED ROSE RESIDENCE
 HECTOR LOPE ET AL, HIGHWAY 550
 SAN JUAN COUNTY, COLORADO

DATE: AUGUST 20, 2013
 DRAWN BY: LMA
 LAST REVISED: 1/20/25
 Dwg: 24-101/Hector Lope AdJ Mapping
 LAYOUT/NAME: ADJ/ M/A
 SHEET 1 OF 1



THIS MAP WAS PREPARED
 USING THE ASSESSOR'S
 AERIALS AND FILES.
 THIS MAP IS NOT A SURVEY.

1500 FEET FROM THE EXTERIOR PROPERTY
 BOUNDARIES OF THE PROJECT SITE



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ALO MAP + VICINITY MAP ON USGS TOPO QUAD

CUMULATIVE IMPACTS REPORT, PROPOSED ROSE RESIDENCE

HECTOR LOPE ET AL, HIGHWAY 550

NEAR SILVERTON, IN SAN JUAN COUNTY, CO

DATE: 6/12/23

DRAWN BY: LMA

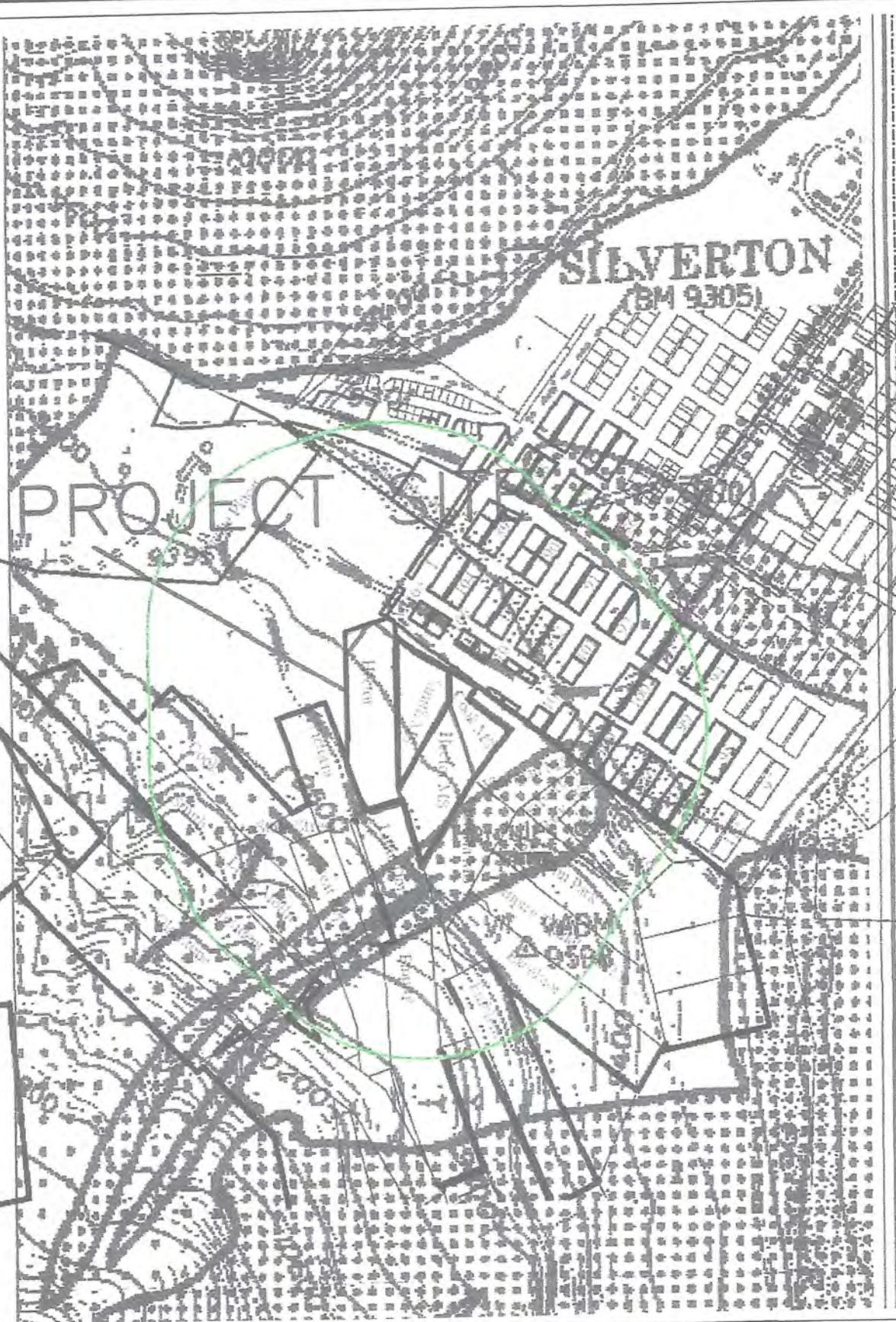
LAYOUT/LMAN: ALO+VICINITY

DWG: 24-101/Hector...Cumu Maps.dwg

LAST REVISED: 5/22/25

CUMULATIVE
IMPACTS REPORT
MAP NO.

1

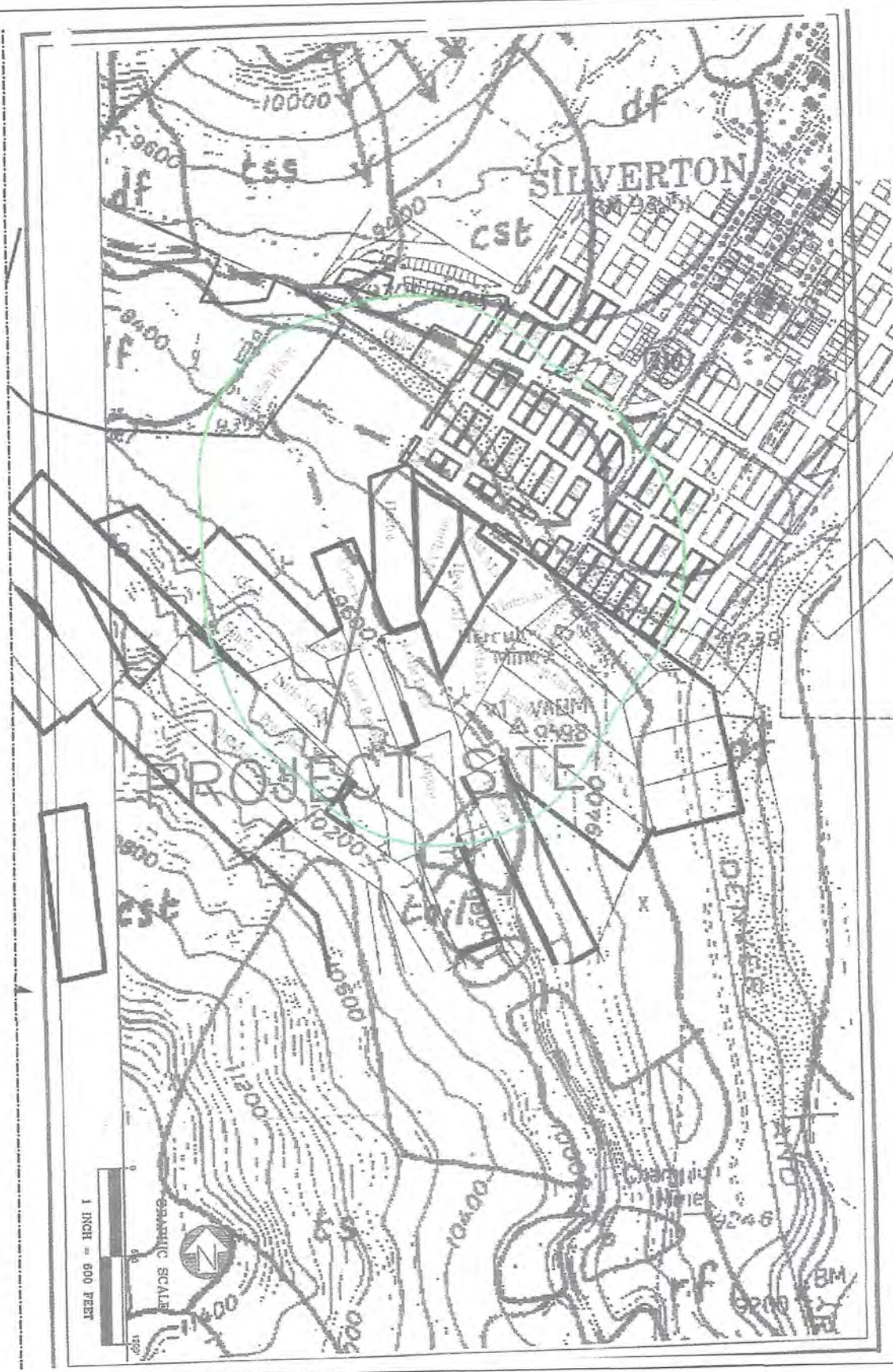


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ALO MAP + COUNTY AVALANCHE HAZARDS MAP
 CUMULATIVE IMPACTS REPORT, PROPOSED ROSE RESIDENCE
 HECTOR LODE ET AL, HIGHWAY 550
 NEAR SILVERTON, IN SAN JUAN COUNTY, CO

DATE: 6/12/23
 DRAWN BY: LMA
 LAYOUT/MAK/ALO+ ANY MAP
 DWG: 24-101/Hector...Cummu Mopsa.dwg
 LAST REVISED: 5/22/25

CUMULATIVE IMPACTS REPORT
 MAP NO.



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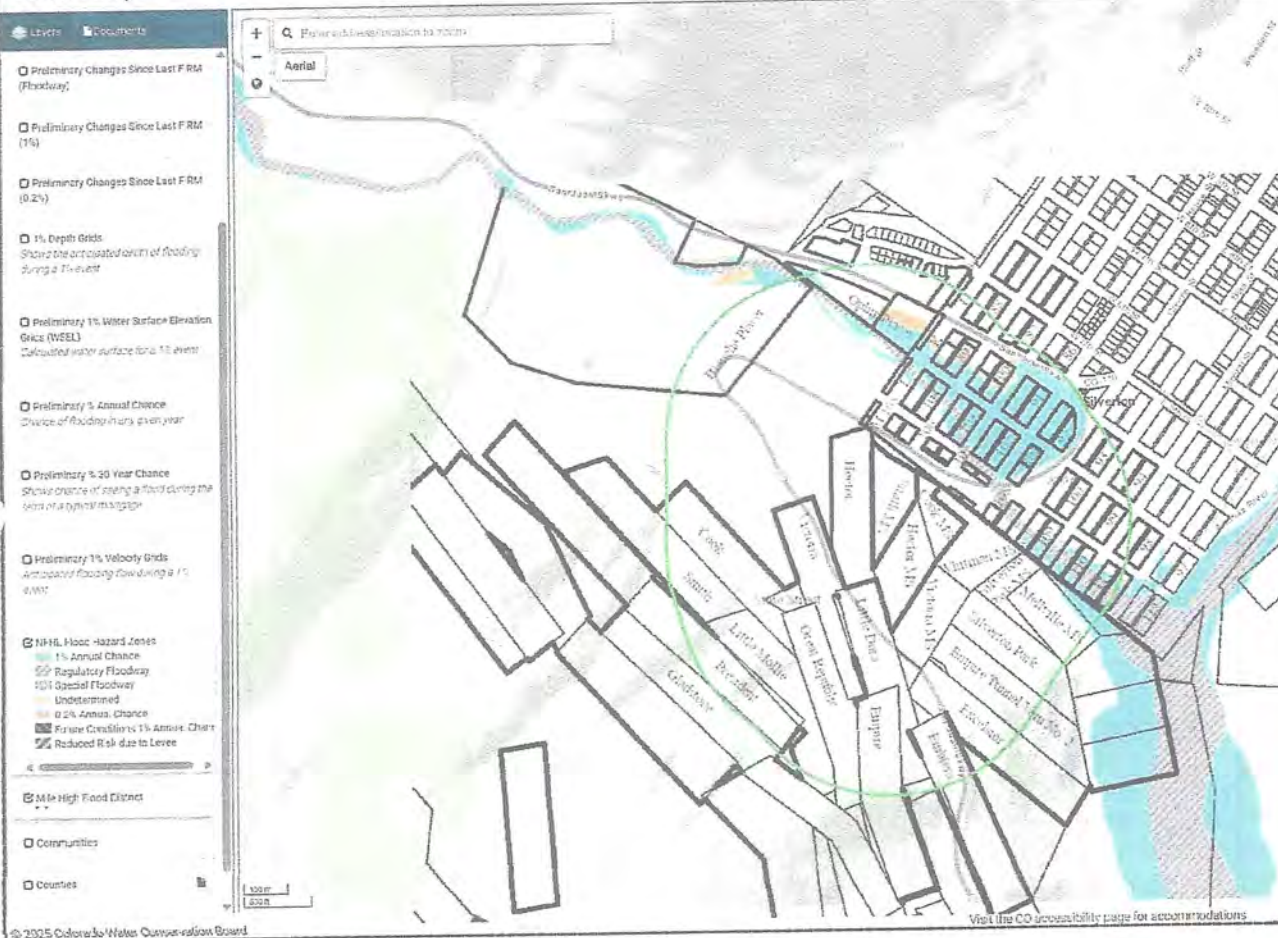
*SOILS *RETAINING WALLS
*SEPTICS *FOUNDATIONS
*GRADING AND DRAINAGE
*CIVIL SITE DEVELOPMENT

ALO MAP + COUNTY GEOHAZARDS MAP
CUMULATIVE IMPACTS REPORT, PROPOSED ROSE RESIDENCE
HECTOR LOPE ET AL, HIGHWAY 550
NEAR SILVERTON, IN SAN JUAN COUNTY, CO

DATE: 6/12/23
DRAWN BY: LMA
LAYOUT/MAK: ALO+GEOHAZMAP
DWG: 24-101/Hector...Cumu Maps.dwg
LAST REVISED: 5/22/25

CUMULATIVE
IMPACTS REPORT
MAP NO. 3

Data Map



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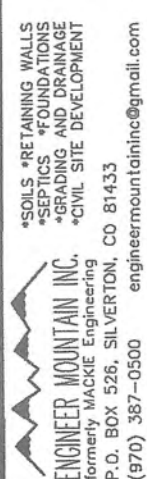
Visit the CO accessibility page for accommodations

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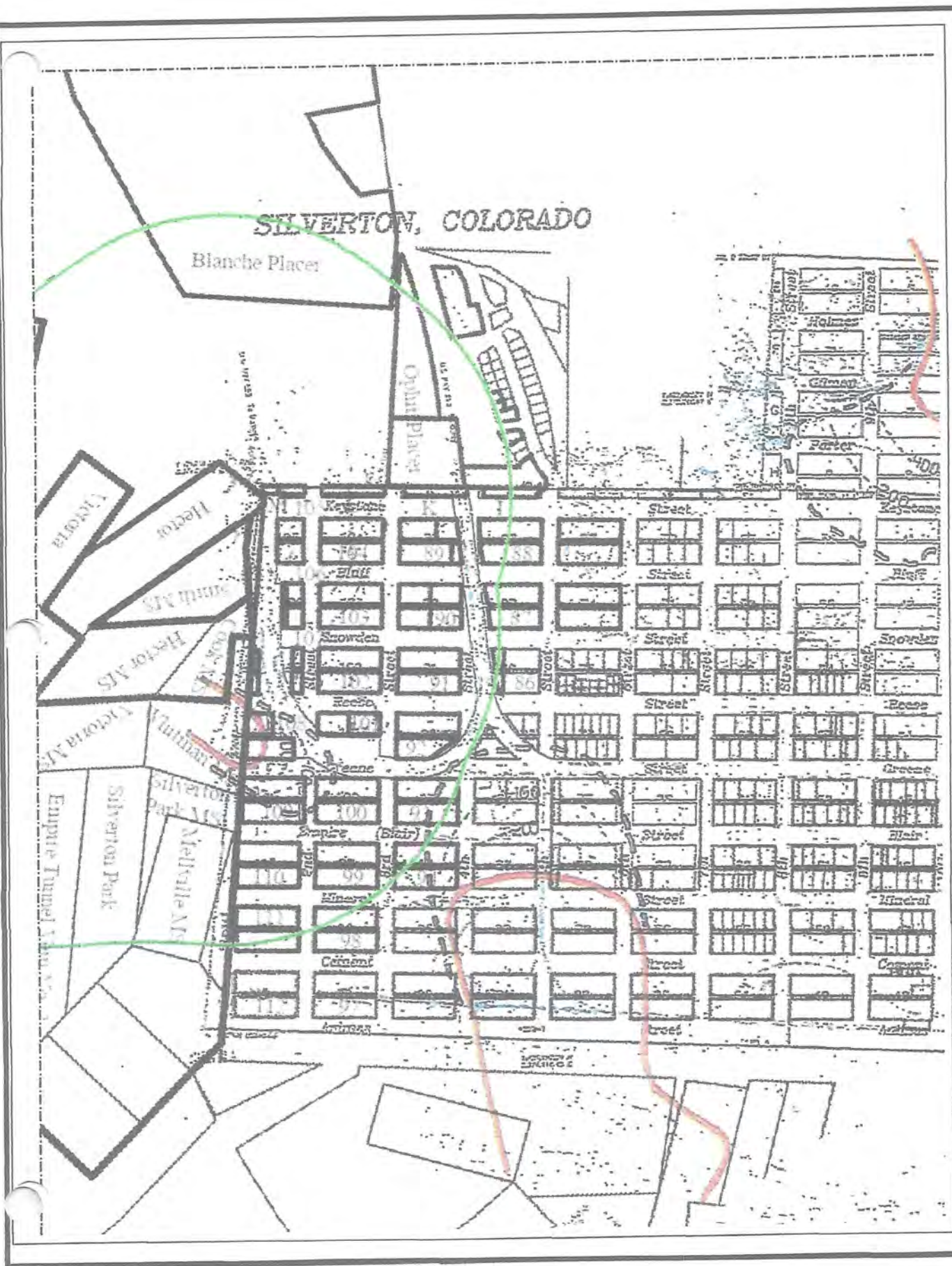
ALO MAP + FLOODPLAIN MAP
CUMULATIVE IMPACTS REPORT, PROPOSED ROSE RESIDENCE
HECTOR LOPE ET AL, HIGHWAY 550
NEAR SILVERTON, IN SAN JUAN COUNTY, CO

DATE: 8/12/23
DRAWN BY: LMA
LAYOUT/LMA: ALO-FEMA
DWG: 24-101/Hector...Cumulative Map.dwg
LAST REVISED: 5/22/25

CUMULATIVE IMPACTS REPORT MAP NO.



57

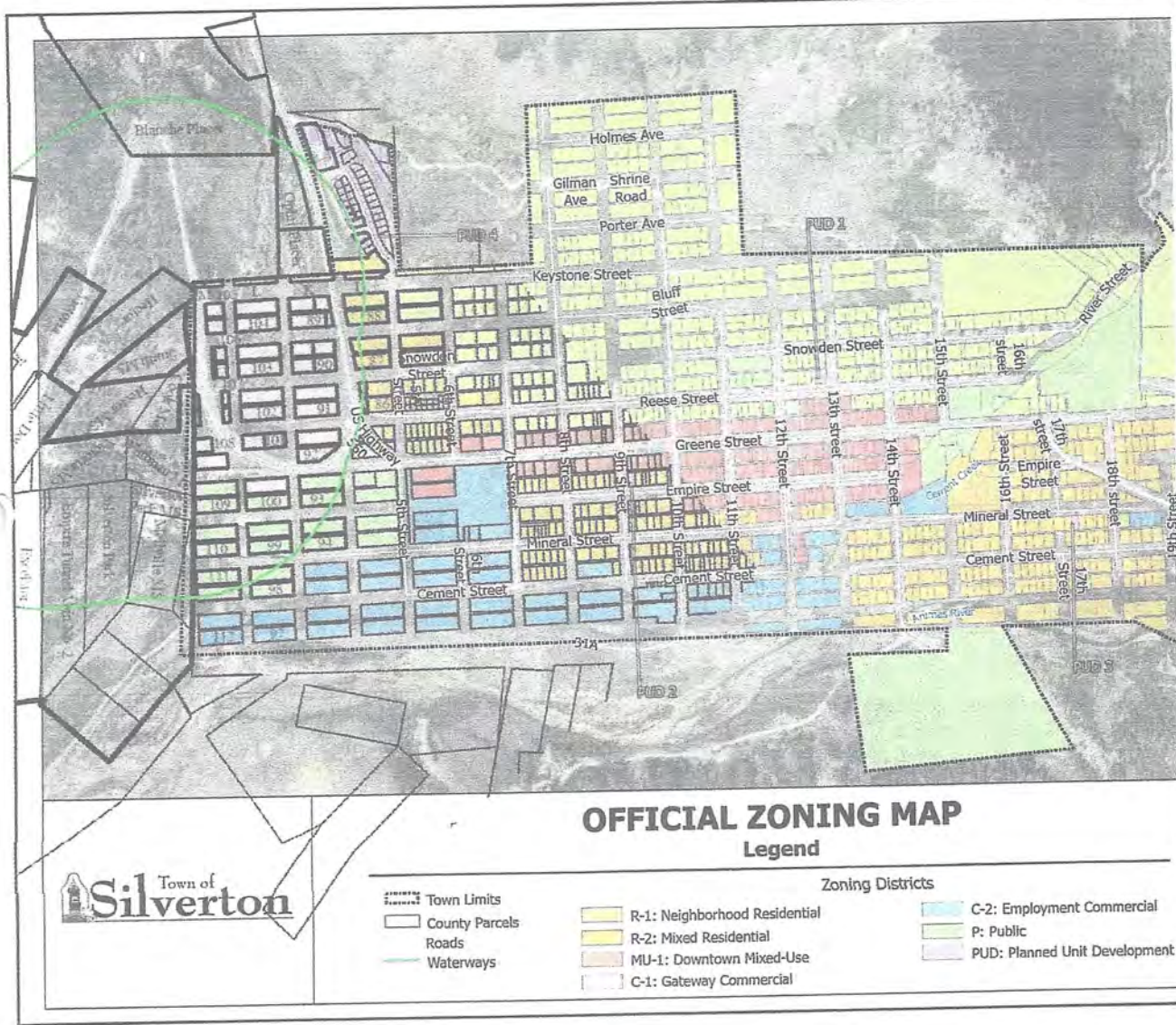


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ALO MAP + TOWN AVALANCHE HAZARD OVERLAY DISTRICT MAP
 CUMULATIVE IMPACTS REPORT, PROPOSED ROSE RESIDENCE
 HECTOR LODE ET AL, HIGHWAY 550
 NEAR SILVERTON, IN SAN JUAN COUNTY, CO

DATE: 8/12/23
 DRAWN BY: LMA
 LAYOUT/LMA: ALO+TOWN AVAL MAP
 DWG: 24-101/Hector...Cumu Map.dwg
 LAST REVISED: 5/22/25

CUMULATIVE
 IMPACTS REPORT
 MAP NO. 0



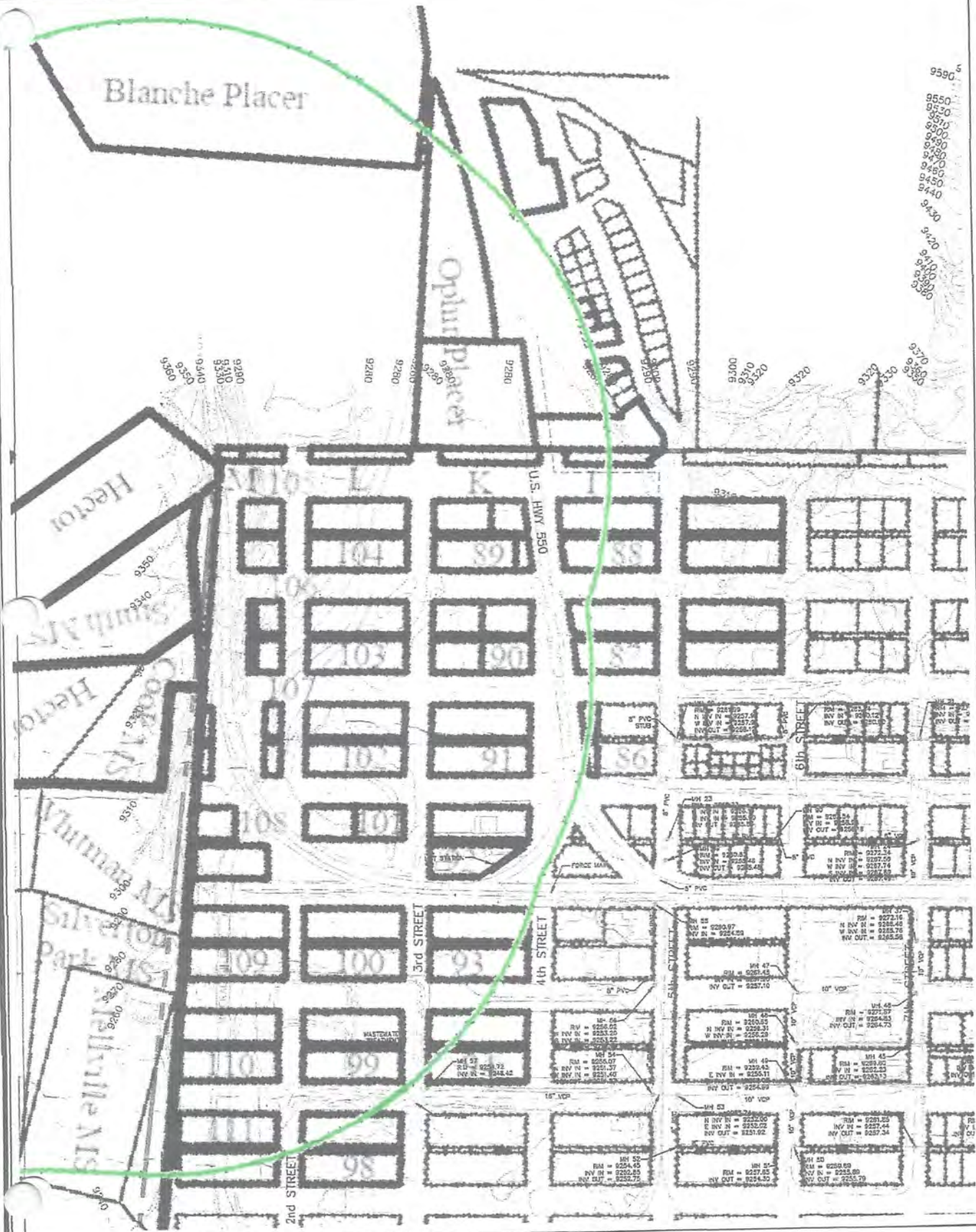
*SOILS *RETAINING WALLS
 *SEPTICS *FOUNDATIONS
 *GRADING AND DRAINAGE
 *CIVIL SITE DEVELOPMENT

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ALO MAP + TOWN ZONING MAP
CUMULATIVE IMPACTS REPORT, PROPOSED ROSE RESIDENCE
HECTOR LODE ET AL, HIGHWAY 550
NEAR SILVERTON, IN SAN JUAN COUNTY, CO

DATE: 6/12/23
 DRAWN BY: LMA
 LAYOUT/PLAN: ALO+TOWN ZONING MAP
 DWG: 24-101/Hector...Cummu Maps.dwg
 LAST REVISED: 5/22/25

CUMULATIVE
 IMPACTS REPORT
 MAP NO.

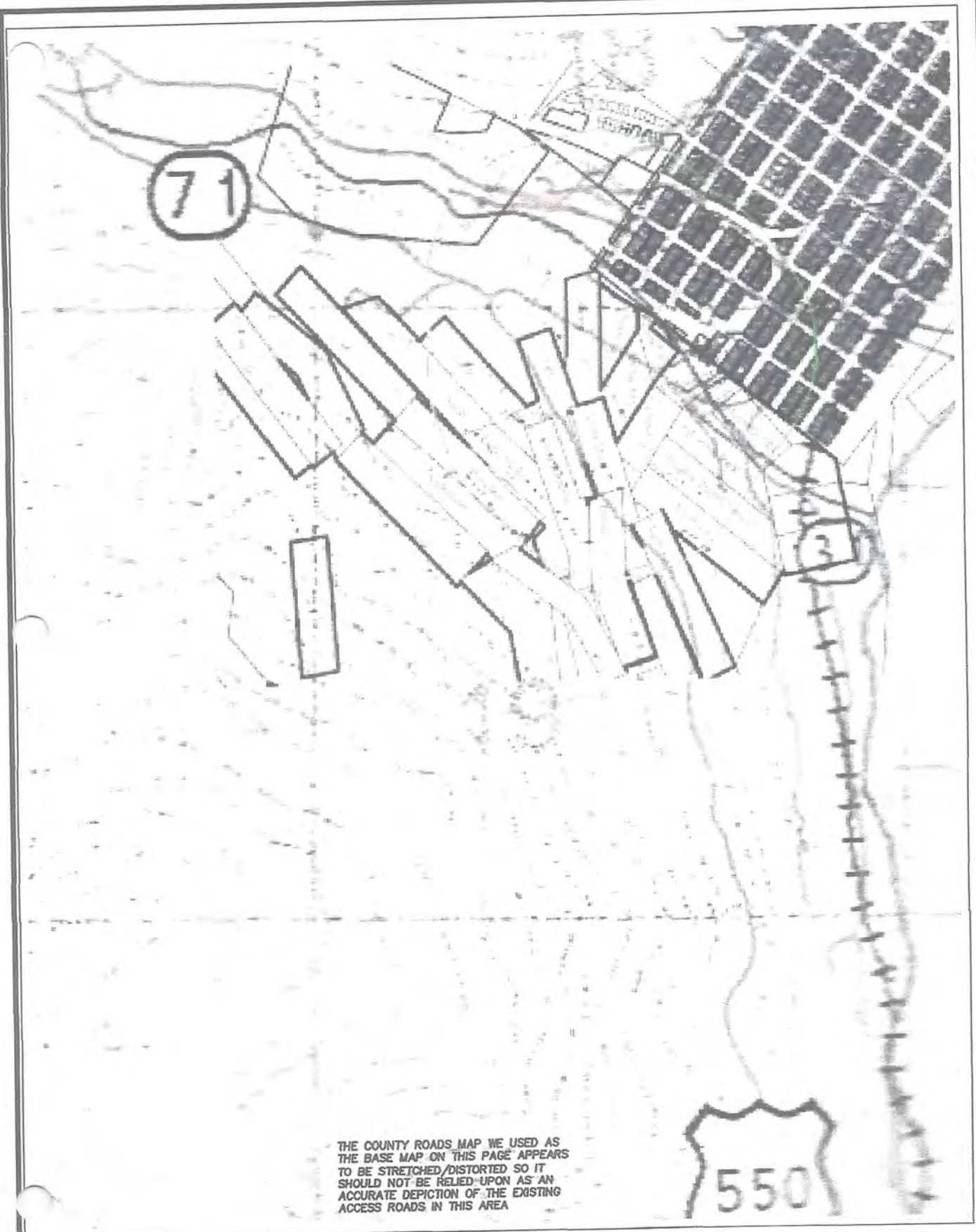


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ALO MAP + TOWN INFRASTRUCTURE MAP
CUMULATIVE IMPACTS REPORT, PROPOSED ROSE RESIDENCE
HECTOR LODE ET AL, HIGHWAY 550
NEAR SILVERTON, IN SAN JUAN COUNTY, CO

DATE: 8/12/23
DRAWN BY: LMA
LAYOUT/PLAN: ALO+TOWN INFRA MAP
DWG: 24-101/Hector...Cum Impacts.dwg
LAST REVISED: 5/22/25

CUMULATIVE IMPACTS REPORT MAP NO. 8



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*SOILS *RETAINING WALLS
 *SEPTICS *FOUNDATIONS
 *GRADING AND DRAINAGE
 *CIVIL SITE DEVELOPMENT

ALO MAP + COUNTY ROADS MAP

CUMULATIVE IMPACTS REPORT, PROPOSED ROSE RESIDENCE

HECTOR LOPE ET AL, HIGHWAY 550

NEAR SILVERTON, IN SAN JUAN COUNTY, CO

DATE: 6/12/23

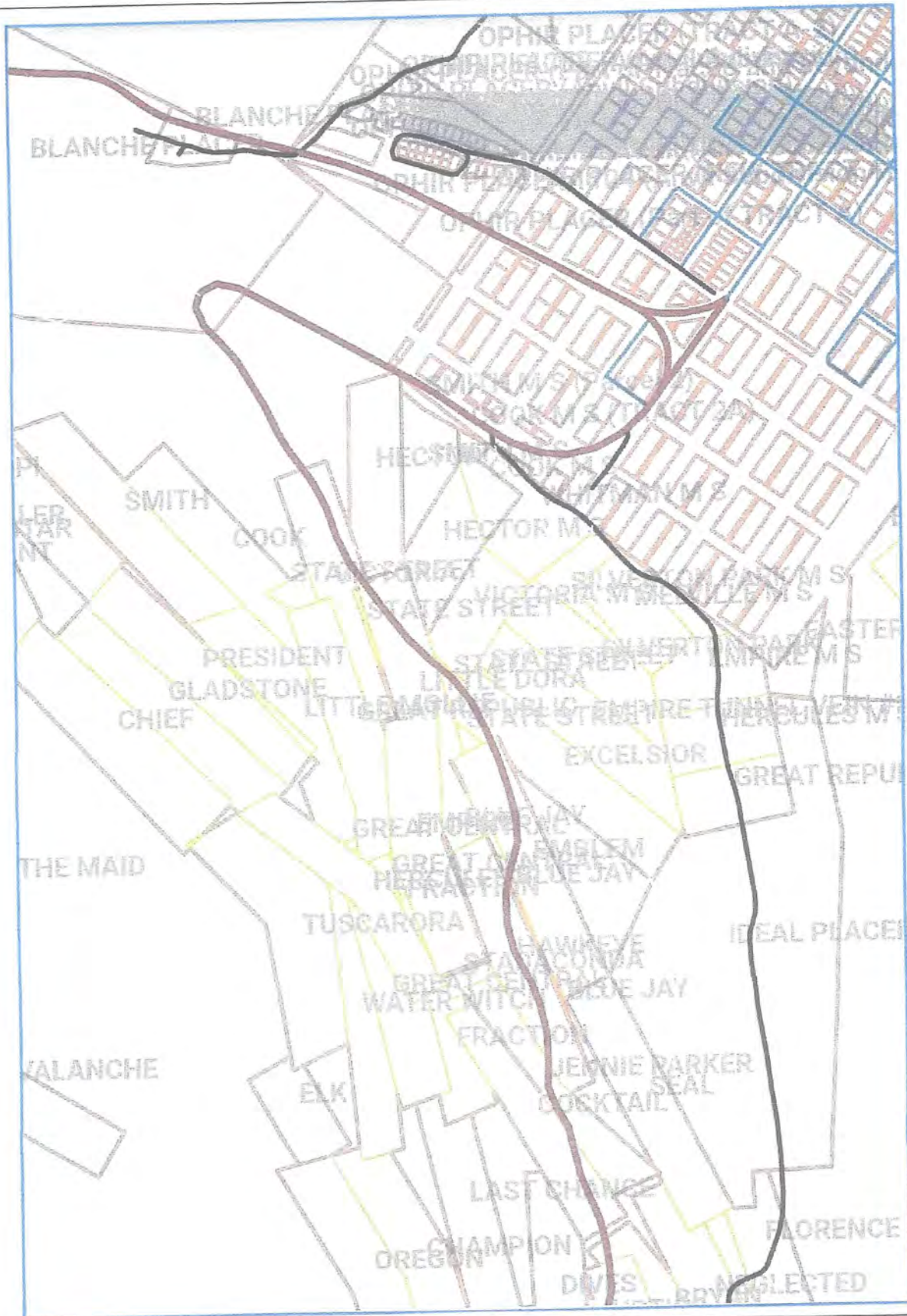
DRAWN BY: LMA

LAYOUT/MAK: ALO+CR MAP

DWG: 24-101/Hector...Cummu Maps.dwg

LAST REVISED: 6/14/25

CUMULATIVE IMPACTS REPORT MAP NO. 9

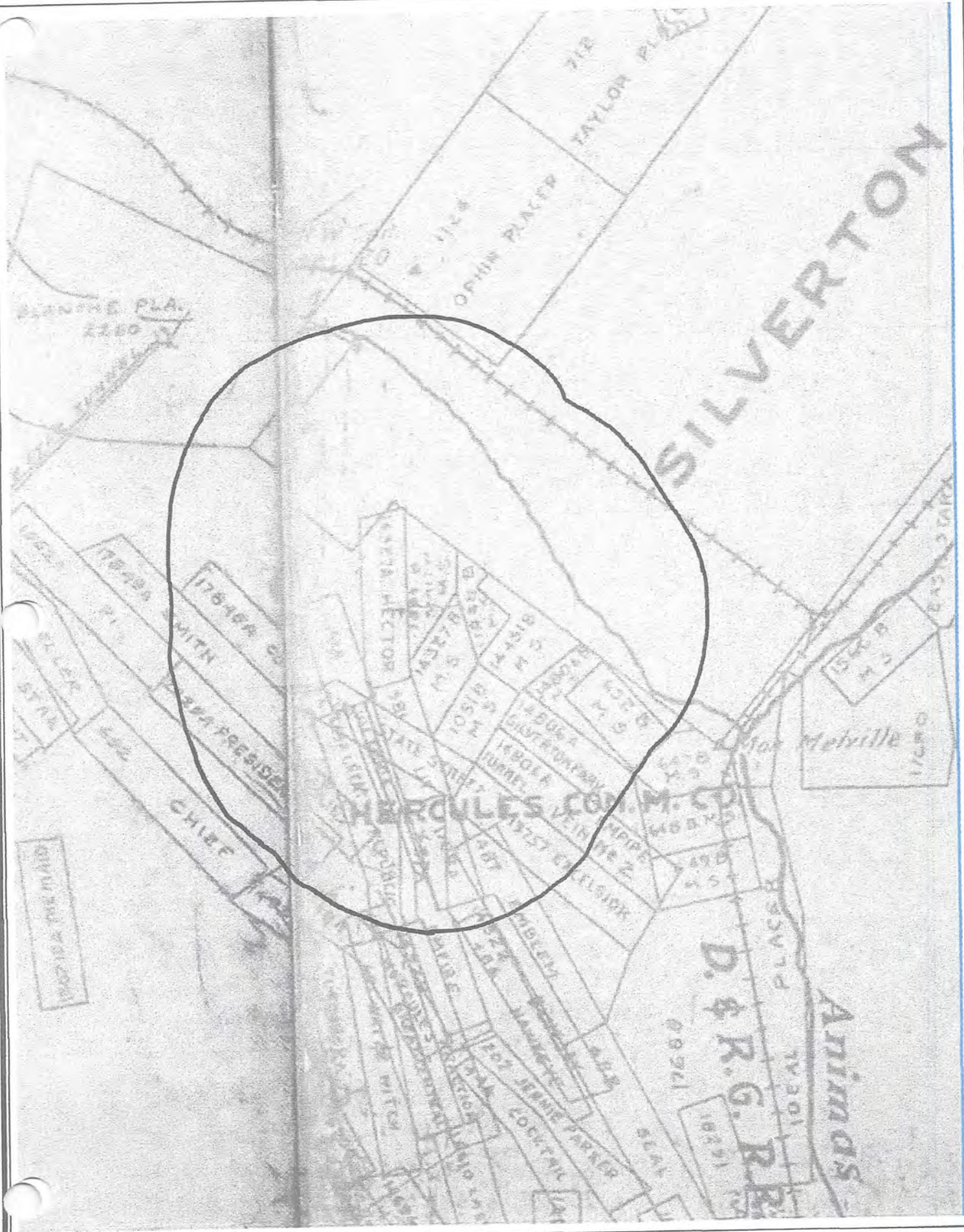


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ALO MAP + ASSESSOR PROPERTY MAP
 CUMULATIVE IMPACTS REPORT, PROPOSED ROSE RESIDENCE
 HECTOR LODE ET AL, HIGHWAY 550
 NEAR SILVERTON, IN SAN JUAN COUNTY, CO

DATE: 6/12/23
 DRAWN BY: LMA
 LAYOUT/LMA/ALO+ASSESSORPROP...MAP
 DWG: 24-101/Hector...CumulativeMap.dwg
 LAST REVISED: 5/22/25

CUMULATIVE
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 MAP NO.
 10



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*SOILS *RETAINING WALLS
 *SEPTICS *FOUNDATIONS
 *GRADING AND DRAINAGE
 *CIVIL SITE DEVELOPMENT

ALO MAP + ASSESSOR WALL MAP

CUMULATIVE IMPACTS REPORT, PROPOSED ROSE RESIDENCE

HECTOR LODGE ET AL, HIGHWAY 550

NEAR SILVERTON, IN SAN JUAN COUNTY, CO

DATE: 6/12/23

DRAWN BY: LMA

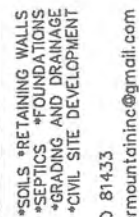
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DWG: 24-101/Hector...Cumu Mops.dwg

LAST REVISED: 5/22/25

CUMULATIVE IMPACTS REPORT
 MAP NO.

11



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(970) 387-0500 engine

WALO MAP + MAP FROM ASSESSOR PLAT BOOK

CUMULATIVE IMPACTS REPORT, PROPOSED ROSE RESIDENCE

HECTOR LODE ET AL. HIGHWAY 550

NEAR SILVERTON, IN SAN JUAN COUNTY, CO

DATE: 6/12/23

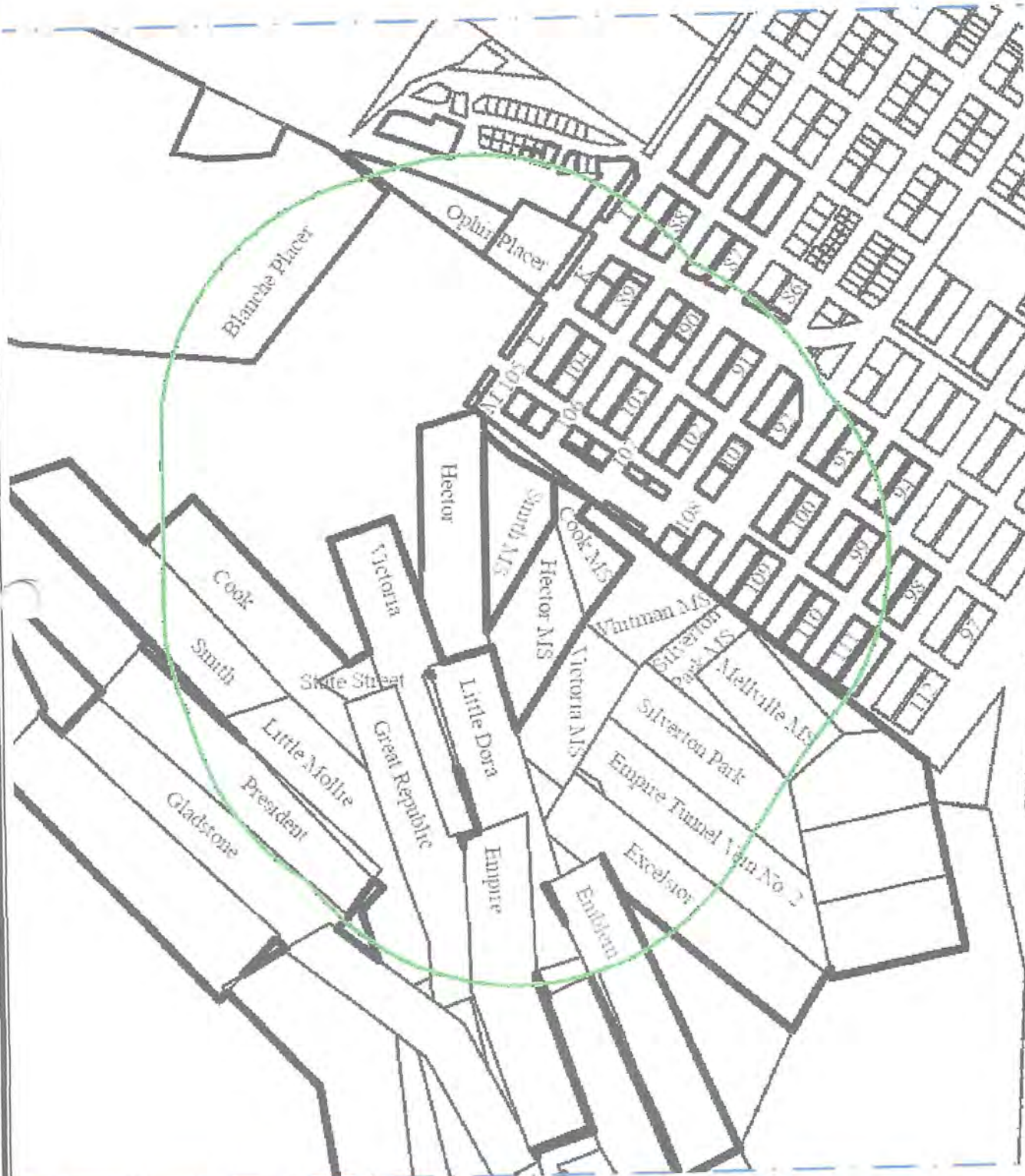
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LAYOUT/LMAN: ALO+ASSESSORPLATBOOK

DWG: 24-101/Hector...Cumu Maps.dwg

LAST REVISED: 5/22/25

CUMULATIVE
IMPACTS REPORT
MAP NO.



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*SOILS *RETAINING WALLS
*SEPTICS *FOUNDATIONS
*GRADING AND DRAINAGE
*CIVIL SITE DEVELOPMENT

ALO PROPERTY BOUNDARY MAP WITH PROPERTY NAMES
CUMULATIVE IMPACTS REPORT, PROPOSED ROSE RESIDENCE
HECTOR LODGE ET AL, HIGHWAY 550
NEAR SILVERTON, IN SAN JUAN COUNTY, CO

DATE: 6/12/23

DRAWN BY: LMA

LAYOUT/PLAN: ALO+HREFRAME

DWG: 24-101/Hector...Cumulative Maps.dwg

LAST REVISED: 5/24/25

CUMULATIVE
IMPACTS REPORT
MAP NO.

13

ATTACHMENT A

Claim Name	Parcel ID Number	Mineral Survey Number	Patent
A J BRILEY	47770000040003	2600	15955
A P HILL	47750160050027	1922	12437
ACHILLES	48310180010102	2580	17219
ADVENTURE	47750140050004; 47750140050044	14443	36006
ALICE	47750160050027	17371	43397
AMERICAN EAGLE	47750160050013	13270	32580
AMERICAN EAGLE M S	47750160050012	13270	32580
ANGLO SAXON	47750160050028	14875	40966
ANGLO SAXON PLACER	47750310040007	16687	41909
ANIMAS BELLE	47750110050006	4854	17904
ANN HARRIS PLACER (PARCEL C of Sunnyside Gold Corporation - Perino Boundary Adjustment)	48290090010039	11596	28491
AQUILLA	48310180010102	42	1834
BANDORA	48270000030023	7416	23280
BASTILE	47750160050017; 47750160050172; 47750160050173	15680	46082
BELCHER	47750160050013	2044	14878
BEN BUTLER	45690250050006	1291	25653
BEND PLACER	48290090010033	11596	28491
BENJAMIN FRANKLIN	47750140050004; 47750140050044	1011	7817
BERDILLA	47750180040005	1524	11398
BLAIR MOUNTAIN PLACER	48290100010012	16469	43204
BLAIR PLACER (part)	48290090010043	841	7983
BOSTON	45690360050004	54	3294
BREWSTER	47770240040002	15697	36439
BROOKLYN	47750190040007; 47750190040071	18982	298380
BROUILLET	47750310010009	19125	258712
BUENA VISTA	48290000010013	14012	34052
BULLION KING	47770000040003	2604	16060
BURROWS #2	45690360050006	107	3910
BYRON	47730170050013	419	6473
BYRON M S	47730170050010	419	6473
C H MILL SITE	48290090010033	20594	1126475
CARBON LAKE	47770130040019	1177	9128
CATARACT	48270000030023	20459	1050666
CLIPPER	47750140050002	1689	14301
COMET	47750120050005	17034	41816
CONGRESS	47770240040006; 47770240040111	1259	10127
CYNIC	47730170050001	126	2985
DEAN B	47750160050016	16795	40581
DEWITT	45690360050004	52	3271
DOOLEY	47750190040009; 47750200040007	18624	149242
E PLURIBUS	47750090050008	520	6060
EDWARD	47730170050001	210	5944
EUREKA POWER M S	47730190050014	16977	42149
EVENING STAR	47750120050004; 47750120050041; 48290120010111	17034	41816
FAMILY	45690360060002	4801	17907
FATTED CALF	47750100050001	18247	110836
Forest Lily M S	47730080050002	4835	18679
FOREST QUEEN #10	47730310050001	18843	156409
FRANKLIN	45690360050006	1739	11030
GALENA QUEEN	47770130040005; 47770130040053; 47770130040054; 47770130040055; 47770130040056; 47770130040057	2061	15364
GEM	48270040040005	13249	32742
GOLD	48290090010043	14012	34052
GORILLA	47750010010001	17549	43631
GOVERNOR	47750160050027	17371	43397
GOVERNOR	48270040040006	13249	32742
GRAND MOGUL	47750100050009	521	5970
GRAY COPPER	47750090050018	20377	1035597
GREENFIELD	45690360050018	49	3143
H M MILL SITE	48290090010010	20595	1120728
H V B MILL SITE	48290090010043	20594	1126475
HARRISON M S	47750160050028	14710	37311
HERBERT PLACER	47750210050011	13562	35681
HERCULES	47750180040044	18626	139274
HIDDEN HAND	47750140050004; 47750140050045	1658	14262
HIDDEN TREASURE	47750110050121	5010	17563
HIGH JACK	45710300050005	20470	1062852
Howardsville M S	48290020010022	9883	27301
HOWARDSVILLE PLACER (buildable portion)	48290010010091; 48290010010091	942	6908
I X L	47750160050027	1923	37468

ATTACHMENT A

IRON MASK	47750140050004; 47750140050044	14443	36006
IRON SILVER	47770230040012; 47770230040125	4599	16219
JEANNETTE ROUX PLACER (Tailings Pond Part)	48290090010043	11596	28491
JOHN H FRENCH PLACER	47730310050022	45	2490
JOHN H FRENCH PLACER	47730310050021	45	2490
JUNCTION	47770140040008	19335	365180
JUNCTION #1	47770140040008	19335	365180
JUNCTION #2	47770140040008	19335	365180
JUPITER	47750120050061	17034	41816
KANSAS CITY	47750190040006; 47750190040062; 47750190040065	18494	125561
Katy MS	48290110010001	797	7488
KILLARNEY	47770140040007; 47770140040009	2690	17339
L C M MILL SITE	47750210050006	20726	1131333
LA GARITA	47730060050016; 47730060050161	18221	0
LAST CHANCE	47750140050002	17901	110023
LETTER B	47750160050013	2045	14901
LIBBIE BAUDER EXT	47750160050027	17371	43397
LITTLE MARY	47750140050002	2038	15010
LITTLE TODD	4827000030023	7416	23280
LONDON	45690360050018	5961	22971
LONGFELLOW	47770140040008	5341	17913
LUCKY JACK	45710300050005	17907	45542
M B MILL SITE	48290100010006	20595	1120728
M D THATCHER (PARCEL D of Sunnyside Gold Corporation - Perino Boundary Adjustment)	48290090010040	17699	45664
MAY	47750310010009	19125	258712
MINERAL KING	47750180040005	2051	11816
MORNING STAR	47770230040012; 47770230040124	6793	21105
MORNING STAR	47750120050051	17034	41816
MOUNTAIN QUEEN	47750100050001	792	8979
M N MILL SITE	48290100010006	20595	1120728
NATALIE PLACER	47750280050004	15171	39983
NOBLE	4827000030023	7416	23280
None Such MS	48290020010023	1864	23894
OREGON	47750150050001	17233	42968
ORIENTAL	47770230040012; 47770230040125	16099	39190
ORLEANS MS	47750210050021	15061	38352
PARADOX	47770130040110	19343	377099
PARALLEL	45690350060016	18152	240272
PETER PLACER (PARCEL F of Sunnyside Gold Corporation - Perino Boundary Adjustment)	48290090010042	11596	0
PIEDMONT	48290090010035	15112	37830
POLAR STAR MS (PARCEL E of Sunnyside Gold Corporation - Perino Boundary Adjustment)	48290090010041	7608	0
PRIDE OF THE ROCKIES	47750110050121	7628	31534
PRIDE OF THE WEST	48310190010005	41	2250
QUEEN OF THE WEST	45690360060017	1215	9385
RED CLOUD	45690360050006	120	3909
REGULATOR MS (E of Cunningham Creek)	48310180010030; 48310180010031	154	3295
REPUBLIC	47750140050002	12724	31197
RICHMOND	48310190010005	678	8313
RIVER	48290090010035	15112	37830
ROB BOY	47730170050001	499	7784
ROB THE RANTER	47750090050014	778	8834
ROYAL CHARTER	48290110010004	1710	11359
SALEM	47770130040109	1178	15951
SAMPSON MS	47750160050014	1618	11520
SAN JUAN	48290100010004	15112	37830
SELMA #1	47770130040006	19343	377099
SENATOR	47730190050014	16804	40898
SHAMROCK	47750010010002	17549	43631
SILVER LEDGE	47770230040012; 47770230040122	1523	17456
SILVER PITCHER	47770130040005; 47770130040053; 47770130040054; 47770130040055; 47770130040056; 47770130040057	2062	15365
SPARTA	47770240040003	18626	139274
SUCCESS PLACER	47750160050014	1914	11521
T H W MILL SITE (TRACT A)	48290100010006	20595	1120728
T H W MILL SITE (TRACT B)	48290100010006	20595	1120728
THERESA	47750090050008	15968	40372
THERESA MS	47750090050033	15968	40372
THUNDERBERG	47750140050002	1395	9388
TRACT 41 (PARCEL A of Sunnyside Gold Corporation - Perino Boundary Adjustment)	48290090010037	0	186140

ATTACHMENT A

TRACT BB (PARCEL B of Sunnyside Gold Corporation - Perino Boundary Adjustment)	48290090010038	0	186140
TRAIL S 500 FT	48310180010030	130	3096
TURKOIS	47770230040128; 47770230040129	1496	9589
VENUS	47750120050061	17034	41816
Vienna Placer	48290110010005	14057	34524
W M G L	47730060050005	19931	898231
WALKYRIE	47730060050005	19931	898231
WASHINGTON	45690250060015	104	4042
WINNING	47770000040121; 47770000040123	11560	29635
YOUNG	47750090050008	16523	39991
ZOO	47770000040121; 47770000040123	11560	29635

CUMULATIVE IMPACTS REPORT
Proposed Rose Residence, Hector Lode
Engineer Mountain, Inc.

4. Existing and Potential Development of the Vicinity Properties

The County regulations require that we include within this report a description of the existing and potential development in the vicinity of the project site. The properties were evaluated based on whether they are located within Town Limits, or outside of Town Limits in the County.

List of Criteria Used to Evaluate the Future Development Potential of the Properties

We have prepared two tables listing the approximately 106 properties in the "relevant area" surrounding the project site. The two tables include the property information and criteria used to provide a cursory evaluation of the existing and potential development of the properties.

- Property Name
- Ownership
- Acreage
- Existing Use
- Access
- Avalanche Hazard Zones
- Other Potential Natural Hazards

For the County properties, we also evaluated:

- Assessor Value
- Whether or not it is listed on the County Environmental Remediation Ordinance Inventory

For the in-Town properties, we also evaluated:

- Number of Lots
- Zoning Classification
- Availability of Existing Utility Mains

Tables of Vicinity Properties and Cursory Evaluation of Development Potential

The tables on the following two pages summarize the existing and potential likely future development in the Vicinity of the project site.

CUMULATIVE IMPACTS REPORT
PROPOSED ROSE RESIDENCE, HECTOR LODE, ET AL
SHEET 1 OF 2: PROPERTIES WITHIN TOWN LIMITS
ENGINEER MOUNTAIN INC. (LAST REVISED ON 5/26/25)

TABLE OF PROPERTIES AND CURSORY EVALUATION OF DEVELOPMENT POTENTIAL IN THE VICINITY OF THE PROJECT SITE

#	PROPERTY	OWNER(S)	ACRES	NO. OF LOTS	EXISTING USE	TOWN ZONING	IS THE STREET TO IT ALREADY BUILT	DOES IT HAVE ANALANCHE RED ZONE	DOES IT HAVE KNOWN WETLANDS ON IT	IS IT ALMOST ALL FLOOD- PLAIN	DOES IT HAVE NEARBY UTILITIES	CURSORY EVALUATION OF REASONS IT IS NOT DEVELOPABLE	DEVELOPMENT POTENTIAL	PROPERTY
1	Lot 18, Anvil Mountain Subdivision	9318 Development Ventures LLC	0.05	1	Vacant w/ Utilities	PUD: Planned Unit Development	Yes	No	No	No	Yes	Part of Pre Approved Subdivision	Approved Future Residence	Lot 18, Anvil Mountain Subdivision
2	Lot 27, Anvil Mountain Subdivision	9318 Development Ventures LLC	0.05	1	Single Family Residence	PUD: Planned Unit Development	Yes	No	No	No	Yes	Part of Pre Approved Subdivision	Existing Residence	Lot 27, Anvil Mountain Subdivision
3	Lot 15, Anvil Mountain Subdivision	Anvil Townhomes LLC	0.09	1	Vacant	PUD: Planned Unit Development	Yes	No	No	No	Yes	Part of Pre Approved Subdivision	Proposed Townhomes	Lot 15, Anvil Mountain Subdivision
4	Lot 16, Anvil Mountain Subdivision	Anvil Townhomes LLC	0.13	1	Vacant	PUD: Planned Unit Development	Yes	No	No	No	Yes	Part of Pre Approved Subdivision	Proposed Townhomes	Lot 16, Anvil Mountain Subdivision
5	Lot 17, Anvil Mountain Subdivision	Anvil Townhomes LLC	0.12	1	Vacant	PUD: Planned Unit Development	Yes	No	No	No	Yes	Part of Pre Approved Subdivision	Proposed Townhomes	Lot 17, Anvil Mountain Subdivision
6	Lot 28 Anvil Mountain Subdivision	Raelen Barr	0.05	1	Single Family Residence	PUD: Planned Unit Development	Yes	No	No	No	Yes	Part of Pre Approved Subdivision	Existing Residence	Lot 28, Anvil Mountain Subdivision
7	Fractional Block L	Brandi Hatfield & Robert Nix	0.45	1	Vacant	C-1: Gateway Commercial	Yes	No	Yes	Yes	No	Creek/Floodplain/Wetlands, Access from Rd off Hwy	Unlikely to be Developed	Fractional Block L
8	Lot 1, Block 75, Scarborough Subdivision	David Breed	0.17	1	Single Family Residence	R-2: Mixed Residential	Yes	No	No	No	Yes	Existing Residence	Existing Residence	Lot 1, Block 75, Scarborough Subdivision
9	Unit A, Brown Subd, Lot 5 of Scarborough Subd	Kimberly Christine Hummer Trust	0.37	1	Townhome Unit	R-2: Mixed Residential	Yes	No	No	No	Yes	Four Unit Townhome Building at 5th/Reese	Existing Townhome	Unit A, Brown Subd, Lot 5 of Scarborough Subd.
10	Lot 14, Anvil Mountain Subdivision	Hillary Cable	0.08	1	Single Family Residence	R-2: Mixed Residential	Yes	No	No	No	Yes	Part of Pre Approved Subdivision	Existing Residence	Lot 14, Anvil Mountain Subdivision
11	Lot 29, Anvil Mountain Subdivision	Maika & Wade Christensen	0.06	1	Single Family Residence	PUD: Planned Unit Development	Yes	No	No	No	Yes	Part of Pre Approved Subdivision	Existing Residence	Lot 29, Anvil Mountain Subdivision
12	Portion of Fractional Block M	CDOT	0.08	1	Vacant	C-1: Gateway Commercial	Highway 550	No	No	No	No	Mostly Highway Embankment	Existing Highway & ROW	Portion of Fractional Block M
13	Lots 7-11, Block 101	CDOT	0.29	4	Vacant	C-1: Gateway Commercial	Highway 550	No	Yes	Yes	No	Existing Highway near Gas Station	Existing Highway & ROW	Lots 7-11, Block 101
14	Lots 4 & 21, Block 106	CDOT	0.11	2	Vacant	C-1: Gateway Commercial	Highway 550	No	No	No	No	Mostly Willows and Hwy Embankment	Existing Highway & ROW	Lots 4 & 21, Block 106
15	Lots 1-2, 11-12 and 23-24, Block 107	CDOT	0.29	6	Vacant	C-1: Gateway Commercial	Highway 550	No	Yes	No	No	Mineral Creek and Hwy Embankment	Existing Highway & ROW	Lots 1-2, 11-12 and 23-24, Block 107
16	Blocks 87, 96, 97, 112	D&SNGRR	5.50	96	Railroad	C-2: Employment Commercial	Train Access	Yes	No	No	No	Blocks Under Railroad Tracks near Animas Confluence	Existing Railroad & ROW	Blocks 87, 96, 97, 112
17	Lot 11, Anvil Mountain Subdivision	Jason Ebelheiser	0.09	1	Single Family Residence	PUD: Planned Unit Development	Yes	No	No	No	Yes	Part of Pre Approved Subdivision	Existing Residence	Lot 11, Anvil Mountain Subdivision
18	Lot 8, Anvil Mountain Subdivision	Dustin & Thomas Eldridge	0.09	1	Single Family Residence	PUD: Planned Unit Development	Yes	No	No	No	Yes	Part of Pre Approved Subdivision	Existing Residence	Lot 8, Anvil Mountain Subdivision
19	Lots 1-12, Block 100	FM4 LLC	0.69	12	Outdoor Storage	C-1: Gateway Commercial	Yes	No	Yes	No	No	Rock/Ice Pirates Storage, Possible Future Building(s)	Likely Future Structure	Lots 1-12, Block 100
20	Lot 12, Anvil Mountain Subdivision	Nicholas & Laurel Foster	0.08	1	Single Family Residence	PUD: Planned Unit Development	Yes	No	No	No	Yes	Part of Pre Approved Subdivision	Existing Residence	Lot 12, Anvil Mountain Subdivision
21	Lots 23-24, Block 89	Gerald and Nancy Swanson Rev. Trust	1.09	2	Vacant	C-1: Gateway Commercial	Highway 550	No	No	Yes	No	Hwy 550 Embankment South of Qwest Building	Unlikely to be Developed	Lots 23-24, Block 89
22	Lots 1-6 and 19-24, Block 90	Gerald and Nancy Swanson Rev. Trust	5.05	11	Vacant	C-1: Gateway Commercial	Highway 550	No	No	Yes	No	1/2 Block Along Hwy/Snowden/Bluff, Some Floodplain	Likely Future Structure(s)	Lots 1-6 and 19-24, Block 90
23	Lots 1-24, Block 91	Gerald and Nancy Swanson Rev. Trust	2.52	24	Vacant	C-1: Gateway Commercial	Highway 550	No	No	Yes	No	All Floodplain, Located Along Hwy at Snowden/Reese	Possible RVs/Structure(s)	Lots 1-24, Block 91
24	Lots 1-6, Block 101	Gerald and Nancy Swanson Rev. Trust	0.34	6	Vacant	C-1: Gateway Commercial	Highway 550	No	Yes	Yes	No	Wetlands/Drainage Pond Area Adj to Hwy/Gas Station	Unlikely to be Developed	Lots 1-6, Block 101
25	Lots 1-24, Block 102	Gerald and Nancy Swanson Rev. Trust	1.38	24	Vacant	C-1: Gateway Commercial	Platted 3rd Street	No	Yes	Yes	No	All Floodplain, Located on 3rd St/Snowden/Reese	Possible Future Structure(s)	Lots 1-24, Block 102
26	Lots 1-24, Block 103	Gerald and Nancy Swanson Rev. Trust	0.86	24	Vacant	C-1: Gateway Commercial	Platted 3rd Street	No	Yes	Yes	No	Almost All Floodplain and Creek	Possible Camping/RV Use	Lots 1-24, Block 103
27	Lots 1-24, Block 104	Gerald and Nancy Swanson Rev. Trust	0.43	24	Vacant	C-1: Gateway Commercial	Road on Hwy	No	Yes	Yes	No	Land with Creek Bank and Access Road along Hwy	Possible Future Structure(s)	Lots 1-24, Block 104
28	Lots 1-2, 11-14, and 23-24 Block 107	Gerald and Nancy Swanson Rev. Trust	0.11	8	Vacant	C-1: Gateway Commercial	Hwy 550	No	Yes	No	No	Creek Bank Along Hwy 550	Possible Camping/RV Use	Lots 1-2, 11-14, and 23-24 Block 107
29	Lots 8-21, Block 108	Gerald and Nancy Swanson Rev. Trust	0.80	13	Vacant	C-1: Gateway Commercial	Near Old Bridge	Yes	Yes	No	No	Red Zone, Wetlands, Mineral Creek, near Old Bridge	Possible Camping/RV Use	Lots 8-21, Block 108
30	Lot 10, Anvil Mountain Subdivision	Haley and Kerry Farwell Rev. Trust	0.09	1	Single Family Residence	PUD: Planned Unit Development	Yes	No	No	No	Yes	Part of Pre Approved Subdivision	Existing Residence	Lot 10, Anvil Mountain Subdivision
31	Portion of Fractional Block M	Gerald & Roberta Nix Living Trust	0.13	5	Hwy Embankment	C-1: Gateway Commercial	Adjacent to Highway 550	No	No	No	No	Mostly Highway Embankment	Unlikely to be Developed	Portion of Fractional Block M
32	Lots 1-5, 20-24, Block 105	Gerald & Roberta Nix Living Trust	0.29	10	Hwy Embankment	C-1: Gateway Commercial	Adjacent to Highway 550	No	No	No	No	Mostly Highway Embankment	Unlikely to be Developed	Lots 1-5, 20-24, Block 105
33	Lots 1-3, 22-24, Block 106	Gerald & Roberta Nix Living Trust	0.17	10	Hwy Embankment	C-1: Gateway Commercial	Adjacent to Highway 550	No	No	No	No	Mostly Highway Embankment	Unlikely to be Developed	Lots 1-3, 22-24, Block 106
34	Lot 20, Anvil Mountain Subdivision	Sarah Wendlandt & Jordan Bierma	0.06	1	Single Family Residence	PUD: Planned Unit Development	Yes	No	No	No	Yes	Part of Pre Approved Subdivision	Existing Residence	Lot 20, Anvil Mountain Subdivision
35	Lot 7, Anvil Mountain Subdivision	Marc Kloster & Katie Shapiro	0.09	1	Single Family Residence	PUD: Planned Unit Development	Yes	No	No	No	Yes	Part of Pre Approved Subdivision	Existing Residence	Lot 7, Anvil Mountain Subdivision
36	Unit C, Brown Subd, Lot 5 of Scarborough Subd	Kyle Liddick	0.04	1	Townhome Unit	PUD: Planned Unit Development	Yes	No	No	No	Yes	Four Unit Townhome Building at 5th/Reese	Existing Townhome	Unit C, Brown Subd, Lot 5 of Scarborough Subd.
37	Portion of Block 89	Lumen Qwest Corporation	Unknown	1	Utility Structure	C-1: Gateway Commercial	Yes	No	No	No	No	Existing Phone Infrastructure Building/Fenced Area	Existing Utility Building	Portion of Block 89
38	Fractional Block K	Linda Luther	0.28	1	Vacant	C-1: Gateway Commercial	Yes	No	Yes	Yes	No	Has Some Floodplain and Wetlands	Possible Future Structure(s)	Fractional Block K
39	Lot 19, Anvil Mountain Subdivision	Melina Marks	0.06	1	Single Family Residence	PUD: Planned Unit Development	Yes	No	No	No	Yes	Part of Pre Approved Subdivision	Existing Residence	Lot 19, Anvil Mountain Subdivision
40	Lots 1-24, Block 73	Mineral Creek Homes, Inc.	1.35	24	Vacant	R-2: Mixed Residential	Yes	No	No	No	Yes	Recent Rezoning with New Utility Mains	Likely Future Structures	Lots 1-24, Block 73
41	Lots 1-24, Block 74	Mineral Creek Homes, Inc.	1.35	24	Vacant	R-2: Mixed Residential	Yes	No	No	No	Yes	Recent Rezoning with New Utility Mains	Likely Future Structures	Lots 1-24, Block 74
42	Lots 8-9, 17, Block 86	Mineral Creek Homes, Inc.	0.98	3	Vacant	R-2: Mixed Residential	Yes	No	No	No	Yes	Recent Rezoning with New Utility Mains	Likely Future Structures	Lots 8-9, 17, Block 86
43	Lots 1-11 and 15-24, Block 87	Mineral Creek Homes, Inc.	1.01	21	Vacant	R-2: Mixed Residential	Yes	No	No	No	Yes	Recent Rezoning with New Utility Mains	Likely Future Structures	Lots 1-11 and 15-24, Block 87
44	Lots 1-24, Block 88	Mineral Creek Homes, Inc.	1.08	24	Vacant	R-2: Mixed Residential	Yes	No	No	No	Yes	Recent Rezoning with New Utility Mains	Likely Future Structures	Lots 1-24, Block 88
45	Lots 1-3, Block 85	Mineral Creek Homes, Inc.	0.09	3	Vacant	R-2: Mixed Residential	Yes	No	No	No	Yes	Recent Rezoning with New Utility Mains	Likely Future Structures	Lots 1-3, Block 85
46	Lots 1-7 and 18-24, Block 86	Mineral Creek Homes, Inc.	0.20	14	Vacant	R-2: Mixed Residential	Yes	No	No	No	Yes	Recent Rezoning with New Utility Mains	Likely Future Structures	Lots 1-7 and 18-24, Block 86
47	Lot 3, Anvil Mountain Subdivision	Robert & Cassandra Roof	0.08	1	Vacant	PUD: Planned Unit Development	Yes	No	No	No	Yes	Part of Pre Approved Subdivision	Approved Future Residence	Lot 3, Anvil Mountain Subdivision
48	Lot 9, Anvil Mountain Subdivision	Melanie Russek & Jordan Carrier	0.09	1	Single Family Residence	PUD: Planned Unit Development	Yes	No	No	No	Yes	Part of Pre Approved Subdivision	Existing Residence	Lot 9, Anvil Mountain Subdivision
49	Lots 6-22, Block 89 (Undivided 4/5 Interest)	Janice Sanders	0.20	17	Vacant	C-1: Gateway Commercial	Platted 3rd Street	No	Yes	Yes	No	Block along Hwy/Platted 3rd Street	Possible Future Structure(s)	Lots 6-22, Block 89 (Undivided 4/5 Interest)
50	Lots 7-18, Block 90 (Undivided 4/5 Interest)	Janice Sanders	0.06	12	Vacant	C-1: Gateway Commercial	Platted 3rd Street	No	Yes	Yes	No	Block along Hwy/Platted 3rd Street	Possible Future Structure(s)	Lots 7-18, Block 90 (Undivided 4/5 Interest)
51	Lot 26, Anvil Mountain Subdivision	Tyler & Emma Schaffrick	0.05	1	Single Family Residence	PUD: Planned Unit Development	Yes	No	No	No	Yes	Part of Pre Approved Subdivision	Existing Residence	Lot 26, Anvil Mountain Subdivision
52	Lot 5, Anvil Mountain Subdivision	Howard Stern	0.08	1	Single Family Residence	PUD: Planned Unit Development	Yes	No	No	No	Yes	Part of Pre Approved Subdivision	Existing Residence	Lot 5, Anvil Mountain Subdivision
53	Unit B, Brown Subd, Lot 5 of Scarborough Subd	Emily Thorn & Dave Kesonie	0.04	1	Townhome Unit	PUD: Planned Unit Development	Yes	No	No	No	Yes	Four Unit Townhome Building at 5th/Reese	Existing Townhome	Unit B, Brown Subd, Lot 5 of Scarborough Subd.
54	Lots 1-24 Block 83	Town of Silverton	1.38	24	Running Track	P: Public	Yes	No	No	No	No	Town Running Track	Existing Running Track	Lots 1-24 Block 83
55	Lots 1-6, Block 84	Town of Silverton	0.44	6	Public Park	P: Public	Yes	No	No	No	Yes	Visitors Center	Existing Park	Lots 1-6, Block 84
56	Lots 7-12, Block 84	Town of Silverton	0.33	6	Visitor Center Parking	P: Public	Yes	No	No	No	Yes	Visitors Center	Existing Visitors Center	Lots 7-12, Block 84
57	Lots 13-24, Block 84	Town of Silverton	0.66	12	Visitors Center/Access Rd.	P: Public	Yes	No	No	No	Yes	Visitors Center	Existing Visitors Center	Lots 13-24, Block 84
58	Lots 4-24, Block 85	Town of Silverton	1.21	20	The Wye/Hwy/Rds./Signs	P: Public	Yes	No	No	No	No	Roads/Signs at the "Wye" Highway Entrance of Town	The Wye (Ex. Hwy/Road)	Lots 4-24, Block 85
59	Lots 1-24, Block 93	Town of Silverton	1.38	24	Baseball Field	P: Public	Yes	No	No	No	No	Town Baseball Field	Baseball Field	Lots 1-24, Block 93
60	Lots 1-24, Block 94	Town of Silverton	1.38	24	Running Track	P: Public	Yes	No	No	No	No	Town Running Track	Existing Running Track	Lots 1-24, Block 94
61	Lots 1-24, Block 95	Town of Silverton	1.38	24	Sewage Pond	P: Public	Yes	No	Yes	No	Yes	Town Wastewater Treatment Plant (WWTP)	Existing Sewage Pond	Lots 1-24, Block 95
62	Lots 1-24, Block 98	Town of Silverton	1.38	24	Sewage Building/Storage	P: Public	Yes	No	Yes	No	Yes	WWTP	Existing Sewer Building/Storage	Lots 1-24, Block 98
63	Lots 1-24, Block 99	Town of Silverton	1.38	24	Sewage Ponds	P: Public	Yes	No	Yes	No	Yes	WWTP	Existing Sewage Pond	Lots 1-24, Block 99
64	Lots 13-24, Block 100	Town of Silverton	0.69	12	Sewage Pond Access	P: Public	Yes	No	Yes	No	Yes	WWTP	Sewage Pond Access	Lots 13-24, Block 100
65	Lots 1-24, Block 109	Town of Silverton	1.38	24	Creek/Bridge	P: Public	Yes	Yes	Yes	Yes	No	Mineral Creek Floodplain/Wetlands at Old Bridge	Unlikely to be Developed	Lots 1-24, Block 109
66	Lots 1-24, Block 110	Town of Silverton	1.38	24	Sewage Pond Access	P: Public	Yes	No	Yes	Yes	No	Creek, Wetlands, and Sewer Pond Access	Sewage Pond Access	Lots 1-24, Block 110
67	Lots 1-24, Block 111	Town of Silverton	1.38	24	Creek and Willows	P: Public	Yes	No	Yes	Yes	No	Wetlands and Creek	Unlikely to be Developed	Lots 1-24, Block 111
68	New Fractional Block I	Town of Silverton	0.26	2	Vacant	R-2: Mixed Residential	Yes	No	No	No	Yes	Zanoni Parcel, Expected Proposed Affordable Housing	Likely Future Structures	New Fractional Block I
69	Vacated Portion of 5th Street	Town of Silverton	0.14	2	Vacant	R-2: Mixed Residential	Yes	No	No	No	Yes	Zanoni Parcel, Expected Proposed Affordable Housing	Likely Future Structures	Vacated Portion of 5th Street
70	Unit D, Brown Subd, Lot 5 of Scarborough Subd	Lanny Wagner and Stacy Jordan	0.47	1	Townhome Unit	PUD - Planned Unit Development	Yes	No	No	No	Yes	Four Unit Townhome Building at 5th/Reese	Existing Townhome	Unit D, Brown Subd, Lot 5 of Scarborough Subd.
71	Lot 4, Anvil Mountain Subdivision	Monica Watton	0.08	1	Vacant	PUD: Planned Unit Development	Yes	No	No	No	Yes	Part of Pre Approved Subdivision	Approved Future Residence	Lot 4, Anvil Mountain Subdivision
72	Lots 1-24, Block 92	Detour Management LLC	1.38	24	Gas Station	C-1: Gateway Commercial	Yes	No	No	Yes	Yes	Whistle Stop Gas Station	Existing Gas Station	Lots 1-24, Block 92
73	Lots 6-22, Block 89 (Undivided 1/5 Interest)	Katharine Zabinski	0.20	17	Vacant	C-1: Gateway Commercial	Platted 3rd Street	No	Yes	Yes	No	See Janice Sanders' Properties Above	Possible Future Structure(s)	Lots 6-22, Block 89 (Undivided 1/5 Interest)
74	Lots 7-18, Block 90 (Undivided 1/5 Interest)	Katharine Zabinski	0.14	12	Vacant	C-1: Gateway Commercial	Platted 3rd Street	No	Yes	Yes	No	See Janice Sanders' Properties Above	Possible Future Structure(s)	Lots 7-18, Block 90 (Undivided 1/5 Interest)

* PLEASE NOTE THAT ALMOST ALL OF THESE PROPERTIES WOULD NEED A SURVEY, AS WELL AS STUDIES FROM AN APPLICABLE EXPERTS, TO BE EVALUATED FOR DEVELOPMENT POTENTIAL.
THIS SPREADSHEET IS ONLY AN ESTIMATE OF FUTURE DEVELOPMENT POTENTIAL BASED ON CURSORY EVALUATION OF THE PROPERTIES USING THE LIMITED INFORMATION AVAILABLE AT THIS TIME.

CUMULATIVE IMPACTS REPORT
PROPOSED ROSE RESIDENCE, HECTOR LODE, ET AL
SHEET 2 OF 2: PROPERTIES OUTSIDE OF TOWN LIMITS
ENGINEER MOUNTAIN, INC. (LAST REVISED ON 5/26/25)

TABLE OF PROPERTIES AND CURSORY EVALUATION OF DEVELOPMENT POTENTIAL IN THE VICINITY OF THE PROJECT SITE

#	PROPERTY	OWNER(S)	ACRES	EXISTING USE	DOES IT HAVE PHYSICAL ACCESS AND/OR CAN AN ACCESS EASEMENT/PERMIT BE OBTAINED	IS THERE ANY AVALANCHE SAFE AREA	IS IT ON THE COUNTY ENVIRO REMEDIATION INVENTORY	OTHER NATURAL HAZARDS POTENTIALLY AFFECTING DEVELOPMENT	APPROX COUNTY ASSESSOR VALUE	CURSORY EVALUATION OF REASONS IT IS OR IS NOT DEVELOPABLE	DEVELOPMENT POTENTIAL *	PROPERTY
75	Tract 2 of the Smith Mill Site	CDOT	0.499	Hwy 550 and ROW	Yes, Existing Highway	Yes	No	Geohazards	N/A	Owned by CDOT, Contains Highway 550 and Right-of-Way	Existing Hwy 550 and Existing ROW	Tract 2 of the Smith Mill Site
76	Tract 2A of the Cook Mill Site	CDOT	Unknown	Hwy 550 and ROW	Yes, Existing Highway	Yes	No	Geohazards	N/A	Owned by CDOT, Contains Highway 550 and Right-of-Way	Existing Hwy 550 and Existing ROW	Tract 2A of the Cook Mill Site
77	Revised Tract B, Ophir Placer	Greg Huntsman	3	Vacant	Yes, Shrine Road	Yes	No	Potential Rockfall/Geohazards	N/A	Lacks Acreage but Appears Developable	Likely Future Cabin	Revised Tract B, Ophir Placer
78	Part of Tract A of the Ophir Placer	Linda Luther	2.251	Vacant	Future 3rd St. and/or Hwy Access	Yes	No	Floodplain, Wetlands	N/A	Needs Access Constructed, Has Floodplain and Wetlands	Likely Future Cabin/Structure(s)	Part of Tract A of the Ophir Placer
79	Part of the Blanche Placer	Town of Silverton	1.4	Town Water System	Yes, Hwy Access	Yes	No	Floodplain, Wetlands	N/A	Existing Uses Unclear (Town Water System?) and Ownership is Unclear (Town or Private)	assumed Use is Existing Town Water System/Raw Water Lin	Part of the Blanche Placer
80	New Tract A of the Ophir Placer	San Juan County	0.94	Vacant	Future 3rd St. and/or Hwy Access	Yes	No	Floodplain, Wetlands	N/A	Needs Access, Has Floodplain and Wetlands	Possible Future Structure(s)	New Tract A of the Ophir Placer
81	Blanche Placer	Sultan Mountain LLC	63.59	Mines and Structure	Yes, Hwy Access	Yes	No	Mining reclamation, CDOT Ordinance	N/A	Large Parcel with Development Options and Likely Future Structure(s)	Likely Future Cabin(s)/Structure(s)	Blanche Placer
82	Cook Lode	Sultan Mountain LLC	8.19	Vacant	No But Could Obtain Easement	Maybe	No	Mining reclamation issues	\$10,000	Has avalanche hazard, a mine below it, and an on-site creek, needs access	Unlikely to be Buildable	Cook Lode
83	Emblem Lode	Sultan Mountain LLC	10	Highway and Tailings	Yes, Hwy Access	Yes	No	Mining reclamation issues	\$12,000	Has Hwy access, tailings, area below Hwy appears to be all red zone	Unlikely to be Buildable	Emblem Lode
84	Empire Lode	Sultan Mountain LLC	3.505	Tailings and Mine(s)	No But Could Obtain Easement	Yes	No	Mining reclamation issues	\$12,000	Needs access, has tailings, located just south of Champions	Unlikely to be Buildable	Empire Lode
85	Empire Mill Site	Sultan Mountain LLC	5	Vacant	Little Dora Road	Yes	No	N/A	\$16,000	Determined to be outside of relevant area of 1500 feet from project site	N/A	Empire Mill Site
86	Empire Tunnel Vein No. 2 Lode	Sultan Mountain LLC	10.33	Vacant	No	Yes	No	None noted	\$12,000	Appears to be treeless area between Highway and Little Dora Road	Possibly buildable but unlikely	Empire Tunnel Vein No. 2 Lode
87	Excelsior Lode	Sultan Mountain LLC	10.31	Vacant	Highway	Yes	No	None noted	\$12,000	Appears to be treeless area between Highway and Little Dora Road	Possibly buildable but unlikely	Excelsior Lode
88	Fraction Lode	Sultan Mountain LLC	3.5	Vacant	No	No	No	None noted	\$4,000	Sliver of land lacking acreage and access on hillside next to the Champions	Unlikely to be Buildable	Fraction Lode
89	Gladstone Lode	Sultan Mountain LLC	8.12	Vacant	No	No	No	None noted	\$10,000	Far up above the Hwy with mostly all avalanche zone including the Champions	Unlikely to be Buildable	Gladstone Lode
90	Great Central Lode	Sultan Mountain LLC	4.2	Vacant	No	Yes	No	None noted	\$5,000	Appears to be outside of relevant area, has no access, has the Champions avy zone	Unlikely to be Buildable	Great Central Lode
91	Great Republic Lode	Sultan Mountain LLC	8.2	Vacant	No	No	No	None noted	\$10,000	Far up above the Hwy with mostly all avy zone including the Champions	Unlikely to be Buildable	Great Republic Lode
92	Great Republic Mill Site	Sultan Mountain LLC	5	Vacant	No	Yes	No	N/A	\$16,000	Determined to be outside of relevant area of 1500 feet from project site	N/A	Great Republic Mill Site
93	Hercules Lode	Sultan Mountain LLC	7.7	Vacant	No	No	Yes	None noted	\$9,000	Appears to be outside of relevant area, far above Hwy on a ridge between two avy zones	Unlikely to be Buildable	Hercules Lode
94	Hercules Mill Site	Sultan Mountain LLC	5	Vacant	Little Dora Road	Yes	No	N/A	\$16,000	Determined to be outside of relevant area of 1500 feet from project site	N/A	Hercules Mill Site
95	Little Dora Lode	Sultan Mountain LLC	6.1	Vacant/Highway	Highway	No	No	None noted	\$9,000	The claim is mostly existing Highway and the Champions avalanche zones	Unlikely to be Buildable	Little Dora Lode
96	Mellville Mill Site	Sultan Mountain LLC	5	Existing Structure(s)	Little Dora Road	Yes	Yes	Floodplain, wetlands, mining	\$121,000	Some floodplain and wetlands, existing building(s) and possible mine dump	Existing "Commercial/Industrial Salvage" Structure(s)	Mellville Mill Site
97	P.I. Lode	Sultan Mountain LLC	10.12	Vacant	No	No	No	None noted	\$12,000	Almost all avalanche zone, and located high up above the Hwy	Unlikely to be Buildable	P.I. Lode
98	President Lode	Sultan Mountain LLC	10.33	Vacant	No	No	No	None noted	\$12,000	Mostly all in avalanche zone including the Champions and located far above the Hwy	Unlikely to be Buildable	President Lode
99	Silverton Park Lode	Sultan Mountain LLC	10.3	Vacant	May have a private road	Yes	No	Mining reclamation issue	\$12,000	Has the Lodore Mine, a possible road, on hill between Hwy and Little Dora Rd., in avy zone	Unlikely to be Buildable	Silverton Park Lode
100	Silverton Park Mill Site	Sultan Mountain LLC	3.97	Existing Structure(s)	Yes, Little Dora Road	No	No	Willows and/or wetlands	\$137,000	All of it appears to be in the Champions avy zone, possible existing building, willows, and mine dump	Existing "Commercial/Industrial Salvage" Structure(s)	Silverton Park Mill Site
101	Smith Lode	Sultan Mountain LLC	10.33	Vacant	No	No	No	None noted	\$12,000	Mostly all in avalanche zone and located far above the Hwy	Unlikely to be Buildable	Smith Lode
102	Smith Mill Site (Mineral Rights Only)	Sultan Mountain LLC	4.52	Mine	No	Yes	No	Mineral Rights Only	\$317	Has an Existing Mine and It Is Part of the Project Site	Likely to Remain As-Is Due to Lot Consolidation	Smith Mill Site (Mineral Rights Only)
103	State Street Lode	Sultan Mountain LLC	Unknown	Vacant	Yes, Highway	No	No	None noted	\$12,000	The claim appears to be cut up into tiny pieces and the acreage cannot be determined without a survey	Unlikely to be Buildable	State Street Lode
104	Victoria Mill Site	Sultan Mountain LLC	5	Vacant	Highway	No	No	None noted	\$16,000	Appears to be entirely avalanche zone in the Champions	Unlikely to be Buildable	Victoria Mill Site
105	Victoria Lode	Sultan Mountain LLC	7.3	Vacant	Yes, Hwy Access	Yes	Unknown	None noted	\$9,000	Located on Hwy across from project site, almost no avalanche hazard, could possibly be buildable	Possibly Buildable	Victoria Lode
106	Whitman Mill Site	Sultan Mountain LLC	4.99	Vacant	2-Track Dwy off of Little Dora Rd	Maybe	No	None noted	\$56,000	Could be buildable, based on differing maps all of it or only half of it is in the Champions red zone	Lacks the Req'd Minimum Acreage but Possibly Buildable	Whitman Mill Site

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5. Evaluation of the "Proposal" Using the Criteria Listed in the County Regulations

The County regulations (on page 2 of this report for your reference) state that *"the County shall consider all proposals in the context of all existing or potential uses of other properties in the vicinity of the proposed use."*

The individual factors listed in the County regulations to be evaluated for the "proposal" (in the context of the existing and potential vicinity development) are the following:

- *if the proposal will have any adverse impact on public health, safety, morals or welfare*
- *if adequate potable water is available or can be developed to safely support the proposed use, including fire control and suppression*
- *if adequate sewage disposal can be provided to support the proposed use*
- *if the proposed use will have any adverse effect on public or private property in the vicinity*
- *if the proposed use will have any adverse effect on scenic values, historic sites or structures, air or water or environmental quality, wildlife (including habitat, food sources, migration routes, hunting, etc.), erosion or other geological condition*
- *if adequate road access exists or can be developed to ensure access appropriate to the use, including access for emergency services*
- *if adequate utilities are or can be made available for the proposed use, unless deemed unnecessary or not practical*
- *if adequate emergency services exist to serve the proposed use, unless deemed unnecessary or not practical*
- *if there are natural hazards which may adversely affect the site or the proposed use of the site*

The County regulations state that

An ...Improvement Permit must be issued by the County when the County finds that the applicant has sustained the burden of proof that the proposed development, activity or use, including best management practices, if any, does not present or create an adverse effect to the resources sought to be protected or utilized...

This section of the report includes evaluation of the above listed criteria.

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Impact of the Proposal on Public Health, Safety, Morals, and Welfare

The County regulations require that you consider the following:

...in the context of all existing or potential uses of other properties in the vicinity of the proposed use ...

...if the proposal will have any adverse impact on public health, safety, morals or welfare.

The "proposal" is the Proposed Rose Residence on the Hector Lode. The overall impacts to public health, safety, morals and welfare which could be caused by approval of this project are expected to be negligible. The septic system for the proposed residence will be designed in accordance with the State and local regulations, so the overall impact of the septic system on the public health and safety will be negligible. There will be very little traffic generated by the owner of the proposed residence, so the overall impact to public health and safety will be negligible. We do not expect that the Applicants will be doing anything in the proposed residence which would negatively affect the morals or welfare of the public. The proposed residence if approved could generate some local jobs, and an increase in sales tax and County taxes, which could positively affect the public welfare. We believe that all activities and uses do have an impact or effects. For example any person who drives on a County Road or on the Highway affects air quality from vehicle emissions, which could potentially cause a public health and safety traffic hazard impact. Likewise, every person uses resources such as water and sewer, which means all of us cause some sort of an impact, and when examined cumulatively, could cause a cumulative public health impact. For the purposes of the County review process, we believe the County should take into account if the project is reasonable, and if the Applicant has taken steps to minimize all the impacts which are possible to control. Overall this project is expected to have a negligible impact on public health, safety, morals, and welfare, and the Applicants' proposal includes methods to minimize the impacts.

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Adequate Water

The County regulations require that you consider the following:

...in the context of all existing or potential uses of other properties in the vicinity of the proposed use...

... if adequate potable water is available or can be developed to safely support the proposed use, including fire control and suppression

The "proposal" includes utilizing one existing on-site well obtain and placing water in a cistern to be located near the proposed residence. The well water should be tested for potability, and although it is anticipated to be potable, it is planned to be treated inside the proposed residence. The proposed structure will be in a clearing of trees, which reduces the potential fire danger. Overall, it appears that there is *adequate potable water to safely support the proposed use.*

Adequate Sewage Disposal

The County regulations require that you consider the following:

...in the context of all existing or potential uses of other properties in the vicinity of the proposed use...

...if adequate sewage disposal can be provided to support the proposed use.

The proposal includes a proposed "engineered" septic system, including a below-grade septic leachfield. The subsurface conditions are anticipated to consist of gravelly sand (please refer to septic design documents in this application). The site conditions on the eighteen acre project site indicate that a septic system will be feasible at the site. The proposed leachfield area can meet setbacks from structures, creeks, drainages, etc., and the property contains greater than the minimum required acreage needed to meet the State and San Juan Basin Health Department regulations. Overall, it appears that *adequate sewage disposal can be provided to support the proposed use.*

Effect of the Proposal on Public or Private Property in the Vicinity

The County regulations require that you consider the following:

...in the context of all existing or potential uses of other properties in the vicinity of the proposed use...

...if the proposed use will have any adverse effect on public or private property in the vicinity.

The section of County regulations above asks, will this project have any adverse impact on public or private property? The proposed residence is expected to be visible from parts of Town, which

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could be considered an impact to the nearby public and private land. However, the Applicant has selected the least visible location in order to minimize that impact. The Applicant is required to provide adequate screening, to include imported tree planting, to shield the view of the residence from Town (and the Highway).

Effect of the Proposal on Scenic Values, Historic Sites and Structures

The County regulations require that you consider the following:

...in the context of all existing or potential uses of other properties in the vicinity of the proposed use...

...if the proposed use will have any adverse effect on scenic values, historic sites or structures, ...

The proposed residence will be visible from parts of Town. The Applicant has selected the least visible location for the proposed structure, using the area of on-site existing vegetation to minimize any visual scenic impact. Adequate screening is to be provided between the residence, Town, and Highway, as needed, to further obscure view of the residence from Town and the Highway. There are no known historic sites or structures on the property, other than a possible existing mine portal.

Effect of the Proposal on Air, Water and Environmental Quality

The County regulations require that you consider the following:

...in the context of all existing or potential uses of other properties in the vicinity of the proposed use...

...if the proposed use will have any adverse effect on ... air or water or environmental quality, ...

The proposal includes use of proposed solid fuel burning device(s) such as a woodstove and/or fireplace, which could affect air quality. The impact to air quality is expected to be minimal. Water is to be collected from an existing on-site well, and if that ever runs dry seasonally or temporarily, water can be hauled to the site. The effects to water quality due to the project water usage are expected to be negligible. The proposed septic system will meet all State and local regulations including acreage and setbacks. Therefore the effects due to the septic system are expected to be negligible. The vehicle used to transport the Applicant and his family to the site will create some vehicle emissions, which could affect air quality, but those effects are anticipated to be negligible. Overall the impacts of the proposal to the air, water, and environmental quality are expected to be minimal.

Effect of the Proposal on Wildlife, Erosion, and Geological Conditions

The County regulations require that you consider the following:

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...in the context of all existing or potential uses of other properties in the vicinity of the proposed use...

...if the proposed use will have any adverse effect on ... wildlife (including habitat, food sources, migration routes, hunting, etc.), erosion or other geological condition.

It is our belief that all activities and uses by all persons have some sort of impact. The effects of this project, however, on wildlife, hunting, migration routes, habitat, and animal food sources are expected to be minimal. There may be a little less wildlife usage where the residence is to be built, for small animals and birds in the area. The necessary proposed tree clearing required for the proposed construction will be minimized to keep the effects on wildlife to a minimum. Proposed imported tree planting to reclaim part of the existing driveway loop and used for screening may offset the residence impacts on wildlife. There is no known geologic condition at or near the site which will be negatively affected by approval of this project.

Adequate Road Access

The County regulations require that you consider the following:

...in the context of all existing or potential uses of other properties in the vicinity of the proposed use...

...if adequate road access exists or can be developed to ensure access appropriate to the use, including access for emergency services.

Highway 550 currently provides access to the project site via an existing frontage road driveway. The site has legal written access through an approved CDOT Access Permit. A driveway extension is proposed from the dead end loop of the existing driveway to the proposed residence. When compared to most San Juan County roads, the proposed driveway will have a relatively flat grade and short length. Overall it appears that *adequate road access exists to ensure access appropriate to the use.*

Adequate Utilities

The County regulations require that you consider the following:

...in the context of all existing or potential uses of other properties in the vicinity of the proposed use...

...if adequate utilities are or can be made available for the proposed use, unless deemed unnecessary or not practical.

Utilities at the project site are proposed to consist of the following:

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- proposed propane, existing cell phone service, with no landline proposed at this time, proposed underground electric lines tied into the existing San Miguel Power Association on-site electric transformer;
- a generator may be on site, for use by the contractor during construction, and the generator could be stored on-site and used in an emergency situation/power outage after construction;
- water will be collected from the existing on-site well, and in the not-anticipated event that the existing water well runs dry, water could be hauled to the site and placed within the proposed cistern located near the residence;
- Septic service is to consist of a septic system leachfield designed by an engineer in accordance with San Juan Basin Health Department regulations.

Overall it appears that *adequate utilities are... available for the proposed use.*

Adequate Emergency Services

The County regulations require that you consider the following:

...in the context of all existing or potential uses of other properties in the vicinity of the proposed use...

...if adequate emergency services exist to serve the proposed use, unless deemed unnecessary or not practical.

Emergency services can reach the project site year round. The proposed residence usage is to be part-time; however, full-time year-round occupancy must be considered. We believe that the fire and emergency services vehicles can directly access the residence during summer and fall. Cell phone service is available at the site. The site is close to Silverton, when compared to most County properties. During the winter, access to the site is available, but plowing the driveway to the residence may be limited. Highway 550 provides access to the site and it is plowed year round. Overall the emergency services access to this site and residence are excellent when compared to most County cabin sites. All Applicants are required to acknowledge that "emergency services may or may not be available in a timely manner and sometimes not at all." The County typically includes a statement to that effect within the list of "conditions of approval" for all Improvement Permits. Therefore, we would recommend that the Applicant, like all County homeowners here, should plan ahead to rely heavily upon their own fire suppression system. That could include the following: plenty of fire extinguishers, a reliable water system (with a way to deliver the water to a potential fire zone such as buckets and hoses), a safe heating source with a woodstove that exceeds clearances, avoiding oil lamps and candles, locating woodpiles, propane tanks, and other combustibles away from structures, and proper disposal of any hot ashes and cigarettes in a metal container. Additionally we recommend that all homeowners follow the guidelines required in the County regulations for safe Firewise practices including having a clear defensible space around structures. This project site has the following features which reduce the overall potential for fire hazard: on-site water, proximity to Town, and proposed low occupancy. Other emergency services would include health related personnel such as the ambulance. We believe it is likely that the ambulance could make it to this site, depending on time of year. The access is much better than mostly all of the cabins accessed by our County Road system. In the

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winter, access to this site could require use of snowmobiles for direct access to the residence structure, if the driveway hasn't been plowed. Winter access for some emergency purposes would be by snowmobile, or other non-vehicular access (pedestrian, skis, snowcat, snowmobile). The access to the site, Highway 550, is plowed year round, but further from the residence. Overall we believe that the access for emergency services is significantly better than most claims, and adequate for the proposed use.

Natural Hazards

The County regulations require that you consider the following:

...in the context of all existing or potential uses of other properties in the vicinity of the proposed use...

...if there are natural hazards which may adversely affect the site or the proposed use of the site.

There are no known natural hazards at the site which prevent development of the project site. An Geotech investigation and report is expected in May and June respectively.

CUMULATIVE IMPACTS REPORT
Proposed Rose Residence, Hector Lode
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6. Summary

This is a Cumulative Impacts Report for the proposed Rose Residence, located on the Hector Lode, on Highway 550, near Silverton, in San Juan County, Colorado.

We believe that the overall impact that could be caused by this project is relatively minimal, and that efforts are being made by the design team to limit/reduce the anticipated impacts.

The Applicant is requesting that the Preliminary-Final Plan for the proposed Rose Residence on the Hector Lode be approved by the County, in accordance with the San Juan County Zoning and Land Use Regulations Section 4-103.

Please contact Engineer Mountain, Inc. at (970) 946-2217, or Applicant Damon Rose at (404) 831-3114 if you have any questions.

Phase 1 Study

PHASE I ENVIRONMENTAL SITE ASSESSMENT REPORT

Highway 550 North Phase I ESA

Highway 550 North

Silverton, San Juan County, Colorado, 81433



Prepared by

SH Environmental Consulting LLC

Arvada, Colorado 80004





June 24, 2024

Mr. Damon Rose
4501 Harris Trail
Atlanta, GA, 30327

Re: Phase I Environmental Site Assessment
Highway 550 North Phase I ESA
Highway 550 North, Silverton, San Juan County, Colorado, 81433

Dear Mr. Rose,

This Phase I Environmental Site Assessment (ESA) has been performed in conformance with the scope and limitations of the American Society of Testing and Materials (ASTM) Method E1527-21, Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process of the property located at Highway 550 North, Silverton, San Juan County, Colorado 81433 (Subject Property).

This Phase I ESA revealed evidence of a Recognized Environmental Condition (REC) in connection with the Subject Property from the mine tailings pile that adjoins the south property boundary and has encroached onto the Subject Property.

This Phase I ESA did not reveal evidence of Controlled or Historical RECs in connection with the Subject Property.

According to ASTM E2600-15 and based upon the absence of known or reported hazardous chemicals or volatile organic compounds released to the Subject Property or surrounding immediate area, a vapor encroachment condition can be ruled out.

I appreciate the opportunity to provide these services for you. Please do not hesitate to contact me at (970) 215-5303 or shenvironmentalcon@outlook.com if you have any questions or comments.

Sincerely,

SH Environmental Consulting, LLC

Steven B. Hoffman, P.G.
Environmental Professional

Project Summary

SH Environmental Consulting, LLC has performed this Phase I Environmental Site Assessment (ESA) of the four mining claim parcels located on the property at Highway 550 North, Silverton, San Juan County, Colorado, 81433 (Subject Property) at the request of Mr. Damon Rose. This Phase I ESA was performed to identify potential Recognized Environmental Conditions (RECs), as defined by the American Society for Testing and Materials (ASTM) Method E1527-21, Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process.

According to the San Juan County Assessors records and on-site observations, the Subject Property consists of four mining claim parcels on approximately 17.94 acres of land. A portion of the land has been cleared of vegetation and partially leveled. An electrical transformer and a groundwater well have been installed. A mine tailings pile from previous surface mining is present on the Hector Mill Site parcel. These tailings consist of sand, gravel, and rock from surface mining and are not a REC in connection with the Subject Property. Activities associated with the mining claims do not appear to have resulted in an environmental impact on the Subject Property. The mining claim on the Hector Lode parcel did not appear to have been worked previously.

This Phase I ESA revealed evidence of a REC in connection with the Subject Property from the mine tailings pile containing mined bedrock with metals that adjoin the south property boundary and has encroached onto the Subject Property.

This Phase I ESA did not reveal evidence of Controlled or Historical RECs in connection with the Subject Property.

According to ASTM Method E2600-15 and based upon the absence of known or reported hazardous chemicals or volatile organic compounds released to the Subject Property or surrounding immediate area, a vapor encroachment condition can be ruled out.

	Report Section	No Further Action	REC	CREC	HREC	Other Environmental Considerations
3.0	User Provided Information	✓				
4.1.1	Regulatory Report Summary		✓			
4.3	Historical Use Information on the Subject Property		✓			
4.4	Historical Use Information on Adjacent Properties		✓			
5.0	Site Reconnaissance		✓			

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1.0 INTRODUCTION

SH Environmental Consulting, LLC was retained by Mr. Damon Rose (User), to perform a Phase I Environmental Site Assessment (ESA) of the four mining claim parcels located on the property at Highway 550 North, Silverton, Colorado, 81433 (Subject Property; Figure 1, Appendix A). It is with the understanding that Mr. Rose intends to acquire the Subject Property and has requested this Phase I ESA to identify potential Recognized Environmental Conditions, as defined by ASTM Method E1527-21, in connection with the Subject Property and to satisfy one of the requirements to qualify for the innocent landowner, contiguous property owner, or bona fide prospective purchaser limitations under the Comprehensive Environmental Response, Compensation and Liability Act (CERCLA) (42 U.S.C. §9601) (hereinafter, the “landowner liability protections,” or “LLPs”). The methods used for this ESA are in conformance with ASTM E1527-21, Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process.

On June 10, 2024, Steve Hoffman conducted a site reconnaissance to assess the possible presence of petroleum products and hazardous materials on the Subject Property. This investigation included a review of aerial photographs, a reconnaissance of adjacent properties, background research, and a review of available local, state, and federal regulatory records regarding the presence of petroleum products and/or hazardous materials on the Subject Property. Included in Figure 2 (Appendix A) is a Site Detail of the Subject Property, including adjacent land use.

Environmental Risk Information Services (ERIS) was contracted to perform a computer database search for local, state, and federal regulatory records pertaining to environmental concerns for the Subject Property and properties within the minimum search distance of the Subject Property (see Section 4.0).

Services rendered were completed in accordance with the standard practice guidelines established in ASTM Method E1527-21 Standard Practice for Environmental Site Assessments: Phase I Site Assessment Process (see Section 1.3 for Deviations and Exceptions). A Phase I ESA is intended to inspect a property for petroleum products and for the hazardous substances listed in CERCLA (42 U.S.C. §9601). A Phase I ESA is not intended to take place or be considered an environmental or regulatory compliance inspection.

1.1 Scope of Services

The scope of services was to perform a Phase I ESA in a manner generally consistent with ASTM Method E1527-21 and the U.S. Environmental Protection Agency’s (EPA) Standards and Practices for All Appropriate Inquiries (AAI), 40 CFR, Part 312.

The Phase I ESA was conducted to provide a reasonable level of investigation to identify RECs in connection with the Subject Property. As defined by ASTM standards, the term “REC” means (1) the presence of hazardous substances or petroleum products in, on, or at a subject property due to a release to the environment; (2) the likely presence of hazardous substances or petroleum products in, on, or at a subject property due to a release or likely release to the environment; or (3) the presence of hazardous substances or petroleum products in, on, or at a subject property under conditions that pose a material threat of a future release to the environment. A de minimis condition is not a REC.

A Controlled REC (CREC) is a REC affecting a subject property that has been addressed to the satisfaction of the applicable regulatory authority or authorities with hazardous substances or petroleum products allowed to remain in place subject to implementation of required controls.

A Historical REC (HREC) pertains to a previous release of hazardous substances or petroleum products affecting a subject property that has been addressed to the satisfaction of the applicable regulatory authority or authorities and meeting unrestricted use criteria established by the applicable regulatory authority or authorities without subjecting a subject property to any controls. A HREC is not considered to be a REC. Any CRECs or HRECs as defined by ASTM Method E1527-21 that were identified during the Phase I ESA are discussed in this report, as applicable.

1.2 Limiting Conditions

The findings and conclusions of this Phase I ESA contain all the limitations inherent in the methodologies that are referred to in ASTM Method E1527-21. There were no specific limitations or exceptions that occurred during the completion of this Phase I ESA.

1.3 Deviations and Exceptions

There were no notable deviations or exceptions from the scope of work.

1.4 Significant Assumptions

There is a possibility that even with the proper application of these methodologies there may exist on the Subject Property conditions that could not be identified within the scope of the ESA, or which were not reasonably identifiable from the available information. It is believed that the information obtained from the records review and the interviews concerning the Subject Property is reliable. No warranty or guarantee is provided that the information from these other sources is accurate or complete. The methodologies of this ESA are not intended to produce all-inclusive or comprehensive results, but rather to provide Mr. Rose with information relating to the Subject Property.

1.5 Special Terms and Conditions

The conclusions and findings set forth in this report are strictly limited in time and scope to the date of the evaluations. The conclusions presented are based solely on the information described and not on scientific tasks or procedures beyond the scope of agreed-upon services. Under this work scope, no subsurface exploratory drilling or sampling was performed.

Some of the information provided is based upon personal interviews, and research of available documents, records, and maps held by the appropriate government and private agencies. This information is subject to the limitations of historical documentation, availability, and accuracy of pertinent records, and the personal recollections of those persons contacted.

1.6 User Reliance

The findings, opinions, and conclusions of this Phase I ESA are for the confidential and exclusive use of Mr. Damon Rose, his affiliates, employees, agents, successors, and assigns. Reliance on this Phase I ESA for any use by parties other than specifically stated is prohibited without the express written consent of SH Environmental Consulting, LLC. and Mr. Rose.

2.0 SITE INFORMATION

2.1 General Description

The Subject Property is located between a switchback along Colorado State Highway 550, southwest of the Town of Silverton (Figures 1 and 2, Appendix A). County assessor's information and survey data provided by the client are included in Appendix B. According to the San Juan County Assessor and information provided by the User, the assessor's parcel number, legal description, and acreage information for the Subject Property is reproduced below.

Subject Property Size: (approximate)	17.94 acres
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Parcel Number:	48290190010006
Legal Description:	COOK MS - 17848 B LESS AND EXCEPT TRACT 2A, HECTOR - 14327, HECTOR M S - 14327 B, SMITH M S - 17849 B SURFACE RIGHTS ONLY, COMBINED FROM FORMER PARCELS 48290000010371 AND 48290190010002.
Elevation	9,374 feet above mean sea level (amsl)
Current Site Use:	Partially developed vacant land, mining claim parcels.
Unimproved Areas:	Yes
Improved Areas:	Yes

Improvement Summary

Utilities	
Electric (y/n)	Yes
Water: (municipal/well)	On-site well
Wastewater/Septic: (type)	None
Natural Gas: (y/n)	No

Mine Claim Filings

Database Source	Mine Claim Name/Mineral Survey Number	Patent Number	Size (Effective Acres)
San Juan County Assessors	Cook MS/17848	45021	2.34
San Juan County Assessors	Hector/14327	36050	7.13
San Juan County Assessors	Hector MS/14327	36050	4.47
San Juan County Assessors	Smith MS/17849	45020	4.00

2.2 Physical Settings

Physical Setting Sources Physical setting sources are included in Appendix C.

2.2.1 Surface Water:

During site reconnaissance on June 10, 2024, stormwater runoff was not observed. Based upon the local slope of the Subject Property, runoff is expected to occur toward the northeast. A review of the National Wetlands Inventory Map published by the United States Department of the Interior, Fish and Wildlife Service, indicates the Subject Property is not located within a wetlands system. The nearest surface water feature is Mineral Creek, located approximately 300 feet to the east, which flows from the northwest to the southeast.

2.2.2 Geology:

The San Juan Mountain Range consists of geologic units that range in age from Precambrian crystalline rocks to late Cenozoic deposits of the San Juan volcanic field. The San Juan Mountains were created during tectonic building as two continental plates came together that pushed mountain peaks to over 14,000 feet in elevation. These tectonics resulted in volcanic activity with magma that produced rich veins of gold and silver deposits. During numerous periods of volcanic activity, andesitic lava and ash filled the valleys and fissures. After the eruptions ended, the pools of subsurface magma shrank, creating calderas and valleys. The mountain sides and valleys were then cut by glaciers during the Eocene and the three glaciation periods in the Quaternary Period. The current topography is the erosional remnant of the Oligocene-age San Juan volcanic field cut by glaciers. According to the Geologic Map of Colorado, the surface geology of the Subject Property consists of Quaternary-age unconsolidated glacial drift.

2.2.3 Surficial Soils:

According to the United States Department of Agriculture's Natural Resources Conservation Service, the soils consist of the Needleton stony loam with 30 percent to 65 percent slopes. Soils in this group are well drained and have moderately low runoff potential when thoroughly wet.

2.2.4 Hydrology:

The Subject Property is in the Dolores/San Juan River Basin and covers an approximate area of 10,169 square miles. The headwaters of both the San Juan and Dolores Rivers begin in the San Juan Mountains at an elevation between 13,000 and 14,000 feet amsl, according to the Colorado Water Conservation Board (CWCB) & Colorado Division of Water Resources (DWR). The San Juan River originates north of Pagosa Springs and flows southwest to an elevation of 4,800 feet amsl before entering New Mexico, and then into Utah, where it joins the Colorado River. The Dolores River is located north of the San Juan River and south of the Town of Telluride and flows southwest to McPhee Reservoir. The river then flows northwest to an elevation of 4,100 feet amsl as it enters Utah where it joins the Colorado River (CWCB).

Major tributaries to the Dolores River include the West Fork of the Dolores, the San Miguel Rivers, Lost Canyon, Disappointment and West Paradox Creeks. Major tributaries to the San Juan River include the Navajo, Piedra, Los Pinos, Animas, Florida, La Plata, Rio Blanco and Mancos Rivers, and McElmo Creek. Major reservoirs in the Dolores/San Juan Basin include the McPhee, Vallecito, Lemon, Cascade, Groundhog and Naraguinnep Reservoirs (CWCB).

Groundwater flow and depth under the Subject Property is highly variable due to the mountainous terrain. Groundwater flow and depth is influenced by subterranean pressures and bedrock fractures. Groundwater flows through the bedrock in these fractures. Based upon elevation relief sloping to the northeast and flow of Mineral Creek to the southeast, groundwater flow is inferred to be generally to the east.

The well permit records for a groundwater well installed on the Subject Property list the depth of groundwater in July 2007 at 153 feet below ground surface. The well is registered with the Colorado State Engineers Office with permit number 265452.

2.2.5 Flood Zones:

Flood zone maps have not been created for this area.

2.2.6 Hydrologic Information

Area	Description
Available FIRM Panels in area:	None
Flood Zone AE-01	Areas subject to inundation by the 1-percent-annual-chance flood event determined by detailed methods. Base Flood Elevations are shown within these zones.
Zone:	AE
Zone subtype:	
Flood Zone AE-11	
Zone:	AE
Zone subtype:	FLOODWAY
Flood Zone X-01	
Zone:	X
Zone subtype:	0.2 PCT ANNUAL CHANCE FLOOD HAZARD
Flood Zone X-12	
Zone:	X
Zone subtype:	AREA OF MINIMAL FLOOD HAZARD

2.2.7 PSR Radon

Area	Description
Federal EPA Radon Zone for SAN JUAN County	Zone 2: Counties with predicted average indoor radon screening levels from 2 to 4 pico-Curies per liter of air (pCi/L)

2.2.8 Other:

Based upon the ERIS Physical Setting Report dated May 24, 2024, no oil or gas wells have been constructed or permitted on the Subject Property and no oil or gas wells have been drilled within a ½ mile radius of the Subject Property. There are no oil or gas pit locations on the Subject Property and no oil or gas pits are registered within ½ mile radius. According to the ERIS Physical Setting Report and online search of the Colorado Water Resources Division records, four water wells have been constructed or permitted within a ½ mile radius of the Subject Property. The Colorado Water Resources Division records including the permit and construction details for the water well on the Subject Property are provided in Appendix D.

2.3 Current Uses of Adjoining Properties

Direction from Subject Property	Current Use
North	Colorado State Highway 550 followed by Mineral Creek
East	Colorado State Highway 550 followed by Mineral Creek
South	Mine tailings pile and the remains of a former mine mill site. Inactive mine claims.
West	Colorado State Highway 550 followed by native vegetation.

3.0 USER PROVIDED INFORMATION

It was requested that a representative of the purchaser complete the User Questionnaire (Appendix E). Mr. Damon Rose, completed the questionnaire on May 23, 2024, as the potential purchaser of the Subject Property (User). The results of the questionnaire are summarized below:

User Provided Information	Issue Identified (Y/N)	Comments
Environmental Liens, Activity, or Use Limitations	N	
Engineered Controls	N	
Specialized Knowledge of the User	N	
Valuation Reduction for Environmental Issues	N	
Commonly Known or Reasonably Ascertainable Information	N	
Obvious Indicators of Environmental Impact	N	

3.1 Additional Information

Fire insurance maps were not created for this area.

4.0 RECORDS REVIEW

Regulatory database information from federal, state, and local environmental record sources was provided by ERIS. The purpose of the records review was to identify potential RECs in connection with the Subject Property. The database report dated May 24, 2024, is provided in Appendix F.

The records review was performed assuming that the localized and regional groundwater flow direction in the vicinity of the Subject Property is to the northeast. As such, facilities located hydraulically upgradient from the Subject Property (southwest) would have a higher risk of impacting the Subject Property relative to facilities located downgradient or cross-gradient of the Subject Property. Facilities listed in the records were located hydraulically upgradient, cross-gradient or downgradient of the Subject Property.

Results of the database search in the ERIS Physical Setting Report found no listings for the Subject Property and identified 48 listings (42 facilities) within the minimum search distance. No facilities were identified with a potential to impact soil and/or groundwater at the Subject Property. Facilities identified are further discussed below and within the applicable subsections.

4.1 Regulatory Report Summary

4.1.1 Comprehensive Report Summary

Regulatory Database	Type	Minimum Search Distance	Property Listed	# Sites Listed
NPL	Federal	1	National Priority List	0
PROPOSED NPL	Federal	1	National Priority List - Proposed	0
DELETED NPL	Federal	.5	Deleted NPL	0
SEMS	Federal	.5	SEMS List 8R Active Site Inventory	1
ODI	Federal	.5	Inventory of Open Dumps, June 1985	0
SEMS ARCHIVE	Federal	.5	SEMS List 8R Archive Sites	0
IODI	Federal	.5	EPA Report on the Status of Open Dumps on Indian Lands	0
CERCLIS	Federal	.5	Comprehensive Environmental Response, Compensation and Liability Information System - CERCLIS	0
CERCLIS NFRAP	Federal	.5	CERCLIS - No Further Remedial Action Planned	0
CERCLIS LIENS	Federal	.02	CERCLIS Liens	0
RCRA CORRACTS	Federal	1	RCRA CORRACTS-Corrective Action	0
RCRA TSD	Federal	.5	RCRA non-CORRACTS TSD Facilities	0
RCRA LQG	Federal	.25	RCRA Generator List	0
RCRA SQG	Federal	.25	RCRA Small Quantity Generators List	0
RCRA VSQG	Federal	.25	RCRA Very Small Quantity Generators List	0
RCRA NON GEN	Federal	.25	RCRA Non-Generators	0

Regulatory Database	Type	Minimum Search Distance	Property Listed	# Sites Listed
RCRA CONTROLS	Federal	.5	RCRA Sites with Controls	0
FED ENG	Federal	.5	Federal Engineering Controls-ECs	0
FED INST	Federal	.5	Federal Institutional Controls- ICs	0
LUCIS	Federal	.5	Land Use Control Information System	0
NPL IC	Federal	.5	Institutional Control Boundaries at NPL sites	0
ERNS 1982 TO 1986	Federal	.02	Emergency Response Notification System	0
ERNS 1987 TO 1989	Federal	.02	Emergency Response Notification System	0
ERNS	Federal	.02	Emergency Response Notification System	0
FED BROWNFIELDS	Federal	.5	The Assessment, Cleanup and Redevelopment Exchange System (ACRES) Brownfield Database	1
FEMA UST	Federal	.25	FEMA Underground Storage Tank Listing	0
FRP	Federal	.25	Facility Response Plan	0
DELISTED FRP	Federal	.25	Delisted Facility Response Plans	0
HIST GAS STATIONS	Federal	.25	Historical Gas Stations	0
REFN	Federal	.25	Petroleum Refineries	0
BULK TERMINAL	Federal	.25	Petroleum Product and Crude Oil Rail Terminals	0
SEMS LIEN	Federal	.02	LIEN on Property	0
SUPERFUND ROD	Federal	1	Superfund Decision Documents	0
DOE FUSRAP	Federal	1	Formerly Utilized Sites Remedial Action Program	0
SUPERFUND NRD	State	1	Superfund National Priorities List and Natural Resource Damages sites	1
COVENANTS	State	.5	Environmental Covenants and Use Restrictions	0
LANDFILL METHANE	State	.5	Methane Gas Study Sites	0
SHWS	State	1	Superfund Sites	0
DELISTED SHWS	State	1	Delisted Superfund Sites	0
SWF/LF	State	.5	Solid Waste Facilities and Landfills	0
HIST LF	State	.5	Historical Solid Waste (Closed or Abandoned Landfills)	0
HIST LANDFILLS	State	.5	Tri-County Historic Landfills	0
RECYCLING	State	.5	Registered Recycling Facilities	0
LST	State	.5	Leaking Storage Tanks	3
LUST TRUST	State	.5	LUST Trust Sites	0

Regulatory Database	Type	Minimum Search Distance	Property Listed	# Sites Listed
DELISTED LST	State	.5	Delisted Leaking Storage Tanks	0
UST	State	.25	Underground Storage Tanks	2
AST	State	.25	Aboveground Storage Tanks	1
TANKS	State	.25	Storage Tank Information System (COSTIS)	0
DTNK	State	.25	Delisted Storage Tanks	0
AUL	State	.5	Environmental Covenants and Environmental Use Restrictions List	0
VCP	State	.5	Voluntary Cleanup and Redevelopment Program Sites	0
BROWNFIELDS	State	.5	Brownfield Sites	0
INDIAN LUST	Tribal	.5	Leaking Underground Storage Tanks on Tribal/Indian Lands	0
INDIAN UST	Tribal	.25	Underground Storage Tanks on Tribal/Indian Lands	0
DELISTED INDIAN LST	Tribal	.5	Delisted Tribal Leaking Storage Tanks	0
DELISTED INDIAN UST	Tribal	.25	Delisted Tribal Underground Storage Tanks	0
OSC RESPONSE	Federal	.125	On-Scene Coordinator Response Sites	0
PFAS GHG	Federal	.5	PFAS Greenhouse Gas Emissions Data	0
FINDS/FRS	Federal	.02	Facility Registry Service/Facility Index	0
TRIS	Federal	.02	Toxics Release Inventory (TRI) Program	0
PFAS NPL	Federal	.5	PFOA/PFOS Contaminated Sites	0
PFAS FED SITES	Federal	.5	Federal Agency Locations with Known or Suspected PFAS Detections	0
PFAS SSEHRI	Federal	.5	SSEHRI PFAS Contamination Sites	0
ERNS PFAS	Federal	.5	National Response Center PFAS Spills	0
PFAS NPDES	Federal	.5	PFAS NPDES Discharge Monitoring	0
PFAS TRI	Federal	.5	Perfluorinated Alkyl Substances (PFAS) from Toxic Release Inventory	0
PFAS WATER	Federal	.5	Perfluorinated Alkyl Substances (PFAS) Water Quality	0
PFAS TSCA	Federal	.5	PFAS TSCA Manufacture and Import Facilities	0
PFAS E-MANIFEST	Federal	.5	PFAS Waste Transfers from RCRA e-Manifest	0
PFAS IND	Federal	.5	PFAS Industry Sectors	0
HMIRS	Federal	.125	Hazardous Materials Information Reporting System	0
NCDL	Federal	.125	National Clandestine Drug Labs	0
TSCA	Federal	.125	Toxic Substances Control Act	0

Regulatory Database	Type	Minimum Search Distance	Property Listed	# Sites Listed
HIST TSCA	Federal	.125	Hist TSCA	0
FTTS ADMIN	Federal	.02	FTTS Administrative Case Listing	0
FTTS INSP	Federal	.02	FTTS Inspection Case Listing	0
PRP	Federal	.02	Potentially Responsible Parties List	0
SCRD DRYCLEANER	Federal	.5	State Coalition for Remediation of Drycleaners Listing	0
ICIS	Federal	.02	Integrated Compliance Information System (ICIS)	0
FED DRYCLEANERS	Federal	.25	Drycleaner Facilities	0
DELISTED FED DRY	Federal	.25	Delisted Drycleaner Facilities	0
FUDS	Federal	1	Formerly Used Defense Sites	0
FUDS MRS	Federal	1	FUDS Munitions Response Sites	0
FORMER NIKE	Federal	1	Former Military Nike Missile Sites	0
PIPELINE INCIDENT	Federal	.02	PHMSA Pipeline Safety Flagged Incidents	0
MLTS	Federal	.02	Material Licensing Tracking System (MLTS)	0
HIST MLTS	Federal	.02	Historic Material Licensing Tracking System (MLTS) sites	0
MINES	Federal	.25	Mines Master Index File	0
SMCRA	Federal	1	Surface Mining Control and Reclamation Act Sites	0
MRDS	Federal	1	Mineral Resource Data System	39
LM SITES	Federal	1	DOE Legacy Management Sites	0
ALT FUELS	Federal	.25	Alternative Fueling Stations	0
CONSENT DECREES	Federal	.25	Superfunds Consent Decrees	0
AFS	Federal	.02	Air Facility System	0
SSTS	Federal	.25	Registered Pesticide Establishments	0
PCBT	Federal	.5	Polychlorinated Biphenyl (PCB) Transformers	0
PCB	Federal	.5	Polychlorinated Biphenyl (PCB) Notifiers	0
SPILLS	State	.125	Spills	0
OG SPILLS	State	.125	Colorado Oil and Gas Conservation Commission Spills	0
DRYCLEANERS	State	.25	Dry Cleaning Facilities	0
DELISTED DRYCLEANERS	State	.25	Delisted Dry Cleaning Facilities	0
AIR PERMITS	State	.125	Air Pollution Control Division Permitted Facilities	0
PFAS	State	.5	Per- and Polyfluoroalkyl Substances (PFAS)	0

Regulatory Database	Type	Minimum Search Distance	Property Listed	# Sites Listed
ASBESTOS	State	.125	Asbestos Abatement and Demolition Projects	0
HAZ GEN	State	.125	Hazardous Waste Sites- Generator	0
PDES	State	.02	Permitted Facilities Listing	0
HAZ TSD	State	.5	Hazardous Waste Sites- Treatment, Storage & Disposal	0
HAZ CORRACT	State	1	Hazardous Waste Sites- Corrective Action	0
UMTRA	State	.5	Uranium Mill Tailings Sites	0

4.1.2 Subject Property Summary

No regulatory filings on the Subject Property.

4.1.3 Surrounding Properties Summary

Database Source	Distance(mi)	Direction	Address	Company Name	Comments
MRDS	0.00/21.33	S	SAN JUAN COUNTY SILVERTON CO 81433	MINERAL CREEK	Dep ID: 10216183
MRDS	0.04/185.45	SSE	SAN JUAN COUNTY SILVERTON CO 81433	AJAX	Dep ID: 10216062
MRDS	0.04/185.45	SSE	SAN JUAN COUNTY SILVERTON CO 81433	BOSTON GROUP	Dep ID: 10191673
MRDS	0.08/408.22	SSE	SAN JUAN COUNTY SILVERTON CO 81433	EMPIRE GROUP	Dep ID: 10119158
MRDS	0.08/408.22	SSE	SAN JUAN COUNTY SILVERTON CO 81433	EMPIRE GROUP	Dep ID: 10018495
AST	0.16/859.02	NNE	Silverton Junction Repeater Silverton CO 81433	Silverton Junction Repeater	Facility ID: 14907 Tank Tag Tank Status: 14907-1 Currently In Use
UST	0.17/889.05	ENE	315 Greene St Silverton CO 81433	The WhistleStop Station	Facility ID: 4047 Tank Tag Tank Status: 4047-4 Currently In Use, 4047-5 Currently In Use, 4047-3 Permanently Closed, 4047-1 Permanently Closed, 4047-2 Permanently Closed, 4047-5 Currently In Use
MRDS	0.18/945.68	S	SAN JUAN COUNTY SILVERTON CO 81433	RICKER GROUP	Dep ID: 10265016
MRDS	0.19/1011.79	S	SAN JUAN COUNTY SILVERTON CO 81433	LITTLE DORA	Dep ID: 10289472
MRDS	0.22/1166.66	S	SAN JUAN COUNTY SILVERTON CO 81433	HAWKEYE	Dep ID: 10192113

Database Source	Distance(mi)	Direction	Address	Company Name	Comments
MRDS	0.22/1168.33	S	SAN JUAN COUNTY SILVERTON CO 81433	BLUE JAY	Dep ID: 10239922
MRDS	0.22/1170.33	WSW	SAN JUAN COUNTY SILVERTON CO 81433	GLADSTONE	Dep ID: 10215964
UST	0.22/1172.56	ENE	US Hwy 550 & Hwy 110 Silverton CO 81433	Silverton 66	Facility ID: 1043 Tank Tag Tank Status: 1043-1 Permanently Closed, 1043-2 Permanently Closed
FED BROWNFIELDS	0.26/1370.67	NNW	E corner of US Highway 550 and San Juan Co. Rd 6 E corner of US Highway 550 and San Juan Co. Rd 6 Silverton CO 81433	Martha Rose/ Walsh Smelter	Property ID: 56321
MRDS	0.29/1522.69	N	SAN JUAN COUNTY SILVERTON CO 81433	VICTORIA	Dep ID: 10215728
SUPERFUND NRD	0.30/1583.45	NW	CO	Bonita Peak Mining District/BPM	
SEMS	0.32/1714.71	NW	Off of Highway 550 at South end of Silverton Along dirt road adjacent to Mineral Creek SILVERTON CO 81433	NORTH STAR	EPA ID: CON000821039
MRDS	0.37/1965.84	WNW	SAN JUAN COUNTY SILVERTON CO 81433	NORTH STAR	Dep ID: 10018494
MRDS	0.37/1971.76	S	SAN JUAN COUNTY SILVERTON CO 81433	JENNIE PARKER	Dep ID: 10192387
LST	0.39/2066.39	NE	665 Reese St Silverton CO 81433	CDOT Silverton	Facility ID: 7526 Event ID Status: 615 Closed
MRDS	0.40/2086.93	WSW	SAN JUAN COUNTY SILVERTON CO 81433	SULTAN MOUNTAIN	Dep ID: 10008738
LST	0.40/2117.47	ENE	450 Green St Silverton CO 81433	Town Of Silverton	Facility ID: 7655 Event ID Status: 4369 Closed
MRDS	0.43/2255.37	WNW	SAN JUAN COUNTY SILVERTON CO 81433	NORTH STAR-SULTAN	Dep ID: 10264976
LST	0.44/2335.79	ENE	717 Greene St Silverton CO 81433	Silverton Grocery	Facility ID: 2517 Event ID Status: 11166 Closed, 12105 Closed
MRDS	0.59/3118.68	SSE	SAN JUAN COUNTY SILVERTON CO 81433	IDEAL PLACER	Dep ID: 10118828
MRDS	0.67/3555.06	ESE	SAN JUAN COUNTY SILVERTON CO 81433	MARCELLA	Dep ID: 10289373

Database Source	Distance(mi)	Direction	Address	Company Name	Comments
MRDS	0.68/3599.11	SSW	SAN JUAN COUNTY SILVERTON CO 81433	HERCULES	Dep ID: 10018493
MRDS	0.68/3599.11	SSW	SAN JUAN COUNTY SILVERTON CO 81433	NORTH STAR	Dep ID: 10108411
MRDS	0.68/3599.11	SSW	SAN JUAN COUNTY SILVERTON CO 81433	DORA	Dep ID: 10018496
MRDS	0.70/3673.52	NW	SAN JUAN COUNTY SILVERTON CO 81433	ANVIL MOUNTAIN SOUTH	Dep ID: 10143549
MRDS	0.73/3845.52	N	SAN JUAN COUNTY SILVERTON CO 81433	COMING WONDER EMERALD MINE	Dep ID: 10167506
MRDS	0.75/3977.50	NE	SAN JUAN COUNTY SILVERTON CO 81433	DORA	Dep ID: 10143211
MRDS	0.76/4026.06	E	SAN JUAN COUNTY SILVERTON CO 81433	IDAHO	Dep ID: 10118736
MRDS	0.76/4037.90	E	SAN JUAN COUNTY SILVERTON CO 81433	LITTLE DORA	Dep ID: 10018497
MRDS	0.76/4037.90	E	SAN JUAN COUNTY SILVERTON CO 81433	CORNING WONDER MINE	Dep ID: 10108413
MRDS	0.77/4079.13	SE	SAN JUAN COUNTY SILVERTON CO 81433	MIGHTY MONARCH ET AL	Dep ID: 10009469
MRDS	0.82/4335.71	SSE	SAN JUAN COUNTY SILVERTON CO 81433	MYSTERY GROUP, FAIRVIEW	Dep ID: 10265022
MRDS	0.84/4427.81	SSE	SAN JUAN COUNTY SILVERTON CO 81433	ALETHEA GROUP	Dep ID: 10119358
MRDS	0.85/4469.15	E	SAN JUAN COUNTY SILVERTON CO 81433	MIGHTY MONARCH	Dep ID: 10143379
MRDS	0.85/4473.99	SSE	SAN JUAN COUNTY SILVERTON CO 81433	FAIRVIEW	Dep ID: 10018491
MRDS	0.85/4473.99	SSE	SAN JUAN COUNTY SILVERTON CO 81433	FAIRVIEW	Dep ID: 10289116
MRDS	0.86/4517.48	NNE	SAN JUAN COUNTY SILVERTON CO 81433	UNKNOWN GROUP	Dep ID: 10289156
MRDS	0.86/4525.90	S	SAN JUAN COUNTY SILVERTON CO 81433	MYSTERY GOLD GROUP	Dep ID: 10167731
MRDS	0.87/4608.35	WNW	SAN JUAN COUNTY SILVERTON CO 81433	UNKNOWN	Dep ID: 10216008
MRDS	0.91/4808.09	ESE	SAN JUAN COUNTY SILVERTON CO 81433	CLARA	Dep ID: 10192289

Database Source	Distance(mi)	Direction	Address	Company Name	Comments
MRDS	0.91/4823.12	ENE	SAN JUAN COUNTY SILVERTON CO 81433	SILVERTON RESERVOIR BOG IRON DEPOSIT	Dep ID: 10018500
MRDS	0.93/4888.94	WSW	SAN JUAN COUNTY SILVERTON CO 81433	BELCHER	Dep ID: 10192191
MRDS	0.95/5039.97	WNW	SAN JUAN COUNTY SILVERTON CO 81433	JONES MILL	Dep ID: 10215875

4.1.4 Database Records of Concern

Database Source	Distance (mi)	Direction	Address	Company Name	Comments
MRDS	0.00/21.33	S	SAN JUAN COUNTY SILVERTON CO 81433	MINERAL CREEK	Material Resources Data System listing for mineral extraction. This is the listing of the encroaching mine tailings pile. This listing is a REC in connection with the Subject Property.
MRDS	0.04/185.45	SSE	SAN JUAN COUNTY SILVERTON CO 81433	AJAX	Material Resources Data System listing for mineral extraction. This is a listing of mining claim with tailings extending onto the above listing. This listing is a REC in connection with the Subject Property.
MRDS	0.04/185.45	SSE	SAN JUAN COUNTY SILVERTON CO 81433	BOSTON GROUP	Material Resources Data System listing for mineral extraction. This listing is for a parcel located adjacent to the parcel that adjoins the south property boundary. This listing is not considered a REC in connection with the Subject Property.
MRDS	0.08/408.22	SSE	SAN JUAN COUNTY SILVERTON CO 81433	EMPIRE GROUP	Material Resources Data System listing for mineral extraction. No reported violations. Not a REC in connection with the Subject Property.
MRDS	0.08/408.22	SSE	SAN JUAN COUNTY SILVERTON CO 81433	EMPIRE GROUP	Material Resources Data System listing for mineral extraction. No reported violations. Not a REC in connection with the Subject Property.

Database Source	Distance (mi)	Direction	Address	Company Name	Comments
AST	0.16/859.02	NNE	Silverton Junction Repeater Silverton CO 81433	Silverton Junction Repeater	Located downgradient. Not a REC in connection with the Subject Property.
UST	0.17/889.05	ENE	315 Greene St Silverton CO 81433	The WhistleStop Station	Located downgradient. Not a REC in connection with the Subject Property.
MRDS	0.18/945.68	S	SAN JUAN COUNTY SILVERTON CO 81433	RICKER GROUP	Located crossgradient. Not a REC in connection with the Subject Property.
MRDS	0.19/1011.79	S	SAN JUAN COUNTY SILVERTON CO 81433	LITTLE DORA	Located crossgradient. Not a REC in connection with the Subject Property.
MRDS	0.22/1166.66	S	SAN JUAN COUNTY SILVERTON CO 81433	HAWKEYE	Located crossgradient. Not a REC in connection with the Subject Property.
MRDS	0.22/1168.33	S	SAN JUAN COUNTY SILVERTON CO 81433	BLUE JAY	Located crossgradient. Not a REC in connection with the Subject Property.
MRDS	0.22/1170.33	WSW	SAN JUAN COUNTY SILVERTON CO 81433	GLADSTONE	Located downgradient. Not a REC in connection with the Subject Property.
UST	0.22/1172.56	ENE	US Hwy 550 & Hwy 110 Silverton CO 81433	Silverton 66	Located downgradient. Not a REC in connection with the Subject Property.
FED BROWNFIELDS	0.26/1370.67	NNW	E corner of US Highway 550 and San Juan Co. Rd 6 E corner of US Highway 550 and San Juan Co. Rd 6 Silverton CO 81433	Martha Rose/ Walsh Smelter	Located downgradient. Not a REC in connection with the Subject Property.
MRDS	0.29/1522.69	N	SAN JUAN COUNTY SILVERTON CO 81433	VICTORIA	Located downgradient. Not a REC in connection with the Subject Property.
SUPERFUND NRD	0.30/1583.45	NW	CO	Bonita Peak Mining District/BPM	Located downgradient. Not a REC in connection with the Subject Property.
SEMS	0.32/1714.71	NW	Off of Highway 550 at South end of Silverton Along dirt road adjacent to Mineral Creek SILVERTON CO 81433	NORTH STAR	Located downgradient. Not a REC in connection with the Subject Property.
MRDS	0.37/1965.84	WNW	SAN JUAN COUNTY SILVERTON CO 81433	NORTH STAR	Located downgradient. Not a REC in connection with the Subject Property.
MRDS	0.37/1971.76	S	SAN JUAN COUNTY SILVERTON CO 81433	JENNIE PARKER	Located crossgradient. Not a REC in connection with the Subject Property.

Database Source	Distance (mi)	Direction	Address	Company Name	Comments
LST	0.39/2066.39	NE	665 Reese St Silverton CO 81433	CDOT Silverton	Located downgradient. Event listing closed. Not a REC in connection with the Subject Property.
MRDS	0.40/2086.93	WSW	SAN JUAN COUNTY SILVERTON CO 81433	SULTAN MOUNTAIN	Located crossgradient. Not a REC in connection with the Subject Property.
LST	0.40/2117.47	ENE	450 Green St Silverton CO 81433	Town Of Silverton	Located downgradient. Event listing closed. Not a REC in connection with the Subject Property.
MRDS	0.43/2255.37	WNW	SAN JUAN COUNTY SILVERTON CO 81433	NORTH STAR-SULTAN	Located downgradient. Not a REC in connection with the Subject Property.
LST	0.44/2335.79	ENE	717 Greene St Silverton CO 81433	Silverton Grocery	Located downgradient. Event listing closed. Not a REC in connection with the Subject Property.
MRDS	0.59/3118.68	SSE	SAN JUAN COUNTY SILVERTON CO 81433	IDEAL PLACER	Located crossgradient. Not a REC in connection with the Subject Property.
MRDS	0.67/3555.06	ESE	SAN JUAN COUNTY SILVERTON CO 81433	MARCELLA	Located crossgradient. Not a REC in connection with the Subject Property.
MRDS	0.68/3599.11	SSW	SAN JUAN COUNTY SILVERTON CO 81433	HERCULES	Located crossgradient. Not a REC in connection with the Subject Property.
MRDS	0.68/3599.11	SSW	SAN JUAN COUNTY SILVERTON CO 81433	NORTH STAR	Located downgradient. Not a REC in connection with the Subject Property.
MRDS	0.68/3599.11	SSW	SAN JUAN COUNTY SILVERTON CO 81433	DORA	Located crossgradient. Not a REC in connection with the Subject Property.
MRDS	0.70/3673.52	NW	SAN JUAN COUNTY SILVERTON CO 81433	ANVIL MOUNTAIN SOUTH	Located crossgradient. Not a REC in connection with the Subject Property.
MRDS	0.73/3845.52	N	SAN JUAN COUNTY SILVERTON CO 81433	COMING WONDER EMERALD MINE	Located downgradient. Not a REC in connection with the Subject Property.
MRDS	0.75/3977.50	NE	SAN JUAN COUNTY SILVERTON CO 81433	DORA	Located downgradient. Not a REC in connection with the Subject Property.
MRDS	0.76/4026.06	E	SAN JUAN COUNTY SILVERTON CO 81433	IDAHO	Located crossgradient. Not a REC in connection with the Subject Property.

Database Source	Distance (mi)	Direction	Address	Company Name	Comments
MRDS	0.76/4037.90	E	SAN JUAN COUNTY SILVERTON CO 81433	LITTLE DORA	Located crossgradient. Not a REC in connection with the Subject Property.
MRDS	0.76/4037.90	E	SAN JUAN COUNTY SILVERTON CO 81433	CORNING WONDER MINE	Located crossgradient. Not a REC in connection with the Subject Property.
MRDS	0.77/4079.13	SE	SAN JUAN COUNTY SILVERTON CO 81433	MIGHTY MONARCH ET AL	Located crossgradient. Not a REC in connection with the Subject Property.
MRDS	0.82/4335.71	SSE	SAN JUAN COUNTY SILVERTON CO 81433	MYSTERY GROUP, FAIRVIEW	Located downgradient. Not a REC in connection with the Subject Property.
MRDS	0.84/4427.81	SSE	SAN JUAN COUNTY SILVERTON CO 81433	ALETHEA GROUP	Located crossgradient. Not a REC in connection with the Subject Property.
MRDS	0.85/4469.15	E	SAN JUAN COUNTY SILVERTON CO 81433	MIGHTY MONARCH	Located crossgradient. Not a REC in connection with the Subject Property.
MRDS	0.85/4473.99	SSE	SAN JUAN COUNTY SILVERTON CO 81433	FAIRVIEW	Located downgradient. Not a REC in connection with the Subject Property.
MRDS	0.85/4473.99	SSE	SAN JUAN COUNTY SILVERTON CO 81433	FAIRVIEW	Located crossgradient. Not a REC in connection with the Subject Property.
MRDS	0.86/4517.48	NNE	SAN JUAN COUNTY SILVERTON CO 81433	UNKNOWN GROUP	Located crossgradient. Not a REC in connection with the Subject Property.
MRDS	0.86/4525.90	S	SAN JUAN COUNTY SILVERTON CO 81433	MYSTERY GOLD GROUP	Located crossgradient. Not a REC in connection with the Subject Property.
MRDS	0.87/4608.35	WNW	SAN JUAN COUNTY SILVERTON CO 81433	UNKNOWN	Located crossgradient. Not a REC in connection with the Subject Property.
MRDS	0.91/4808.09	ESE	SAN JUAN COUNTY SILVERTON CO 81433	CLARA	Located crossgradient. Not a REC in connection with the Subject Property.
MRDS	0.91/4823.12	ENE	SAN JUAN COUNTY SILVERTON CO 81433	SILVERTON RESERVOIR BOG IRON DEPOSIT	Located crossgradient. Not a REC in connection with the Subject Property.
MRDS	0.93/4888.94	WSW	SAN JUAN COUNTY SILVERTON CO 81433	BELCHER	Located crossgradient. Not a REC in connection with the Subject Property.
MRDS	0.95/5039.97	WNW	SAN JUAN COUNTY SILVERTON CO 81433	JONES MILL	Located crossgradient. Not a REC in connection with the Subject Property.

4.2 Historical Resources Reviewed

Historical sources from ERIS including oil and gas wells (Physical Settings-Appendix C), regulatory filings (Database Report-Appendix F), aerial photographs (Aerial Photographs-Appendix G), topographic maps (Topographic Maps-Appendix H), were obtained for the Subject Property and vicinity. Copies of these historical sources are provided in the identified appendices.

Historical Resource	Years Reviewed
Aerial Photographs	1945, 1951, 1960, 1963, 1972, 1978, 1986, 1989, 1998, 2005, 2009, 2011, 2013, 2015, 2017, 2019, 2021, 2023
Historical Topographic Maps	1897, 1901, 1902, 1955, 2013, 2016, 2019
Colorado Division of Oil and Public Safety	Up to May 2024
Colorado Department of Public Health and Environment	Up to May 2024
Colorado Division of Reclamation, Mining and Safety	Up to June 2024
Environmental Protection Agency	Up to June 2024

4.3 Historical Use Information on the Subject Property

Historical Summary Table

Dates	Issue Identified?	Uses	Source(s)
1897, 1901, 1902	No	Undeveloped land, native vegetation.	Topographic Maps
1945, 1951, 1955, 1960, 1963, 1972, 1978, 1986, 1989, 1998, 2005	Yes	The appearance of mining excavation is visible on the Hector Mill Site parcel. This activity is not considered to be an issue. The appearance and gradual spread of the mine tailings pile on the south adjoining property is considered to be an issue.	Aerial Photographs
2009, 2011, 2013, 2015, 2016, 2017, 2019, 2021, 2023, 2024	Yes	An area has been cleared of vegetation on the central western portion of the Subject Property along Highway 550 North. The appearance and gradual spread of the mine tailings pile on the south adjoining property is considered to be an issue.	Aerial Photographs Topographic Maps County Assessor On-Site Observations

4.4 Historical Use Information on Adjacent Properties

Historical Summary North Adjacent Property

Dates	Issue Identified?	Uses	Source(s)
1897, 1901, 1902	No	Undeveloped land, native vegetation.	Aerial Photographs Topographic Maps

Dates	Issue Identified?	Uses	Source(s)
1945, 1951, 1955, 1960, 1963, 1972, 1978, 1986, 1989, 1998, 2005, 2009, 2011, 2013, 2015, 2016, 2017, 2019, 2021, 2023, 2024	No	Colorado State Highway 550 is present, followed by undeveloped land and native vegetation.	Aerial Photographs Topographic Maps On-Site Observations

Historical East Adjacent Property

Dates	Issue Identified?	Uses	Source(s)
1897, 1901, 1902	No	Undeveloped land, native vegetation and Mineral Creek.	Aerial Photographs Topographic Maps
1945, 1951, 1955, 1960, 1963, 1972, 1978, 1986, 1989, 1998, 2005, 2009, 2011, 2013, 2015, 2016, 2017, 2019, 2021, 2023, 2024	No	Colorado State Highway 550 is present, followed by undeveloped land with native vegetation, followed by Mineral Creek.	Aerial Photographs Topographic Maps On-Site Observations

Historical South Adjacent Property

Dates	Issue Identified?	Uses	Source(s)
1897, 1901, 1902	No	Undeveloped land and native vegetation	Aerial Photographs Topographic Maps
1945, 1951, 1955, 1960, 1963, 1972, 1978, 1986, 1989, 1998, 2005, 2009, 2011, 2013, 2015, 2016, 2017, 2019, 2021, 2023, 2024	Yes	Colorado State Highway 550 is present, followed by undeveloped land and native vegetation. Mine tailings pile on the south adjacent property gradually grew during active mining of the area.	Aerial Photographs Topographic Maps On-Site Observations

Historical West Adjacent Property

Dates	Issue Identified?	Uses	Source(s)
1897, 1901, 1902	No	Undeveloped land and native vegetation	Aerial Photographs Topographic Maps

Dates	Issue Identified?	Uses	Source(s)
1945, 1951, 1955, 1960, 1963, 1972, 1978, 1986, 1989, 1998, 2005, 2009, 2011, 2013, 2015, 2016, 2017, 2019, 2021, 2023, 2024	No	Colorado State Highway 550 is present, followed by undeveloped land and native vegetation.	Aerial Photographs Topographic Maps County Assessor On-Site Observations

4.5 Data Gaps/Data Failure

Based on the definition presented in ASTM Method E1527-21, a significant data gap/failure occurs when all the standard historical sources that are reasonably-ascertainable and likely to be useful to have been reviewed and the historical use of the Subject Property has not been documented back to the Subject Property's first developed use, or 1940, whichever is earlier. A data gap is only significant if other information and/or professional experience raises reasonable concerns involving the effects of that data gap on the ability of the environmental professional to render an opinion regarding whether conditions exist that are indicative of recognized environmental conditions or controlled recognized environmental conditions. When data failure occurs, ASTM Method E1527-21 requires the Environmental Professional to document the data failure and assess the potential impact on the ability of the Environmental Professional to identify REC(s).

The historical use data of the Subject Property was obtained in accordance with the ASTM Standard and therefore no significant data gap/failure was identified.

5.0 SITE RECONNAISSANCE

Issue	Subject Property	Adjacent Properties
Hazardous Substances and Petroleum Products	Yes	Yes
Underground Storage Tanks	No	No
Aboveground Storage Tanks	No	No
Odors	No	No
Pools of Liquid	No	No
Unidentified Substances	No	No
Drums	No	No
On-Site Chemicals	No	No
Hydraulic Oil	No	No
Polychlorinated Biphenyl's (PCBs)	No	No
Pits, Ponds, or Lagoons	No	No
Stained Soil or Pavement	No	No
Stains or Corrosion	No	No

Issue	Subject Property	Adjacent Properties
Stressed Vegetation	Yes	Yes
Soil Waste	No	No
Transformers	Yes	No
Wastewater	No	No
Wells (Domestic)	Yes	No
Septic System	No	No
Drains and Sumps	No	No

Steve Hoffman completed the site reconnaissance on June 10, 2024. Access was granted by the prospective purchaser. The weather at the time of site reconnaissance was clear and 70 degrees Fahrenheit. The Subject Property was walked and the surrounding properties observed. Photograph documentation is included in Appendix I.

6.0 INTERVIEWS

Title	Name	Date	Comments
Colorado Division of Reclamation, Mining and Safety	Doug Jamison	June 20, 2024	He said there hasn't been a precedent established for mine tailings piles that aren't emitting water discharges or impacting a waterway. The state has no plans to enforce clean up of historic mine tailings piles that are not directly impacting an active waterway. If necessary, measures can be taken by the property owner to stabilize the tailings pile to prevent water runoff.

7.0 EVALUATION/CONCLUSION

This Phase I ESA was performed of the four mining claim parcels located on the property at Highway 550 North, Silverton, Colorado, 81433, the Subject Property, in conformance with the scope and limitations of ASTM Method E1527-21. No data gaps or data failures occurred during this evaluation.

According to the San Juan County Assessors records and on-site observations, the Subject Property consists of four mining claim parcels on approximately 17.94 acres of land. A portion of the land has been cleared of vegetation and partially leveled. An electrical transformer and a groundwater well have been installed. A mine tailings pile from previous surface mining is present on the Hector Mill Site parcel. These tailings consist of sand, gravel, and rock from surface mining and are not a REC in connection with the Subject Property. Activities associated with the mining claims do not appear to have resulted in an environmental impact on the Subject Property. The mining claim on the Hector Lode parcel did not appear to have been worked previously.

This Phase I ESA revealed evidence of a REC in connection with the Subject Property from the mine tailings pile containing mined bedrock with metals that adjoin the south property boundary and has encroached onto the Subject Property.

This Phase I ESA did not reveal evidence of Controlled or Historical RECs in connection with the Subject Property.

According to ASTM Method E2600-15 and based upon the absence of known or reported hazardous chemicals or volatile organic compounds released to the Subject Property or surrounding immediate area, a vapor encroachment condition can be ruled out.

8.0 ENVIRONMENTAL PROFESSIONAL'S STATEMENT

I declare that, to the best of my professional knowledge and belief, I meet the definition of Environmental Professional as defined in §312.10 of 40 CFR Part 312. I have the specific qualifications based on education, training, and experience to assess a property. I have developed and performed all appropriate inquiries in conformance with the standards and practices set forth in 40 CFR Part 312. Qualifications for the Environmental Professional are included in Appendix J.



Steven B. Hoffman, P.G.
Environmental Professional

9.0 REFERENCES

American Society of Testing and Materials, Method E1527-21, Standard Practice for Environmental Site Assessments, Phase I Environmental Site Assessment Process.

American Society for Testing and Materials, Method E2600-15, Standard Guide for Vapor Encroachment Screening on Property Involved in Real Estate Transactions.

Aerial Photographs: 1945, 1951, 1960, 1963, 1972, 1978, 1986, 1989, 1998, 2005, 2009, 2011, 2013, 2015, 2017, 2019, 2021, 2023.

Colorado Department of Public Health and Environment: Online records review, May 28, 2024.

Colorado Division of Water Resources: Online well permit search, May 27, 2024.

Colorado Division of Reclamation, Mining and Safety, May 28, 2024.

Colorado Department of Labor and Employment-Division of Oil and Public Safety: Online records search, May 28, 2024.

Environmental Protection Agency: Online records search, June 19, 2024.

ERIS, 2520 South Interstate Highway 35, Suite 200 Austin, Texas, (512) 823-0217: Database Report dated, May 24, 2024.

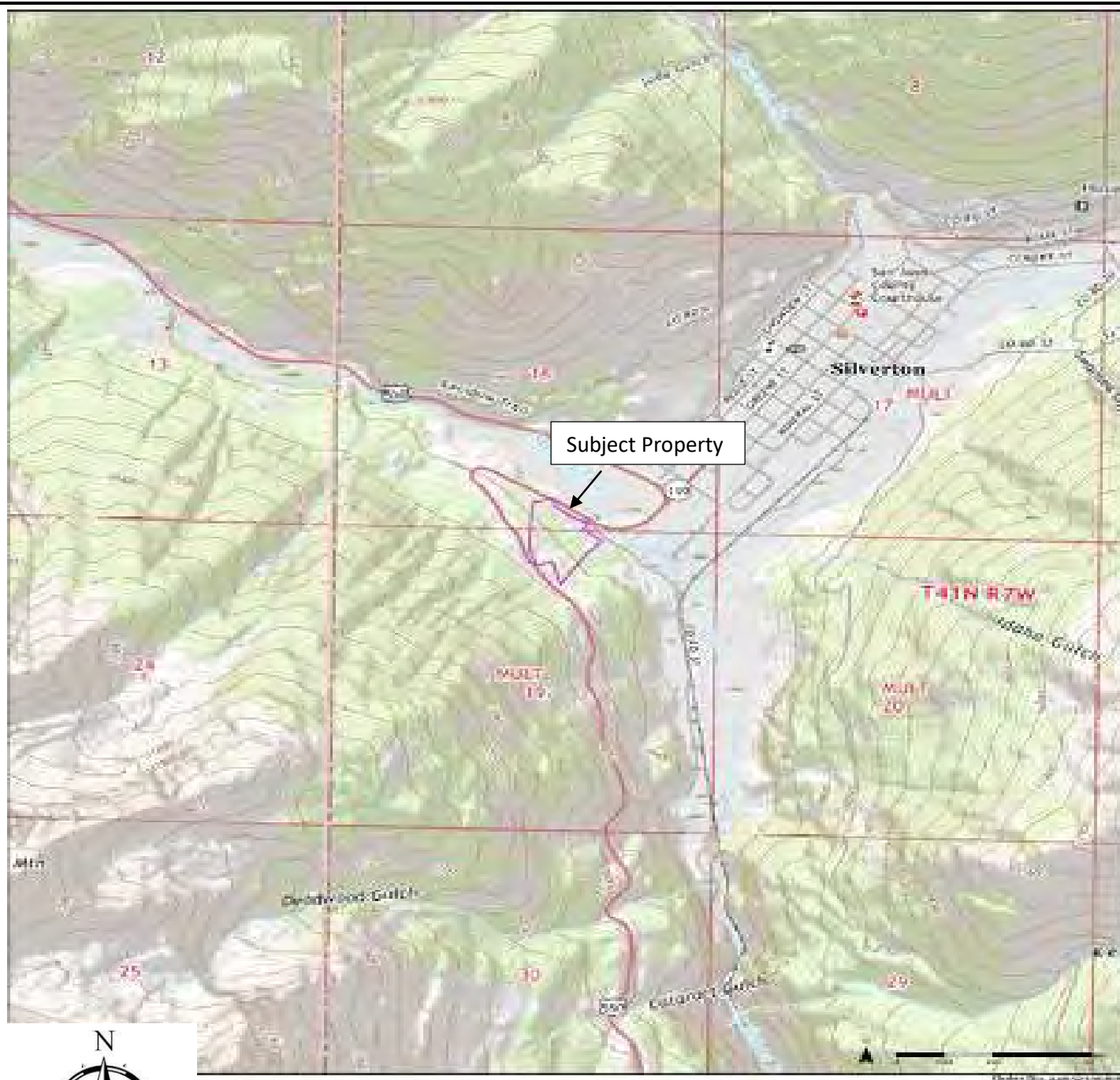
ERIS, 2520 South Interstate Highway 35, Suite 200 Austin, Texas, (512) 823-0217: Physical Settings Maps, Oil and Gas Report, Water Well Report, May 24, 2024.

San Juan County Assessors: Property and Map Search, May 23, 2024.

United States Geological Survey 7.5- & 15-Minute Series Topographic Maps.
Silverton, Colorado: 1897, 1901, 1902, 1955, 2013, 2016, 2019.

Appendix A: Figures

Figure 1: Site Location/Topographic Map



SH ENVIRONMENTAL CONSULTING
Arvada, Colorado

Site Location / Topographic Map
Highway 550 North
Silverton, San Juan County, Colorado

Not To Scale

FIGURE NO: 1

Figure 2: Site Detail



SH ENVIRONMENTAL CONSULTING
Arvada, Colorado

SITE DETAIL
Highway 550 North
Silverton, San Juan County, Colorado

Not To Scale

FIGURE NO: 2

Appendix B: County Assessors and Survey Information



Account #N2731

**HIGHWAY 550 N, SILVERTON, CO
81433**

Total Value

\$294,219

No Photo Available



OVERVIEW

KEY INFORMATION

Account #	N2731		Parcel #	48290190010006	
Name(s)	RATNER RYAN				
Mailing Address	1701 COUNTY ROAD 250 DURANGO CO 81301				
Situs Address	HIGHWAY 550 N, SILVERTON, CO 81433				
Total Acres	17.94		Total Sq Ft	781,466	
Section	19	Township	41	Range	7
Tax District	101	Economic Area	-	Block	-
Plat Reference	-				
Legal Description	COOK M S - 17848 B LESS AND EXCEPT TRACT 2A, HECTOR - 14327, HECTOR M S - 14327 B, SMITH M S - 17849 B SURFACE RIGHTS ONLY. COMBINED FROM FORMER PARCELS 48290000010371 AND 48290190010002.				

VALUE INFORMATION

	Actual	Assessed
Land	\$294,219	\$82,087
Improvement	-	-
Total	\$294,219	\$82,087

IMPROVEMENTS

No improvements to display.

LAND DETAILS

DESCRIPTION	EFFECTIVE ACRES*	EFFECTIVE SQ FT*	VALUE
Natural Resources	2.34	101,930	\$3,159
Natural Resources	4.00	174,240	\$75,400
Natural Resources	4.47	194,713	\$76,034
Natural Resources	7.13	310,583	\$139,626

* Accounting for undivided interests and mixed use properties calculate smaller than the full property size.

TRANSFER HISTORY

SALE DATE	AMT	TASP	RECEPTION	TYPE	GRANTEES	GRANTORS
10/09/2017	\$235,000	\$516,624	151390	Warranty Deed(WD)	RATNER RYAN c/o:	BALDWIN RONALD H & NANCY G

CENSUS/DEMOGRAPHICS

Total Population:

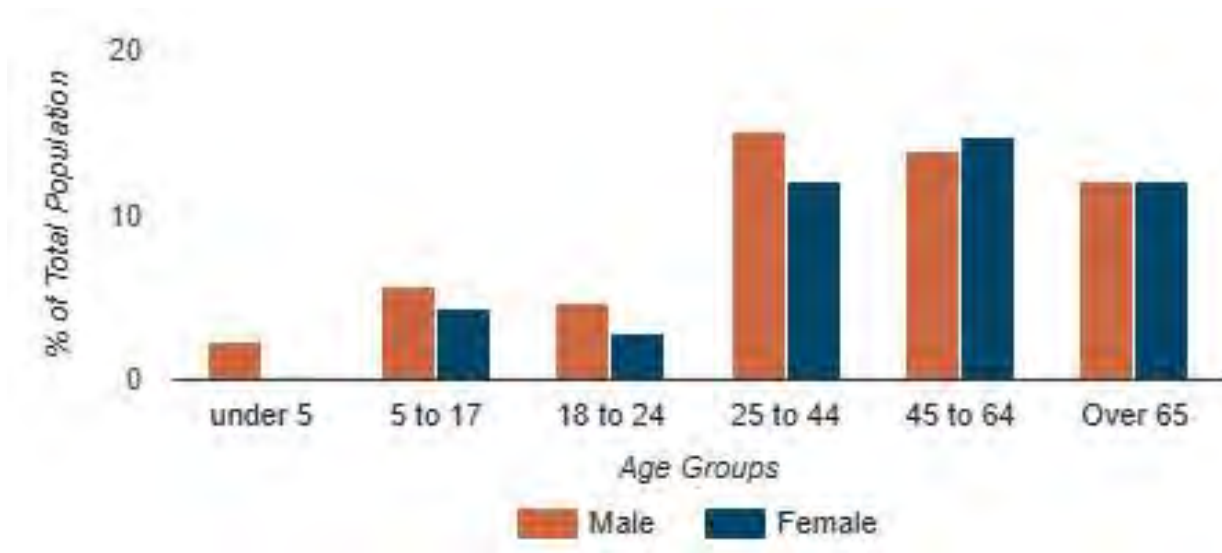
690

MALE

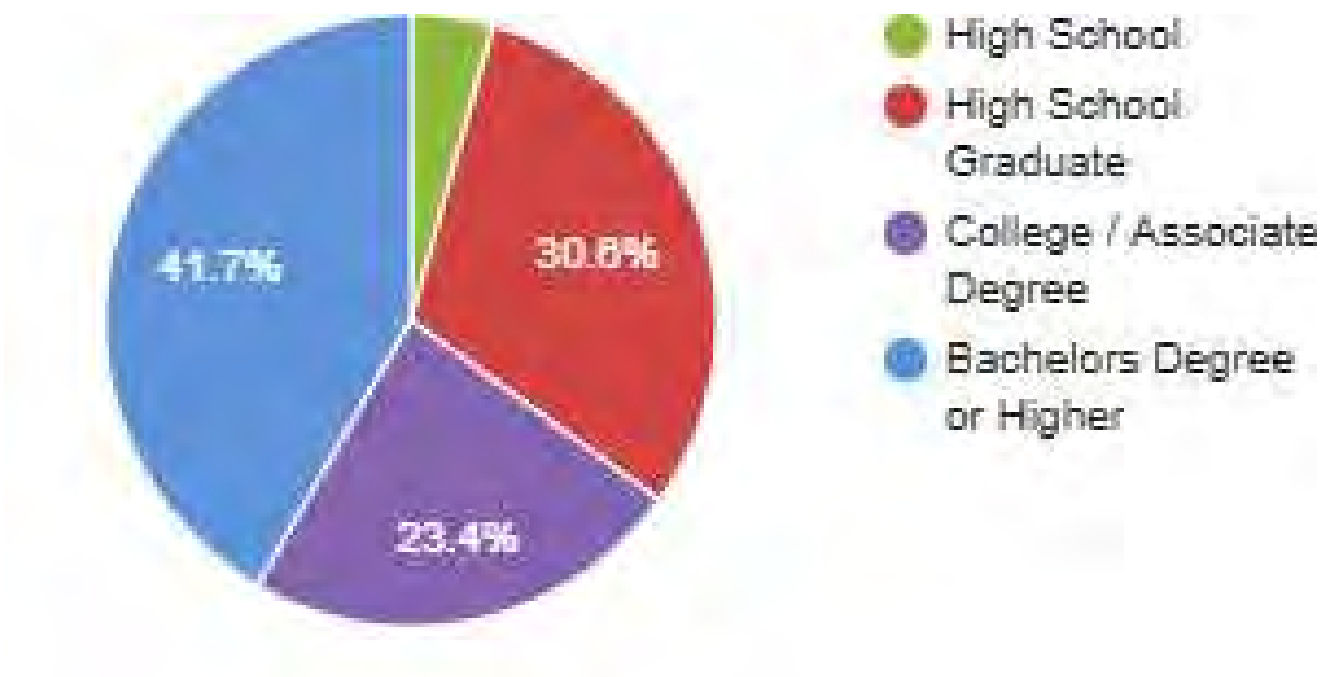
371

FEMALE

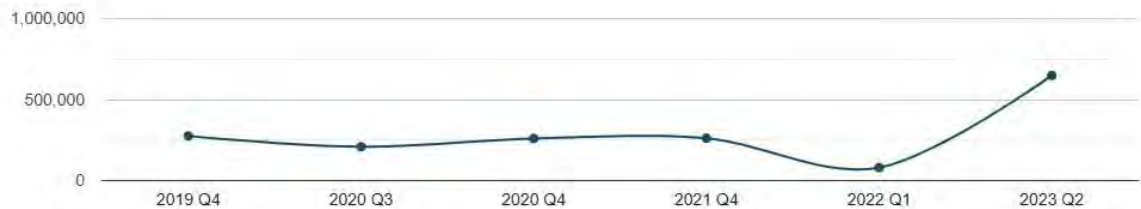
319



EDUCATIONAL ATTAINMENT



RECENT AREA SALES
MEDIAN HOME SALES



HOME SALES BY TYPE



AREA HOME SALES

Highest Sale

\$649,000

Average

\$649,000

Lowest Sale

\$649,000

No. of Sales

1

MINING CLAIMS

CLAIM NAME		MINERAL SURVEY #	
+ COOK M S		17848	
Acres	2.32	Road	-
District	ANIMAS MINING DISTRICT	Patent	45021
Mapping Status	Updated using BLM data		
Waste	-	Waterfront	-
+ HECTOR		14327	
Acres	7.37	Road	HECTOR LODE
District	ANIMAS MINING DISTRICT	Patent	36050
Mapping Status	Updated using BLM data		
Waste	-	Waterfront	-
+ HECTOR M S		14327	
Acres	4.98	Road	HECTOR LODE
District	ANIMAS MINING DISTRICT	Patent	36050
Mapping Status	Updated using BLM data		
Waste	-	Waterfront	-
+ SMITH M S		17849	
Acres	4.00	Road	HECTOR LODE
District	ANIMAS MINING DISTRICT	Patent	45020
Mapping Status	Updated using BLM data		
Waste	-	Waterfront	-

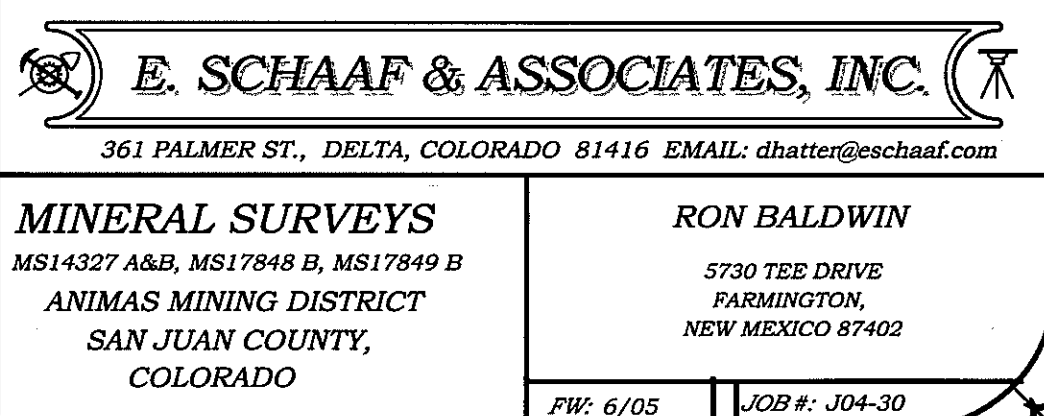
DOCUMENTS

Download Tax Notices: -- Choose a file -- ▾

REORDER BY MAIL NUMBER 0235
SALDO PRODUCTS • NEW 1-800-741-1101

MAY #145

DRAWING NUMBER



11/15/2005 9:43:30 AM, 1:100

DRAWING NUMBER
Reception
1476 99

SAVED PRODUCTS • NEW HOPE, MINNESOTA
REORDER BY PART NUMBER 8552

1476 99
Page 1 of 2
12-10-2010 01:13 PM Recording Fee \$80.00

DRAWING NUMBER
Reception
May 550

SAVED PRODUCTS • NEW HOPE, MINNESOTA
REORDER BY PART NUMBER 8552

1476 99
Page 1 of 2
12-10-2010 01:13 PM Recording Fee \$80.00

DRAWING NUMBER
Map #1
241 A

SAVED PRODUCTS • NEW HOPE, MINNESOTA
REORDER BY PART NUMBER 8552

1476 99
Page 1 of 2
12-10-2010 01:13 PM Recording Fee \$80.00

DRAWING NUMBER
Map #1
241 A

SAVED PRODUCTS • NEW HOPE, MINNESOTA
REORDER BY PART NUMBER 8552

1476 99
Page 1 of 2
12-10-2010 01:13 PM Recording Fee \$80.00

Colorado Department of Transportation

3803 North Main Avenue
Durango, CO 81301
Phone: 970-385-1421 FAX: 970-385-1410

Region 5 JMW

Sheet Revisions

Sheet Revisions

Sheet Revisions

Right of Way Plans

Project Number: BR 5502-053
Project Location: Mineral Cn. Brg. Replat. M-08-K
Project Location: Silverton
Project Location: Silverton
Project Location: Silverton

DEPARTMENT OF TRANSPORTATION

STATE OF COLORADO

RIGHT OF WAY PLAN OF PROPOSED
FEDERAL AID PROJECT NO. BR 5502-053
U.S. HIGHWAY NO. 550
SAN JUAN COUNTY
in Section 18 & Section 19, T. 41 N., R. 7 W. of the N.M.P.M.
RIGHT OF WAY PROJECT CODE NO. 15491
R.O.W. LENGTH OF PROJECT: 0.43 MILE

CONVENTIONAL SIGNS

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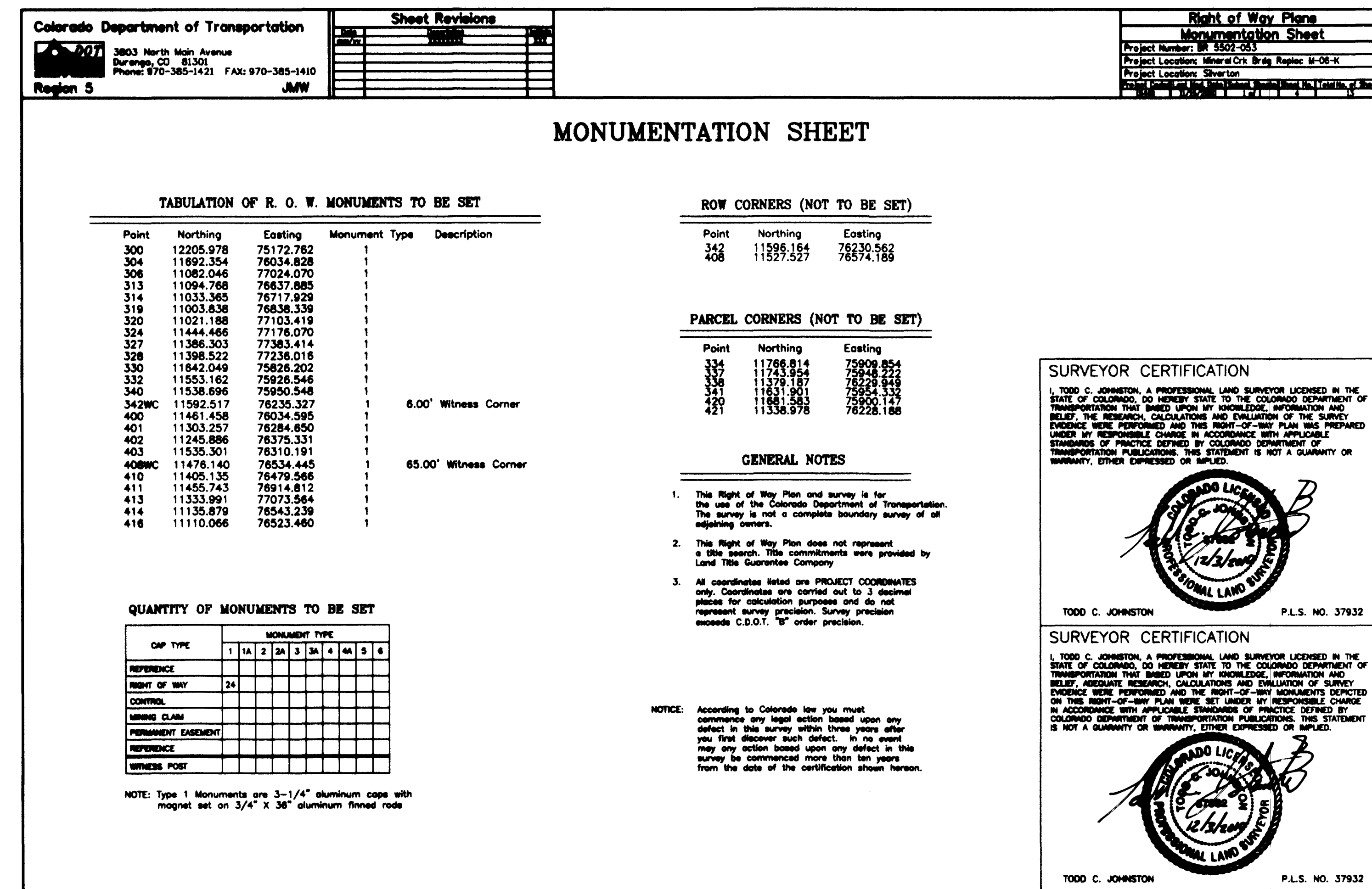
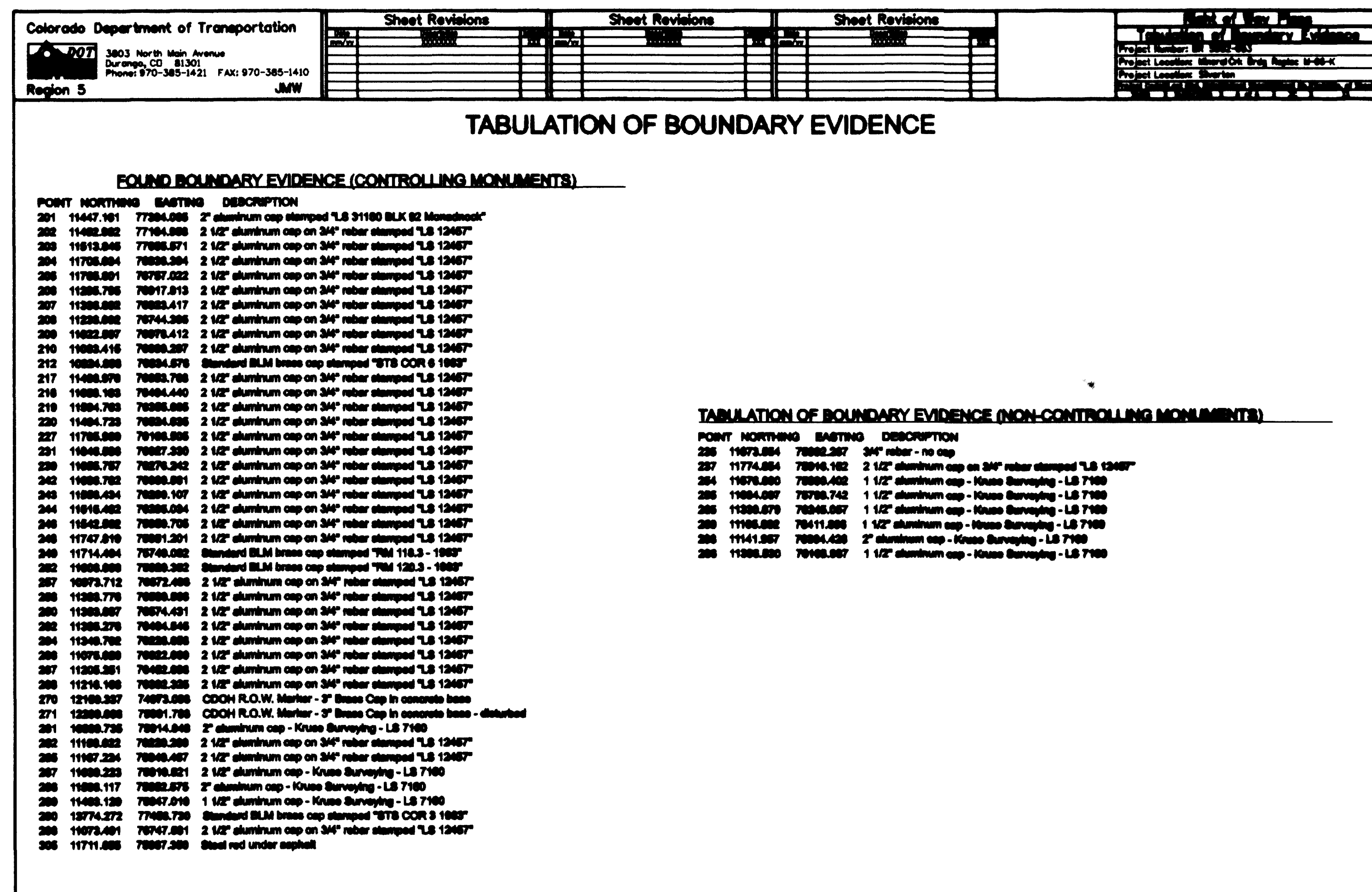
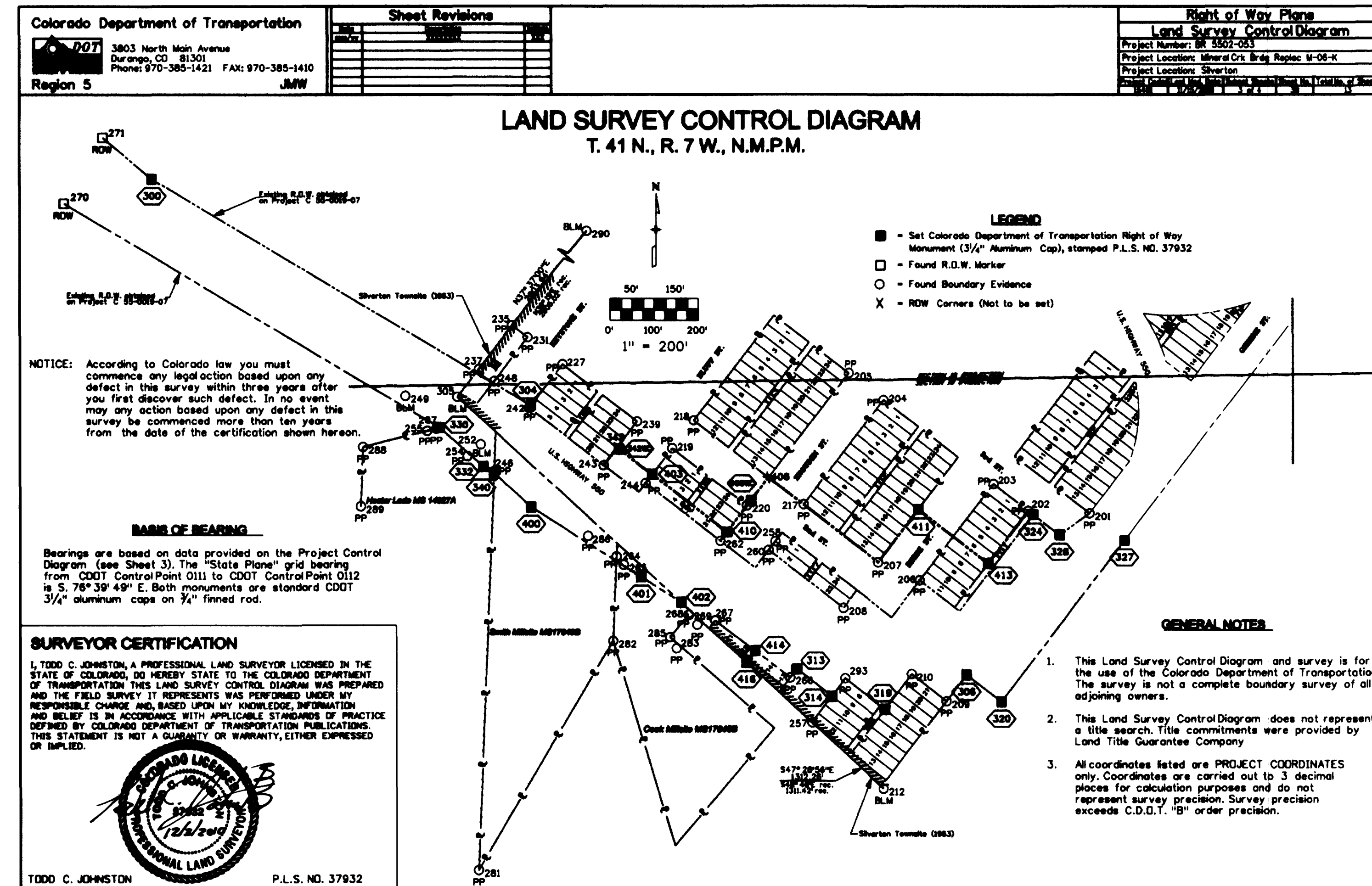
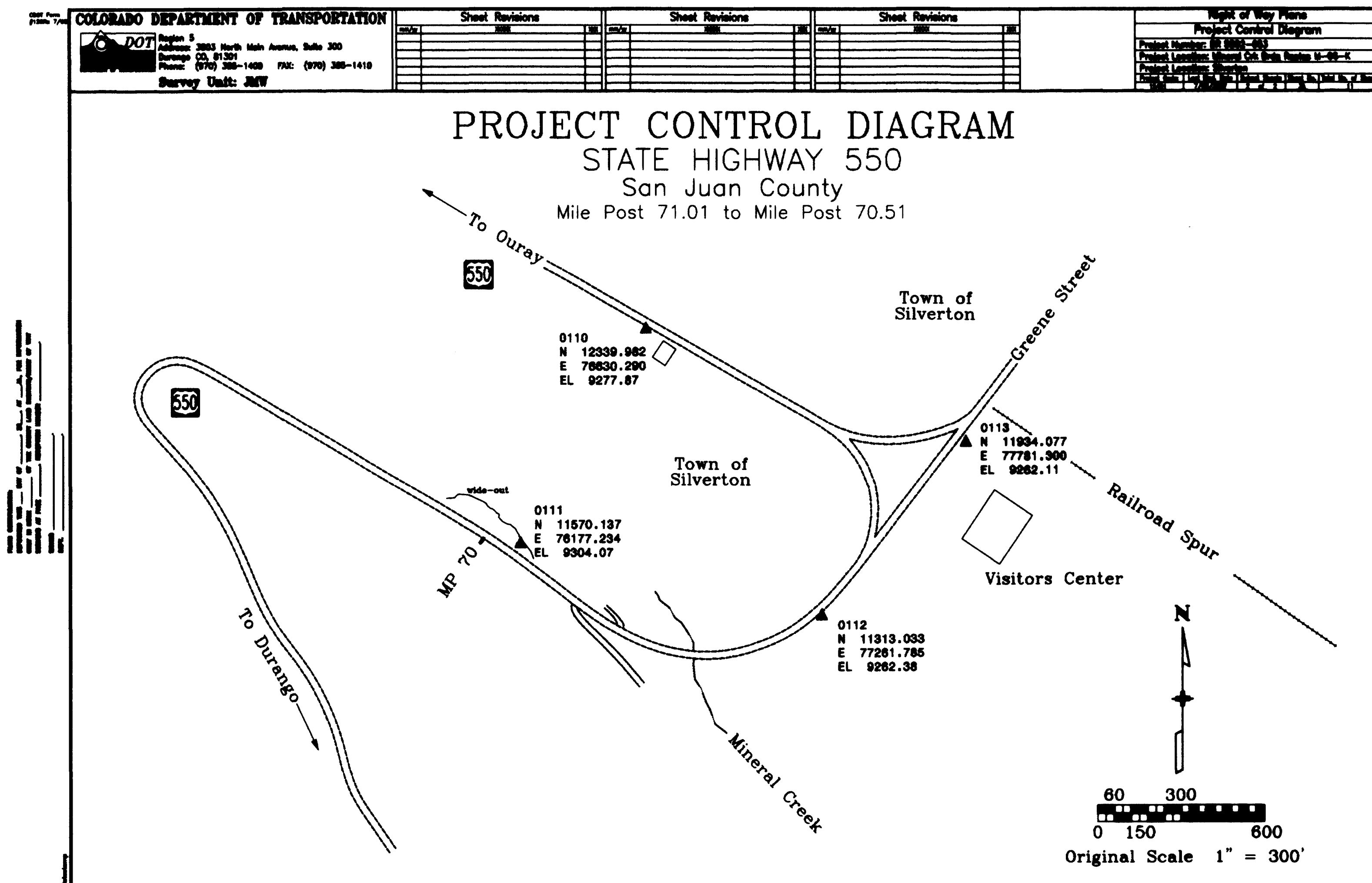
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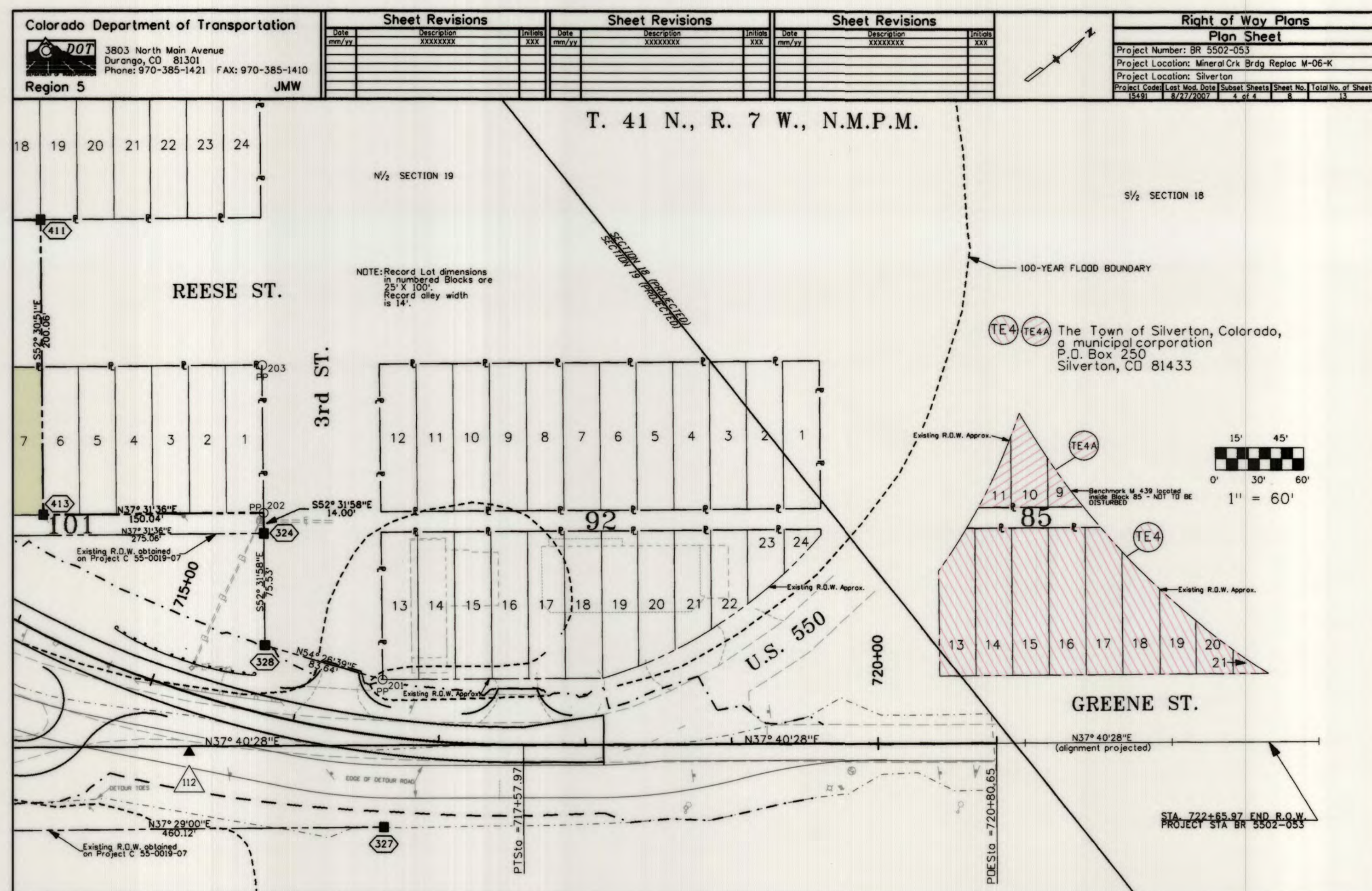
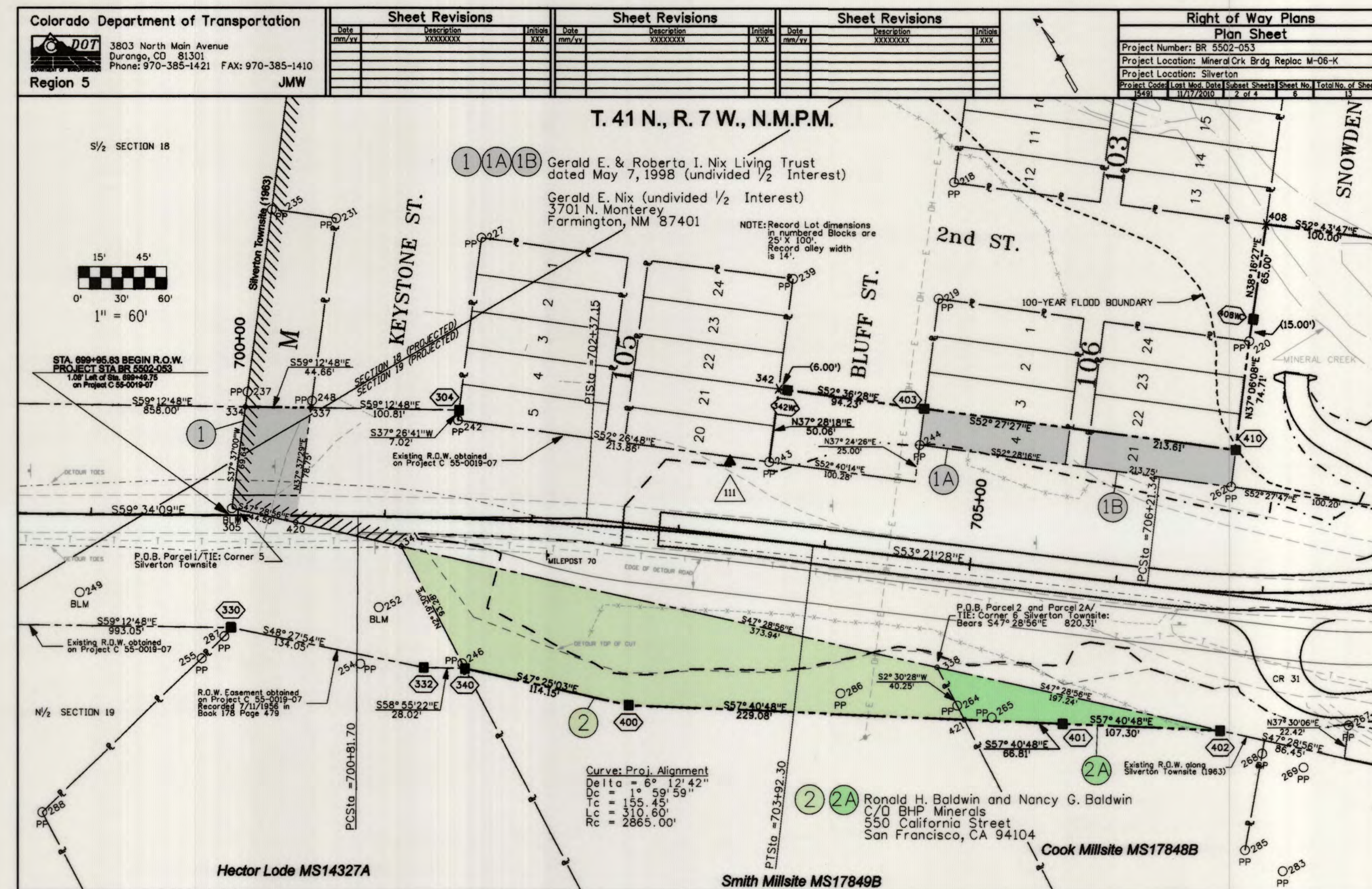
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Appendix C: Physical Settings Report



Property Information

Order Number:	24052300616p
Date Completed:	May 24, 2024
Project Number:	24-08
Project Property:	Highway 550 North Silverton, Colorado Phase I ESA Highway 550 North Silverton CO
Coordinates:	
Latitude:	37.80288282
Longitude:	-107.67588072
UTM Northing:	4187318.22527 Meters
UTM Easting:	264415.874266 Meters
UTM Zone:	UTM Zone 13S
Elevation:	9,373.65 ft
Slope Direction:	ENE

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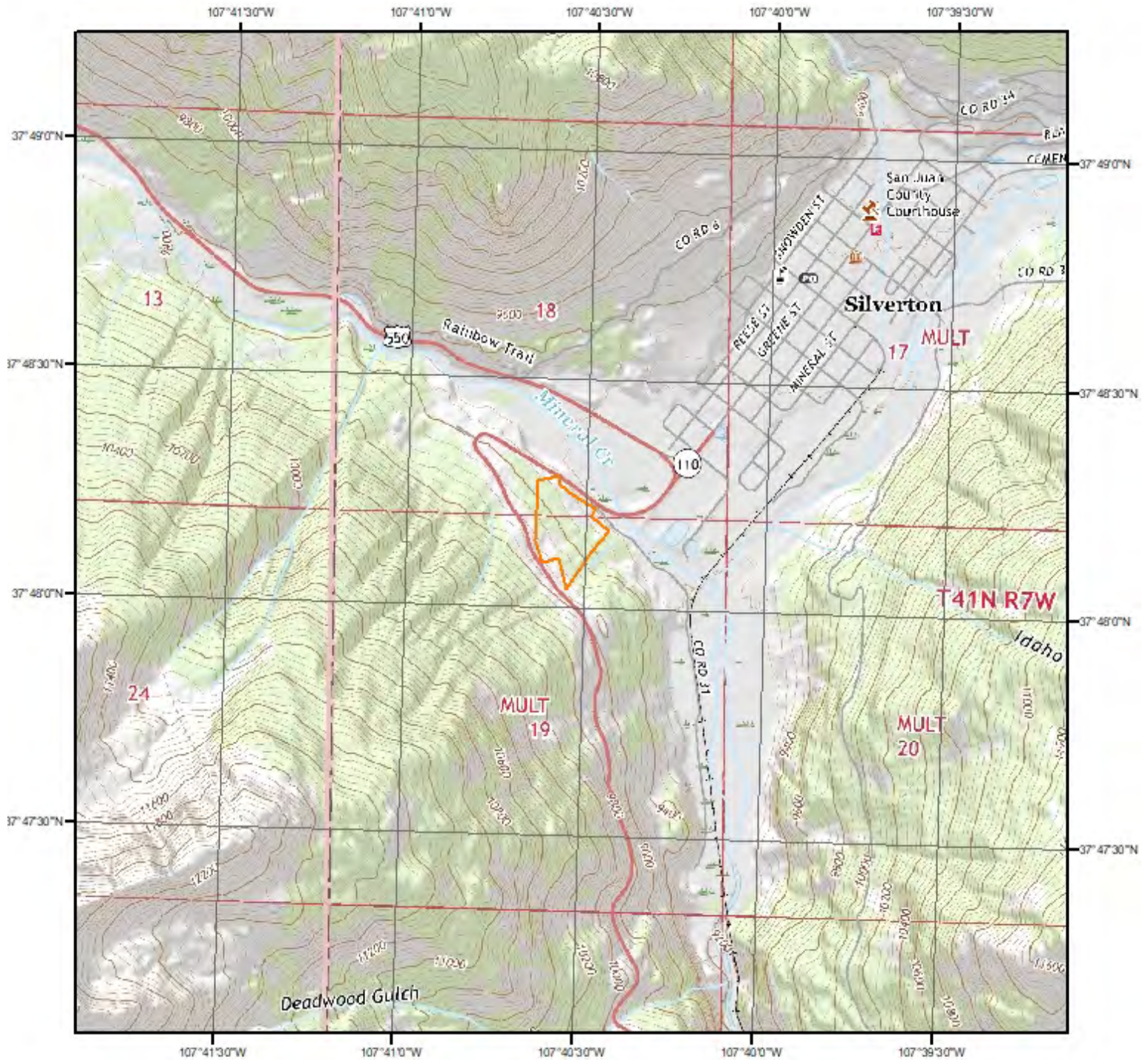
The ERIS **Physical Setting Report - PSR** provides comprehensive information about the physical setting around a site and includes a complete overview of topography and surface topology, in addition to hydrologic, geologic and soil characteristics. The location and detailed attributes of oil and gas wells, water wells, public water systems and radon are also included for review.

The compilation of both physical characteristics of a site and additional attribute data is useful in assessing the impact of migration of contaminants and subsequent impact on soils and groundwater.

Disclaimer

This Report does not provide a full environmental evaluation for the site or adjacent properties. Please see the terms and disclaimer at the end of the Report for greater detail.

Topographic Information



Current USGS Topo (2019)

0 0.2 0.4 0.8 Miles



Quadrangle(s): Silverton, CO

Source: USGS 7.5 Minute Topographic Map

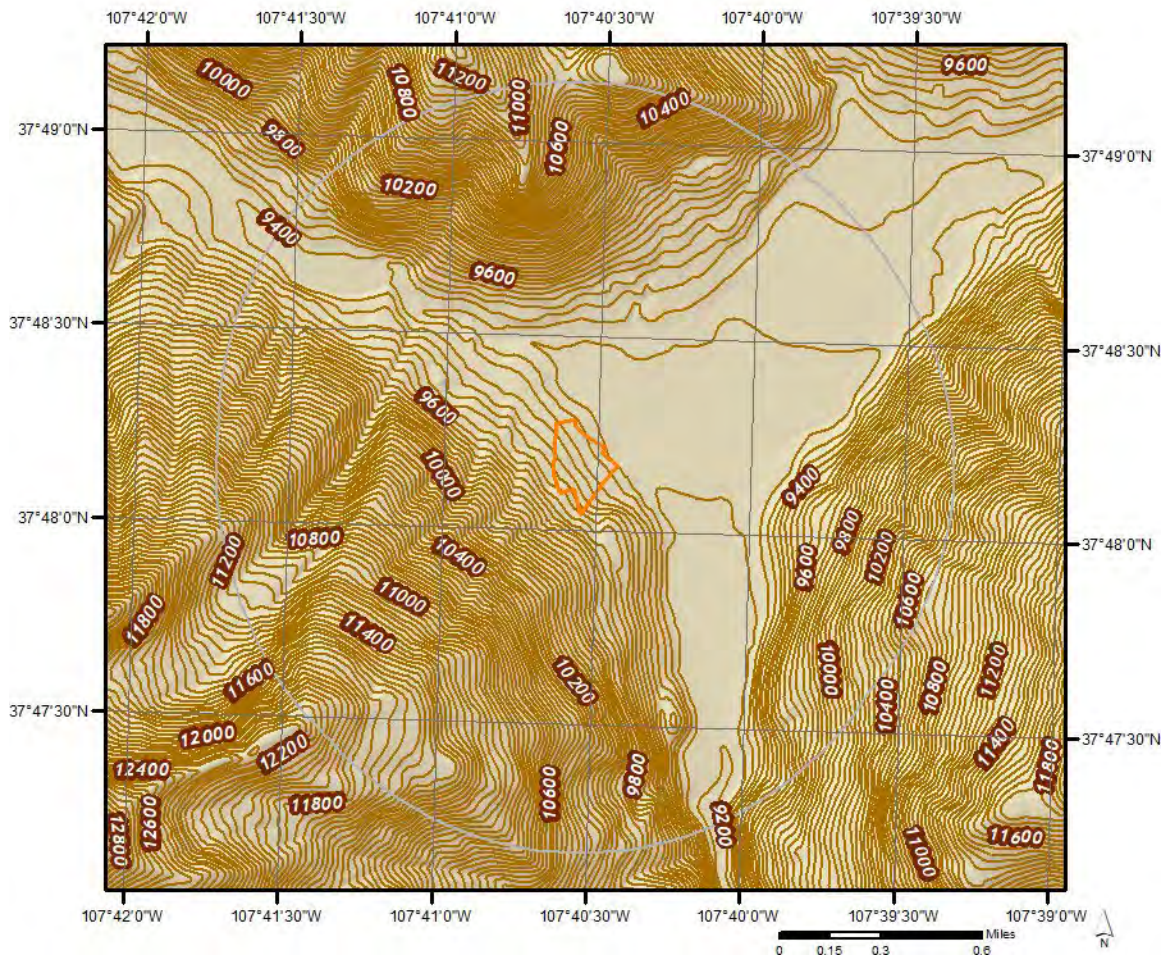


Topographic Information

The previous topographic map(s) are created by seamlessly merging and cutting current USGS topographic data. Below are shaded relief map(s), derived from USGS elevation data to show surrounding topography in further detail.

Topographic information at project property:

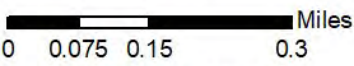
Elevation: 9,373.65 ft
Slope Direction: ENE



Hydrologic Information



Wetland

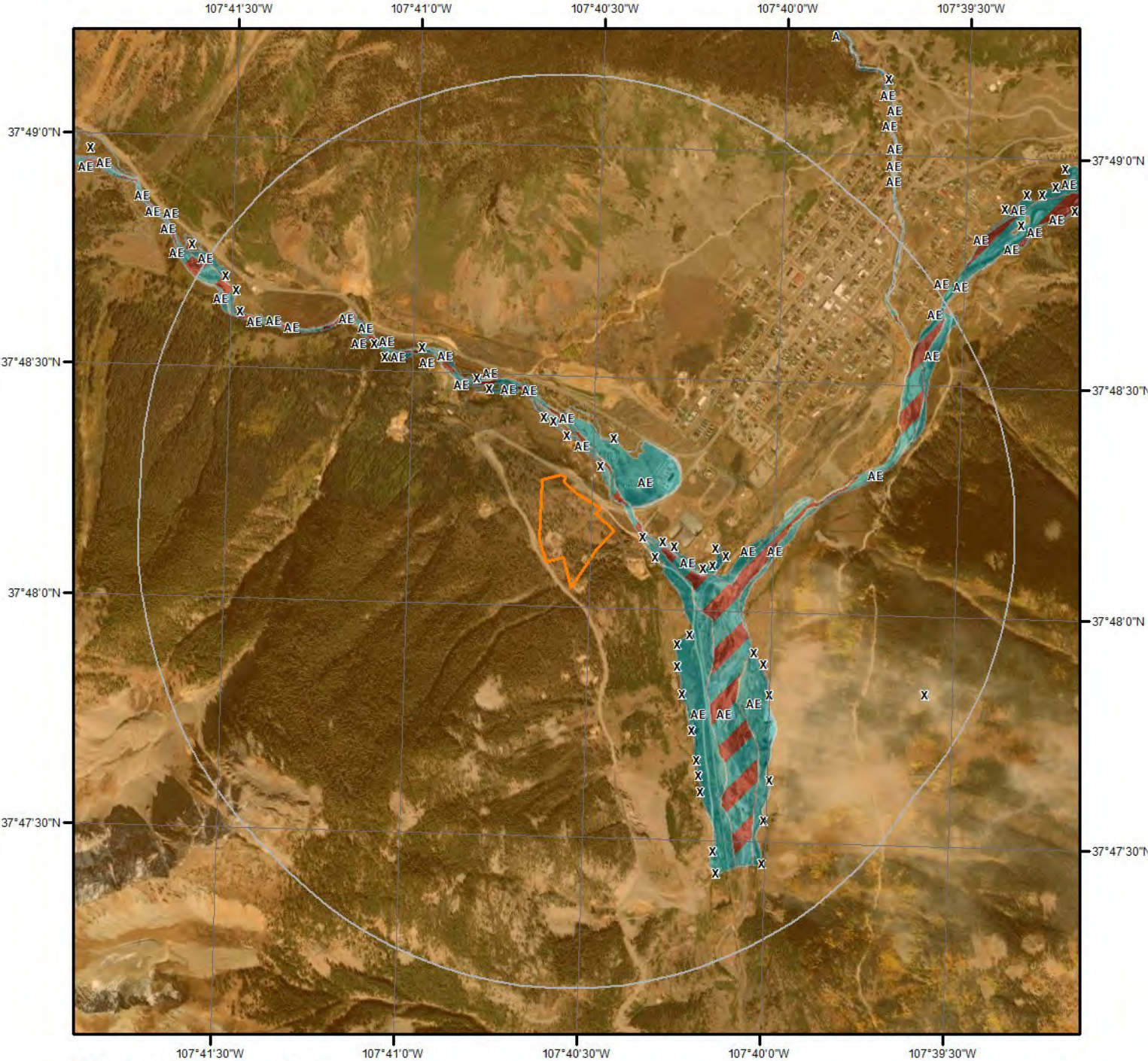


This map shows wetland existence using data from US Fish & Wildlife. Data coverage is shown to the right. Gray indicates no data available in the area.

- | | |
|-----------------------------------|-----------------|
| Estuarine and Marine Deepwater | Freshwater Pond |
| Estuarine and Marine Wetland | Lake |
| Freshwater Emergent Wetland | Other |
| Freshwater Forested/Shrub Wetland | Riverine |



Hydrologic Information



Flood Hazard Zones

This map shows FEMA flood hazard zones based on FEMA's National Flood Hazard Layer. FIRM Panels are overlaid. An absent FIRM panel represents no data available.

- 1% Annual Chance Flood Hazard
- Regulatory Floodway
- Special Floodway
- Area of Undetermined Flood Hazard

- 0.2% Annual Chance Flood Hazard
- Future Conditions 1% Annual Chance Flood Hazard
- Area with Reduced Risk Due to Levee
- Area with Risk Due to Levee
- Open Water

Quadrangle(s): Silverton,CO



Hydrologic Information

The Wetland Type map shows wetland existence overlaid on an aerial imagery. The Flood Hazard Zones map shows FEMA flood hazard zones overlaid on an aerial imagery. Relevant FIRM panels and detailed zone information is provided below. For detailed Zone descriptions please click the link: <https://floodadvocate.com/fema-zone-definitions>

Available FIRM Panels in area:

Flood Zone AE-01

Zone: AE
Zone subtype:

Flood Zone AE-11

Zone: AE
Zone subtype: FLOODWAY

Flood Zone X-01

Zone: X
Zone subtype: 0.2 PCT ANNUAL CHANCE FLOOD HAZARD

Flood Zone X-12

Zone: X
Zone subtype: AREA OF MINIMAL FLOOD HAZARD

FEMA Flood Zone Definitions

Special Flood Hazard Areas – High Risk

Special Flood Hazard Areas represent the area subject to inundation by 1-percent-annual chance flood. Structures located within the SFHA have a 26-percent chance of flooding during the life of a standard 30-year mortgage. Federal floodplain management regulations and mandatory flood insurance purchase requirements apply in these zones.

ZONE	DESCRIPTION
A	Areas subject to inundation by the 1-percent-annual-chance flood event. Because detailed hydraulic analyses have not been performed, no Base Flood Elevations (BFEs) or flood depths are shown.
AE, A1-A30	Areas subject to inundation by the 1-percent-annual-chance flood event determined by detailed methods. BFEs are shown within these zones. (Zone AE is used on new and revised maps in place of Zones A1–A30.)
AH	Areas subject to inundation by 1-percent-annual-chance shallow flooding (usually areas of ponding) where average depths are 1–3 feet. BFEs derived from detailed hydraulic analyses are shown in this zone.
AO	Areas subject to inundation by 1-percent-annual-chance shallow flooding (usually sheet flow on sloping terrain) where average depths are 1–3 feet. Average flood depths derived from detailed hydraulic analyses are shown within this zone.
AR	Areas that result from the decertification of a previously accredited flood protection system that is determined to be in the process of being restored to provide base flood protection.
A99	Areas subject to inundation by the 1-percent-annual-chance flood event, but which will ultimately be protected upon completion of an under-construction Federal flood protection system. These are areas of special flood hazard where enough progress has been made on the construction of a protection system, such as dikes, dams, and levees, to consider it complete for insurance rating purposes. Zone A99 may be used only when the flood protection system has reached specified statutory progress toward completion. No BFEs or flood depths are shown.

Coastal High Hazard Areas – High Risk

Coastal High Hazard Areas (CHHA) represent the area subject to inundation by 1-percent-annual chance flood, extending from offshore to the inland limit of a primary front al dune along an open coast and any other area subject to high velocity wave action from storms or seismic sources. Structures located within the CHHA have a 26-percent chance of flooding during the life of a standard 30-year mortgage. Federal floodplain management regulations and mandatory purchase requirements apply in these zones.

ZONE	DESCRIPTION
V	Areas along coasts subject to inundation by the 1-percent-annual-chance flood event with additional hazards associated with storm-induced waves. Because detailed coastal analyses have not been performed, no BFEs or flood depths are shown.
VE, V1-V30	Areas along coasts subject to inundation by the 1-percent-annual-chance flood event with additional hazards due to storm-induced velocity wave action. BFEs derived from detailed hydraulic coastal analyses are shown within these zones. (Zone VE is used on new and revised maps in place of Zones V1–V30.)

Hydrologic Information

Moderate and Minimal Risk Areas

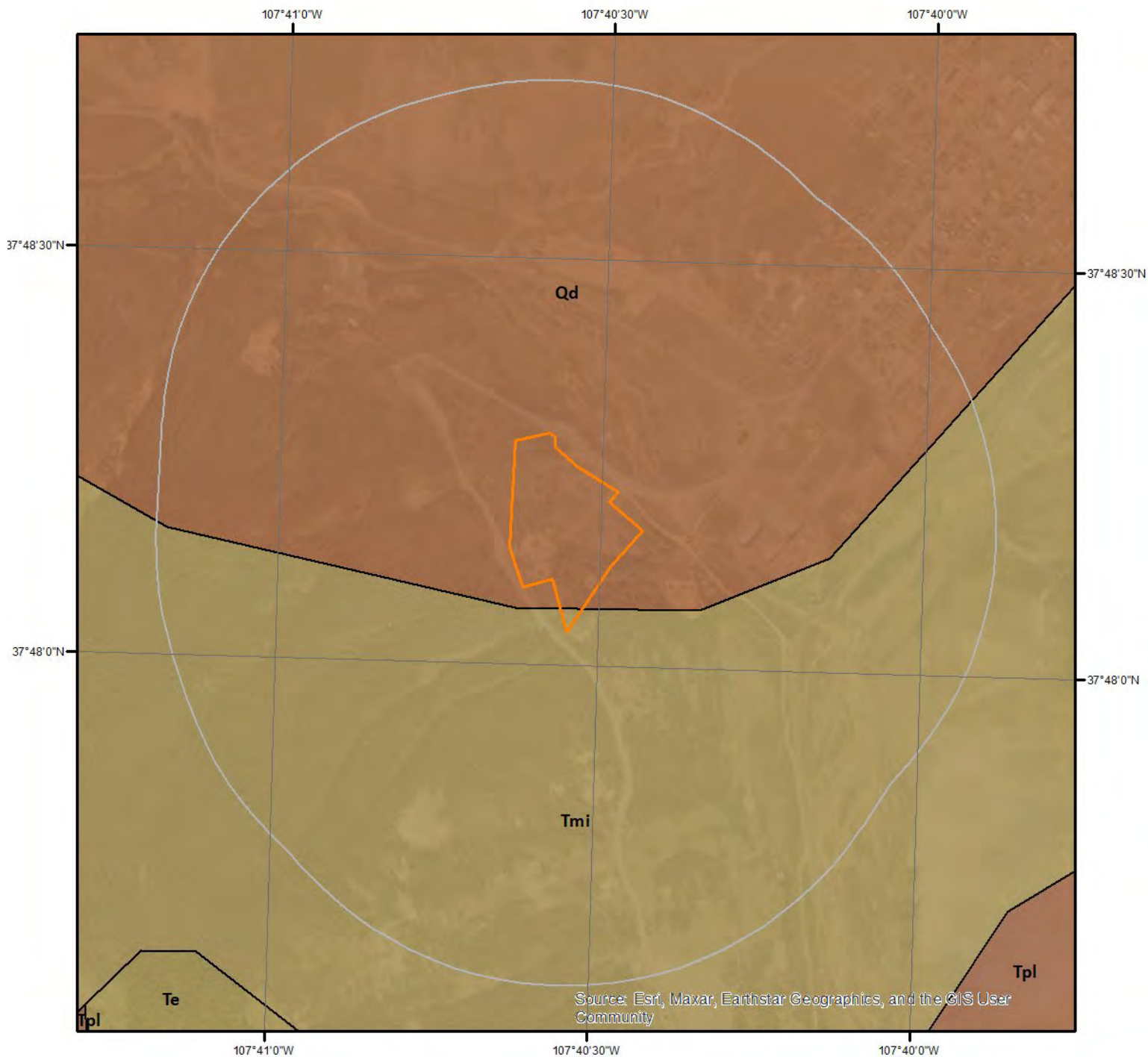
Areas of moderate or minimal hazard are studied based upon the principal source of flood in the area. However, buildings in these zones could be flooded by severe, concentrated rainfall coupled with inadequate local drainage systems. Local stormwater drainage systems are not normally considered in a community's flood insurance study. The failure of a local drainage system can create areas of high flood risk within these zones. Flood insurance is available in participating communities, but is not required by regulation in these zones. Nearly 25-percent of all flood claims filed are for structures located within these zones.

ZONE	DESCRIPTION
B, X (shaded)	Moderate risk areas within the 0.2-percent-annual-chance floodplain, areas of 1-percent-annual-chance flooding where average depths are less than 1 foot, areas of 1-percent-annual-chance flooding where the contributing drainage area is less than 1 square mile, and areas protected from the 1-percent-annual-chance flood by a levee. No BFEs or base flood depths are shown within these zones. (Zone X (shaded) is used on new and revised maps in place of Zone B.)
C, X (unshaded)	Minimal risk areas outside the 1-percent and .2-percent-annual-chance floodplains. No BFEs or base flood depths are shown within these zones. (Zone X (unshaded) is used on new and revised maps in place of Zone C.)

Undetermined Risk Areas

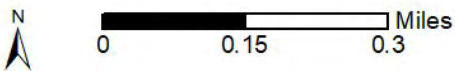
ZONE	DESCRIPTION
D	Unstudied areas where flood hazards are undetermined, but flooding is possible. No mandatory flood insurance purchase requirements apply, but coverage is available in participating communities.

Geologic Information



Geologic Units

This maps shows geologic units in the area. Please refer to the report for detailed descriptions.



Geologic Information

The previous page shows USGS geology information. Detailed information about each unit is provided below.

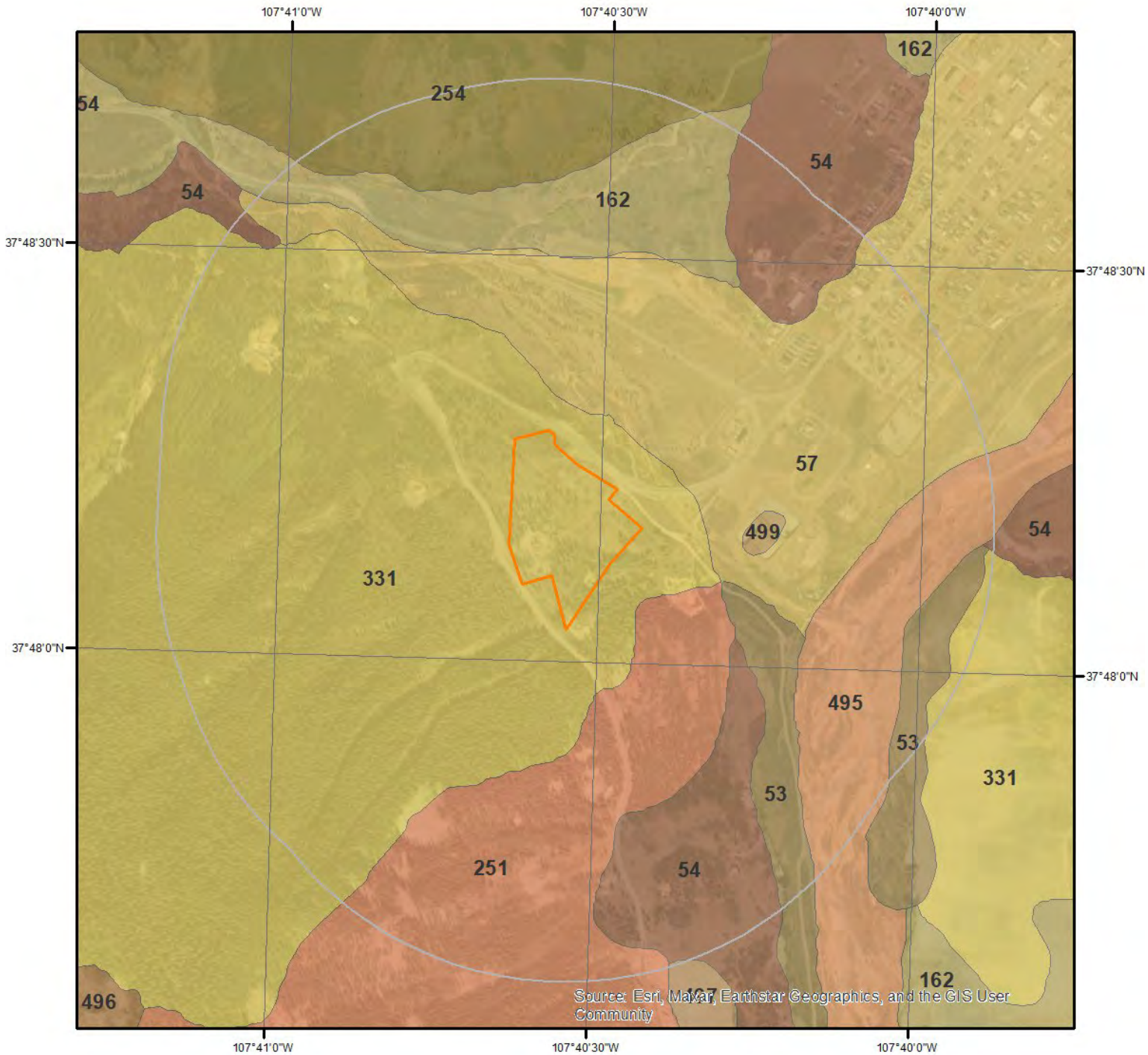
Geologic Unit Qd

Unit Name:	Glacial drift
Unit Age:	Quaternary
Primary Rock Type:	Unconsolidated
Secondary Rock Type:	
Unit Description:	Includes some unclassified glacial deposits

Geologic Unit Tmi

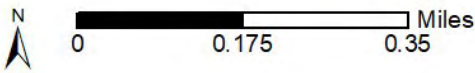
Unit Name:	Middle Tertiary intrusive rocks
Unit Age:	Tertiary
Primary Rock Type:	Mafic-hypabyssal
Secondary Rock Type:	Felsic-hypabyssal
Unit Description:	Intermediate to felsic compositions

Soil Information



SSURGO Soils

This maps shows SSURGO soil units around the target property. Please refer to the report for detailed soil descriptions.



Soil Information

The previous page shows a soil map using SSURGO data from USDA Natural Resources Conservation Service. Detailed information about each unit is provided below.

Map Unit 162 (0.74%)

Map Unit Name:	Quazar-Varden complex, 15 to 65 percent slopes
Bedrock Depth - Min:	null
Watertable Depth - Annual Min:	null
Drainage Class - Dominant:	Well drained
Hydrologic Group - Dominant:	B - Soils in this group have moderately low runoff potential when thoroughly wet. Water transmission through the soil is unimpeded.

Major components are printed below

Quazar(45%)

horizon A(0cm to 30cm)	Very cobbly loam
horizon Bt(30cm to 66cm)	Extremely gravelly clay loam
horizon C(66cm to 152cm)	Extremely gravelly clay loam

Varden(40%)

horizon A(0cm to 38cm)	Very cobbly loam
horizon 2C1(38cm to 76cm)	Extremely cobbly loam
horizon 2C2(76cm to 152cm)	Extremely cobbly loam

Component Description:

Minor map unit components are excluded from this report.

Map Unit: 162 - Quazar-Varden complex, 15 to 65 percent slopes

Component: Quazar (45%)

The Quazar component makes up 45 percent of the map unit. Slopes are 15 to 65 percent. This component is on alluvial fans, mountain slopes. The parent material consists of alluvium and slope alluvium derived from volcanic and sandstone rocks. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is low. Shrink-swell potential is low. This soil is not flooded. It is not ponded. There is no zone of water saturation within a depth of 72 inches. Organic matter content in the surface horizon is about 3 percent. This component is in the R048AY250CO Subalpine Loam ecological site. Nonirrigated land capability classification is 7e. This soil does not meet hydric criteria.

Component: Varden (40%)

The Varden component makes up 40 percent of the map unit. Slopes are 15 to 65 percent. This component is on alluvial fans, mountain slopes. The parent material consists of colluvium, alluvium, and slope alluvium derived from rhyolite, tuff and sandstone. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is very low. Shrink-swell potential is low. This soil is not flooded. It is not ponded. There is no zone of water saturation within a depth of 72 inches. Organic matter content in the surface horizon is about 4 percent. This component is in the R048AY250CO Subalpine Loam ecological site. Nonirrigated land capability classification is 7s. This soil does not meet hydric criteria.

Component: Needleton (10%)

Generated brief soil descriptions are created for major soil components. The Needleton soil is a minor component.

Component: Snowdon (5%)

Generated brief soil descriptions are created for major soil components. The Snowdon soil is a minor component.

Map Unit 251 (81.18%)

Map Unit Name:	Rock outcrop-Snowdon complex, 45 to 75 percent slopes
Bedrock Depth - Min:	0cm
Watertable Depth - Annual Min:	null

Soil Information

Drainage Class - Dominant:	null
Hydrologic Group - Dominant:	null
Major components are printed below	
Rock outcrop(60%)	
horizon R(0cm to 152cm)	Unweathered bedrock
Snowdon(25%)	
horizon Oi(0cm to 5cm)	Slightly decomposed plant material
horizon A(5cm to 15cm)	Very stony loam
horizon E(15cm to 33cm)	Very stony sandy loam
horizon Bt(33cm to 51cm)	Extremely stony sandy clay loam
horizon R(51cm to 61cm)	Unweathered bedrock

Component Description:

Minor map unit components are excluded from this report.

Map Unit: 251 - Rock outcrop-Snowdon complex, 45 to 75 percent slopes

Component: Rock outcrop (60%)

Generated brief soil descriptions are created for major soil components. The Rock outcrop is a miscellaneous area.

Component: Snowdon (25%)

The Snowdon component makes up 25 percent of the map unit. Slopes are 45 to 75 percent. This component is on mountain slopes. The parent material consists of colluvium and residuum derived from rhyolite, sandstone and limestone. Depth to a root restrictive layer, bedrock, lithic, is 10 to 20 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is very low. Available water to a depth of 60 inches (or restricted depth) is very low. Shrink-swell potential is low. This soil is not flooded. It is not ponded. There is no zone of water saturation within a depth of 72 inches. Organic matter content in the surface horizon is about 85 percent. Below this thin organic horizon the organic matter content is about 2 percent. Nonirrigated land capability classification is 7s. This soil does not meet hydric criteria. There are no saline horizons within 30 inches of the soil surface.

Component: Needleton (5%)

Generated brief soil descriptions are created for major soil components. The Needleton soil is a minor component.

Component: Quazar (5%)

Generated brief soil descriptions are created for major soil components. The Quazar soil is a minor component.

Component: Whitecross (3%)

Generated brief soil descriptions are created for major soil components. The Whitecross soil is a minor component.

Component: Rubble land (2%)

Generated brief soil descriptions are created for major soil components. The Rubble land soil is a minor component.

Map Unit 254 (1.36%)

Map Unit Name:	Cryorthents-Rubble land complex, 30 to 75 percent slopes
Bedrock Depth - Min:	203cm
Watertable Depth - Annual Min:	null
Drainage Class - Dominant:	Well drained
Hydrologic Group - Dominant:	A - Soils in this group have low runoff potential when thoroughly wet. Water is transmitted freely through the soil.
Major components are printed below	
Typic Cryorthents(50%)	
horizon A(0cm to 13cm)	Extremely stony loam
horizon C(13cm to 152cm)	Extremely stony loam
Rubble land(30%)	
horizon C(0cm to 152cm)	Fragmental material

Component Description:

Soil Information

Minor map unit components are excluded from this report.

Map Unit: 254 - Cryorthents-Rubble land complex, 30 to 75 percent slopes

Component: Typic Cryorthents (50%)

The Typic Cryorthents component makes up 50 percent of the map unit. Slopes are 30 to 75 percent. This component is on mountain slopes, alluvial fans. The parent material consists of colluvium and slope alluvium derived from rhyolite. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is very low. Shrink-swell potential is low. This soil is not flooded. It is not ponded. There is no zone of water saturation within a depth of 72 inches. Organic matter content in the surface horizon is about 1 percent. Nonirrigated land capability classification is 7s. This soil does not meet hydric criteria.

Component: Rubble land (30%)

Generated brief soil descriptions are created for major soil components. The Rubble land is a miscellaneous area.

Component: Quazar (10%)

Generated brief soil descriptions are created for major soil components. The Quazar soil is a minor component.

Component: Needleton (5%)

Generated brief soil descriptions are created for major soil components. The Needleton soil is a minor component.

Component: Henson (3%)

Generated brief soil descriptions are created for major soil components. The Henson soil is a minor component.

Component: Rock outcrop (2%)

Generated brief soil descriptions are created for major soil components. The Rock outcrop soil is a minor component.

Map Unit 331 (12.22%)

Map Unit Name:	Needleton stony loam, 30 to 65 percent slopes
Bedrock Depth - Min:	null
Watertable Depth - Annual Min:	null
Drainage Class - Dominant:	Well drained
Hydrologic Group - Dominant:	B - Soils in this group have moderately low runoff potential when thoroughly wet. Water transmission through the soil is unimpeded.

Major components are printed below

Needleton(80%)

horizon Oi(0cm to 5cm)	Slightly decomposed plant material
horizon E(5cm to 41cm)	Stony loam
horizon B/E(41cm to 66cm)	Very cobbly sandy clay loam
horizon Bt1(66cm to 122cm)	Very stony sandy clay loam
horizon Bt2(122cm to 157cm)	Very cobbly clay loam

Component Description:

Minor map unit components are excluded from this report.

Map Unit: 331 - Needleton stony loam, 30 to 65 percent slopes

Component: Needleton (80%)

The Needleton, stony component makes up 80 percent of the map unit. Slopes are 30 to 65 percent. This component is on mountain slopes. The parent material consists of colluvium derived from rhyolite and/or colluvium derived from sandstone. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is moderate. Shrink-swell potential is low. This soil is not flooded. It is not ponded. There is no zone of water saturation within a depth of 72 inches. Organic matter content in the surface horizon is about 75 percent. Below this thin organic horizon the organic matter content is about 1 percent. Nonirrigated land capability classification is 7e. This soil does not meet hydric criteria. There are no saline horizons within 30 inches of the soil surface.

Component: Snowdon (10%)

Generated brief soil descriptions are created for major soil components. The Snowdon soil is a minor component.

Soil Information

Component: Rock outcrop (5%)

Generated brief soil descriptions are created for major soil components. The Rock outcrop soil is a minor component.

Component: Quazar (5%)

Generated brief soil descriptions are created for major soil components. The Quazar soil is a minor component.

Map Unit 495 (1.07%)

Map Unit Name:	Riverwash
Bedrock Depth - Min:	null
Watertable Depth - Annual Min:	31cm
Drainage Class - Dominant:	null
Hydrologic Group - Dominant:	D - Soils in this group have high runoff potential when thoroughly wet. Water movement through the soil is restricted or very restricted.

Major components are printed below

Riverwash(85%)	
horizon C1(0cm to 15cm)	Gravelly sand
horizon C2(15cm to 152cm)	Stratified extremely gravelly coarse sand to gravelly sand

Component Description:

Minor map unit components are excluded from this report.

Map Unit: 495 - Riverwash

Component: Riverwash (85%)

Generated brief soil descriptions are created for major soil components. The Riverwash is a miscellaneous area.

Component: Fluvaquents (10%)

Generated brief soil descriptions are created for major soil components. The Fluvaquents soil is a minor component.

Component: Cryaquolls (5%)

Generated brief soil descriptions are created for major soil components. The Cryaquolls soil is a minor component.

Map Unit 497 (0.07%)

Map Unit Name:	Rubble land
Bedrock Depth - Min:	203cm
Watertable Depth - Annual Min:	null
Drainage Class - Dominant:	Excessively drained
Hydrologic Group - Dominant:	A - Soils in this group have low runoff potential when thoroughly wet. Water is transmitted freely through the soil.

Major components are printed below

Rubble land(80%)	
horizon C(0cm to 152cm)	Fragmental material

Component Description:

Minor map unit components are excluded from this report.

Map Unit: 497 - Rubble land

Component: Rubble land (80%)

Generated brief soil descriptions are created for major soil components. The Rubble land is a miscellaneous area.

Component: Rock outcrop (10%)

Generated brief soil descriptions are created for major soil components. The Rock outcrop soil is a minor component.

Soil Information

Component: Varden (5%)

Generated brief soil descriptions are created for major soil components. The Varden soil is a minor component.

Component: Hensen (5%)

Generated brief soil descriptions are created for major soil components. The Hensen soil is a minor component.

Map Unit 499 (0.01%)

Map Unit Name: Water

No more attributes available for this map unit

Component Description:

Minor map unit components are excluded from this report.

Map Unit: 499 - Water

Component: Water (100%)

Generated brief soil descriptions are created for major soil components. The Water is a miscellaneous area.

Map Unit 53 (0.3%)

Map Unit Name: Cryaquolls-Typic Cryaquents complex, 1 to 5 percent slopes

Bedrock Depth - Min: null

Watertable Depth - Annual Min: 32cm

Drainage Class - Dominant: Poorly drained

Hydrologic Group - Dominant: B/D - These soils have moderately low runoff potential when drained and high runoff potential when undrained.

Major components are printed below

Cryaquolls(50%)

horizon A1(0cm to 18cm)

Loam

horizon A2(18cm to 30cm)

Loam

horizon C(30cm to 152cm)

Stratified extremely gravelly loam to extremely gravelly sandy loam

Typic Cryaquents(35%)

horizon Oi(0cm to 8cm)

Slightly decomposed plant material

horizon A(8cm to 28cm)

Loam

horizon C(28cm to 160cm)

Stratified very gravelly loamy sand to very gravelly sandy loam

Component Description:

Minor map unit components are excluded from this report.

Map Unit: 53 - Cryaquolls-Typic Cryaquents complex, 1 to 5 percent slopes

Component: Cryaquolls (50%)

The Cryaquolls component makes up 50 percent of the map unit. Slopes are 1 to 5 percent. This component is on valley floors, flood plains. The parent material consists of alluvium derived from mixed sources. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is poorly drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is moderate. Shrink-swell potential is low. This soil is occasionally flooded. It is not ponded. A seasonal zone of water saturation is at 13 inches during May, June. Organic matter content in the surface horizon is about 4 percent. This component is in the R048AY241CO Mountain Meadow ecological site. Nonirrigated land capability classification is 6w. This soil meets hydric criteria.

Component: Typic Cryaquents (35%)

The Typic Cryaquents component makes up 35 percent of the map unit. Slopes are 1 to 5 percent. This component is on valley floors, flood plains. The parent material consists of alluvium derived from mixed sources. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is poorly drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is low. Shrink-swell potential is low. This soil is occasionally flooded. It is not ponded. A seasonal zone of water saturation is at 13 inches (depth from the mineral surface is 9 inches) during May, June. Organic matter

Soil Information

content in the surface horizon is about 85 percent. Below this thin organic horizon the organic matter content is about 1 percent. This component is in the R048AY241CO Mountain Meadow ecological site. Nonirrigated land capability classification is 6w. This soil meets hydric criteria. There are no saline horizons within 30 inches of the soil surface.

Component: Quazar (10%)

Generated brief soil descriptions are created for major soil components. The Quazar soil is a minor component.

Component: Howardsville (4%)

Generated brief soil descriptions are created for major soil components. The Howardsville soil is a minor component.

Component: Riverwash (1%)

Generated brief soil descriptions are created for major soil components. The Riverwash soil is a minor component.

Map Unit 54 (1.15%)

Map Unit Name:	Quazar very cobbly loam, 5 to 25 percent slopes
Bedrock Depth - Min:	null
Watertable Depth - Annual Min:	null
Drainage Class - Dominant:	Well drained
Hydrologic Group - Dominant:	B - Soils in this group have moderately low runoff potential when thoroughly wet. Water transmission through the soil is unimpeded.
Major components are printed below	
Quazar(90%)	
horizon A1(0cm to 8cm)	Very cobbly loam
horizon A2(8cm to 30cm)	Very cobbly loam
horizon Bt(30cm to 66cm)	Extremely gravelly clay loam
horizon C(66cm to 152cm)	Extremely gravelly clay loam

Component Description:

Minor map unit components are excluded from this report.

Map Unit: 54 - Quazar very cobbly loam, 5 to 25 percent slopes

Component: Quazar (90%)

The Quazar component makes up 90 percent of the map unit. Slopes are 5 to 25 percent. This component is on alluvial fans. The parent material consists of alluvium derived from volcanic rock. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is low. Shrink-swell potential is low. This soil is not flooded. It is not ponded. There is no zone of water saturation within a depth of 72 inches. Organic matter content in the surface horizon is about 3 percent. This component is in the R048AY250CO Subalpine Loam ecological site. Nonirrigated land capability classification is 7s. This soil does not meet hydric criteria.

Component: Needleton (5%)

Generated brief soil descriptions are created for major soil components. The Needleton soil is a minor component.

Component: Clayburn (3%)

Generated brief soil descriptions are created for major soil components. The Clayburn soil is a minor component.

Component: Hourglass (2%)

Generated brief soil descriptions are created for major soil components. The Hourglass soil is a minor component.

Map Unit 57 (1.9%)

Map Unit Name:	Howardsville gravelly loam, 1 to 6 percent slopes
Bedrock Depth - Min:	null
Watertable Depth - Annual Min:	null
Drainage Class - Dominant:	Well drained

Soil Information

Hydrologic Group - Dominant:

B - Soils in this group have moderately low runoff potential when thoroughly wet. Water transmission through the soil is unimpeded.

Major components are printed below

Howardsville(80%)

horizon A(0cm to 5cm)

horizon Bw(5cm to 25cm)

horizon C(25cm to 152cm)

Gravelly loam

Very gravelly sandy loam

Extremely cobbly loamy sand

Component Description:

Minor map unit components are excluded from this report.

Map Unit: 57 - Howardsville gravelly loam, 1 to 6 percent slopes

Component: Howardsville (80%)

The Howardsville component makes up 80 percent of the map unit. Slopes are 1 to 6 percent. This component is on fan remnants, stream terraces. The parent material consists of alluvium derived from volcanic rock. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is very low. Shrink-swell potential is low. This soil is not flooded. It is not ponded. There is no zone of water saturation within a depth of 72 inches. Organic matter content in the surface horizon is about 1 percent. This component is in the R048AY251CO Shallow Subalpine ecological site. Nonirrigated land capability classification is 6s. This soil does not meet hydric criteria.

Component: Quazar (10%)

Generated brief soil descriptions are created for major soil components. The Quazar soil is a minor component.

Component: Cryaquolls (5%)

Generated brief soil descriptions are created for major soil components. The Cryaquolls soil is a minor component.

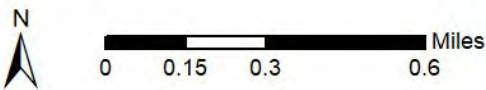
Component: Needleton (5%)

Generated brief soil descriptions are created for major soil components. The Needleton soil is a minor component.

Wells and Additional Sources



Wells & Additional Sources



- | | |
|--------------------------------|------------------------------------|
| ▲ Sites with Higher Elevation | ▲ OGW Sites with Higher Elevation |
| ■ Sites with Same Elevation | ■ OGW Sites with Same Elevation |
| ▼ Sites with Lower Elevation | ▼ OGW Sites with Lower Elevation |
| ○ Sites with Unknown Elevation | ● OGW Sites with Unknown Elevation |



Wells and Additional Sources Summary

Federal Sources

Public Water Systems Violations and Enforcement Data

Map Key	ID	Distance (ft)	Direction
	No records found		

Safe Drinking Water Information System (SDWIS)

Map Key	ID	Distance (ft)	Direction
	No records found		

USGS National Water Information System

Map Key	Site No	Distance (ft)	Direction
2	USGS-09359010	288.49	E
5	USGS-374839107395300	3733.92	NE
7	USGS-374843107395802	3778.51	NE
7	USGS-374843107395801	3778.51	NE
12	USGS-374900107400008	5060.52	NNE
13	USGS-09358000	5191.09	ENE
14	USGS-09359020	4989.42	SSE

State Sources

Oil and Gas Pit Locations

Map Key	ID	Distance (ft)	Direction
	No records found		

Oil and Gas Wells

Map Key	ID	Distance (ft)	Direction
	No records found		

Public Water Wells

Map Key	ID	Distance (ft)	Direction
	No records found		

Water Wells Permit Database

Map Key	ID Key	Distance (ft)	Direction
1	0543302 376565	106.37	WSW
3	0429981 171156	2322.27	NNE
4	0217806 40990	2516.80	ENE
6	3646428 141007	3771.12	NE

Wells and Additional Sources Summary

8	3646427 141007	3848.49	NE
9	0389108 377190	4527.63	NW
9	0389108 377189	4527.63	NW
10	3668694 208519	4550.94	NW
11	0062682 455398	4796.78	ENE
15	0031286 308703	5183.67	ESE

Wells and Additional Sources Detail Report

USGS National Water Information System

Map Key	Direction	Distance (mi)	Distance (ft)	Elevation (ft)	DB
2	E	0.05	288.49	9,244.59	FED USGS

Site No: USGS-09359010
Site Type: Stream
Formation Type:
Date Drilled:
Well Depth:
Well Depth Unit:
Well Hole Depth:
Well Hole Depth Unit:
Reporting Agency: USGS Colorado Water Science Center
Station Name: MINERAL CREEK AT SILVERTON, CO
Latitude: 37.80277440000000
Longitude: -107.6728392000000

Map Key	Direction	Distance (mi)	Distance (ft)	Elevation (ft)	DB
5	NE	0.71	3,733.92	9,298.50	FED USGS

Site No: USGS-374839107395300
Site Type: Atmosphere
Formation Type:
Date Drilled:
Well Depth:
Well Depth Unit:
Well Hole Depth:
Well Hole Depth Unit:
Reporting Agency: USGS Colorado Water Science Center
Station Name: AIR MOISTURE AT SILVERTON
Latitude: 37.81082990000000
Longitude: -107.6653390000000

Map Key	Direction	Distance (mi)	Distance (ft)	Elevation (ft)	DB
7	NE	0.72	3,778.51	9,318.75	FED USGS

Site No: USGS-374843107395802
Site Type: Facility: Laboratory or sample-preparation area
Formation Type:
Date Drilled:
Well Depth:
Well Depth Unit:
Well Hole Depth:

Wells and Additional Sources Detail Report

Well Hole Depth Unit:

Reporting Agency: USGS Colorado Water Science Center

Station Name: TRIP BLANK

Latitude: 37.81194100000000

Longitude: -107.6667279000000

Map Key	Direction	Distance (mi)	Distance (ft)	Elevation (ft)	DB
7	NE	0.72	3,778.51	9,318.75	FED USGS

Site No: USGS-374843107395801

Site Type: Facility: Laboratory or sample-preparation area

Formation Type:

Date Drilled:

Well Depth:

Well Depth Unit:

Well Hole Depth:

Well Hole Depth Unit:

Reporting Agency: USGS Colorado Water Science Center

Station Name: EQUIPMENT BLANK

Latitude: 37.81194100000000

Longitude: -107.6667279000000

Map Key	Direction	Distance (mi)	Distance (ft)	Elevation (ft)	DB
12	NNE	0.96	5,060.52	9,655.33	FED USGS

Site No: USGS-374900107400008

Site Type: Atmosphere

Formation Type:

Date Drilled:

Well Depth:

Well Depth Unit:

Well Hole Depth:

Well Hole Depth Unit:

Reporting Agency: USGS Colorado Water Science Center

Station Name: SILVERTON, WEATHER STATION (USWS)

Latitude: 37.8166632

Longitude: -107.6672835

Map Key	Direction	Distance (mi)	Distance (ft)	Elevation (ft)	DB
13	ENE	0.98	5,191.09	9,307.84	FED USGS

Site No: USGS-09358000

Site Type: Stream

Formation Type:

Date Drilled:

Wells and Additional Sources Detail Report

Well Depth:
Well Depth Unit:
Well Hole Depth:
Well Hole Depth Unit:
Reporting Agency: USGS Colorado Water Science Center
Station Name: ANIMAS RIVER AT SILVERTON, CO.
Latitude: 37.81110770000000
Longitude: -107.6592278000000

Map Key	Direction	Distance (mi)	Distance (ft)	Elevation (ft)	DB
14	SSE	0.94	4,989.42	9,196.31	FED USGS

Site No: USGS-09359020
Site Type: Stream
Formation Type:
Date Drilled:
Well Depth:
Well Depth Unit:
Well Hole Depth:
Well Hole Depth Unit:
Reporting Agency: USGS Colorado Water Science Center
Station Name: ANIMAS RIVER BELOW SILVERTON, CO
Latitude: 37.78833330000000
Longitude: -107.6682222000000

Water Wells Permit Database

Map Key	Direction	Distance (mi)	Distance (ft)	Elevation (ft)	DB
1	WSW	0.02	106.37	9,507.65	WATER WELLS

Receipt:	0543302	Parcel Name:	HECTOR LODE 14327A
WD ID:		Prcl Sze (Acres):	
Associated Case No:		Lot:	
County Parcel ID:		Block:	
Permit:	265452-	City:	
Permit Issued:	09/09/2005	County:	SAN JUAN
Permit Expires:	09/09/2007	State:	
Permit Category:	Residential	Postal Code:	
Current Status:	Well Constructed	Township:	41.0 N
Special Use:		Range:	7.0 W
Associated Uses:	Domestic	Section:	19
Permitted Area:		Q160:	NE
Permitted Area Units:		Q40:	NW
Annul Approp. (AF):		Q10:	
Well Depth (Feet):	228	Coords E/W (Feet):	2280
Top Prf. Csng (ft):	200	Coords E/W Dir:	E
Bot Prf. Csng (ft):	100	Coords N/S (Feet):	560

Wells and Additional Sources Detail Report

Designated Basin:		Coords N/S Dir:	N
Well Constructed:	07/15/2007	UTM x:	264267.6
Frst Bneficial Use:		UTM y:	4187241.4
Pump Installed:	09/23/2008	Location:	(37.802156, -107.677544)
Well Plugged:		Location Type:	Well (Application/Permit)
Yield (GPM):	10.00	Location Accuracy:	Spotted from section lines
Statc Wtr Lvl (ft):	105.00	Elevation:	
Denver Basn Aqufr:	No	Latitude:	37.802156
Statc Watr Lvl Dt:	2007/07/15	Longitude:	-107.677544
Modified:	10/24/2017 10:39:00 AM	Mangemnt District:	
Associated Aqufrs:	ALL UNNAMED AQUIFERS	Division:	7
Water District:	30	Principle Meridian:	N
Contact Name:	RATTNER, RYAN	ID Key:	0543302 376565
Counties:			
Well Name:			
Comment:			
Address:			
More Information:	https://dwr.state.co.us/Tools/WellPermits/0543302		

Map Key	Direction	Distance (mi)	Distance (ft)	Elevation (ft)	DB
3	NNE	0.44	2,322.27	9,393.83	WATER WELLS

Receipt:	0429981	Parcel Name:	
WD ID:		Prcl Sze (Acres):	
Associated Case No:		Lot:	
County Parcel ID:		Block:	
Permit:	209143-	City:	
Permit Issued:	05/05/1998	County:	SAN JUAN
Permit Expires:	05/05/2000	State:	
Permit Category:	Residential	Postal Code:	
Current Status:	Well Constructed	Township:	41.0 N
Special Use:		Range:	7.0 W
Associated Uses:	Household use only	Section:	18
Permitted Area:		Q160:	SE
Permtted Area Unts:		Q40:	NE
Annul Approp. (AF):		Q10:	
Well Depth (Feet):	325	Coords E/W (Feet):	950
Top Prf. Csng (ft):	100	Coords E/W Dir:	E
Bot Prf. Csng (ft):	325	Coords N/S (Feet):	2500
Designated Basin:		Coords N/S Dir:	S
Well Constructed:	09/14/1998	UTM x:	264697.5
Frst Bneficial Use:		UTM y:	4188161.5
Pump Installed:		Location:	(37.810558, -107.672975)
Well Plugged:		Location Type:	Well (Application/Permit)
Yield (GPM):		Location Accuracy:	Spotted from section lines
Statc Wtr Lvl (ft):	160.00	Elevation:	9300

Wells and Additional Sources Detail Report

Denver Basn Aqufr:	No	Latitude:	37.810558
Statc Watr Lvl Dt:	1998/09/14	Longitude:	-107.672975
Modified:	10/09/1998 12:00:00 AM	Mangemnt District:	
Associated Aqufrs:	ALL UNNAMED AQUIFERS	Division:	7
Water District:	30	Principle Meridian:	N
Contact Name:	GLEASON JOHN ANDREW	ID Key:	0429981 171156
Counties:			
Well Name:			
Comment:			
Address:			
More Information:	https://dwr.state.co.us/Tools/WellPermits/0429981		

Map Key	Direction	Distance (mi)	Distance (ft)	Elevation (ft)	DB
4	ENE	0.48	2,516.80	9,272.23	WATER WELLS

Receipt:	0217806	Parcel Name:	SILVERTON TOWN OF
WD ID:		Prcl Size (Acres):	
Associated Case No:		Lot:	
County Parcel ID:		Block:	
Permit:	25911-F	City:	
Permit Issued:	09/24/1982	County:	SAN JUAN
Permit Expires:		State:	
Permit Category:	General Purpose	Postal Code:	
Current Status:	Permit Expired	Township:	41.0 N
Special Use:		Range:	7.0 W
Associated Uses:	Fishery	Section:	17
Permitted Area:		Q160:	SW
Permtted Area Unts:		Q40:	NW
Annul Approp. (AF):		Q10:	
Well Depth (Feet):		Coords E/W (Feet):	700
Top Prf. Csng (ft):		Coords E/W Dir:	W
Bot Prf. Csng (ft):		Coords N/S (Feet):	1370
Designated Basin:		Coords N/S Dir:	S
Well Constructed:		UTM x:	265191.1
Frst Bneficial Use:		UTM y:	4187800.9
Pump Installed:		Location:	(37.807435, -107.667252)
Well Plugged:		Location Type:	Well (Application/Permit)
Yield (GPM):		Location Accuracy:	Spotted from section lines
Statc Wtr Lvl (ft):		Elevation:	
Denver Basn Aqufr:	No	Latitude:	37.807435
Statc Watr Lvl Dt:		Longitude:	-107.667252
Modified:	12/15/2006 12:00:00 AM	Mangemnt District:	
Associated Aqufrs:	ALL UNNAMED AQUIFERS	Division:	7
Water District:	30	Principle Meridian:	N
Contact Name:	WATERS ALAN	ID Key:	0217806 40990
Counties:			

Wells and Additional Sources Detail Report

Well Name:

Comment:

Address:

More Information: <https://dwr.state.co.us/Tools/WellPermits/0217806>

Map Key	Direction	Distance (mi)	Distance (ft)	Elevation (ft)	DB
6	NE	0.71	3,771.12	9,315.04	WATER WELLS

Receipt:	3646428	Parcel Name:	
WD ID:		Prcl Sze (Acres):	
Associated Case No:		Lot:	
County Parcel ID:		Block:	
Permit:	532-G	City:	
Permit Issued:	09/07/2010	County:	SAN JUAN
Permit Expires:	09/07/2011	State:	
Permit Category:	General Purpose	Postal Code:	
Current Status:	Permit Issued	Township:	41.0 N
Special Use:		Range:	7.0 W
Associated Uses:	Geothermal	Section:	17
Permitted Area:		Q160:	NW
Permitted Area Unts:		Q40:	SW
Annul Approp. (AF):		Q10:	
Well Depth (Feet):		Coords E/W (Feet):	
Top Prf. Csng (ft):		Coords E/W Dir:	
Bot Prf. Csng (ft):		Coords N/S (Feet):	
Designated Basin:		Coords N/S Dir:	
Well Constructed:		UTM x:	265276.0
Frst Bneficial Use:		UTM y:	4188277.0
Pump Installed:		Location:	(37.811743, -107.666442)
Well Plugged:		Location Type:	Well (Application/Permit)
Yield (GPM):		Location Accuracy:	User supplied
Statc Wtr Lvl (ft):		Elevation:	
Denver Basn Aqufr:	No	Latitude:	37.811743
Statc Watr Lvl Dt:		Longitude:	-107.666442
Modified:	09/07/2010 12:00:00 AM	Mangemnt District:	
Associated Aqufrs:	ALL UNNAMED AQUIFERS	Division:	7
Water District:	30	Principle Meridian:	N
Contact Name:	SAN JUAN SCHOOL DISTRICT #1	ID Key:	3646428 141007
Counties:			
Well Name:			
Comment:			
Address:			
More Information:	https://dwr.state.co.us/Tools/WellPermits/3646428		

Map Key	Direction	Distance (mi)	Distance (ft)	Elevation (ft)	DB
8	NE	0.73	3,848.49	9,315.95	WATER WELLS

Wells and Additional Sources Detail Report

Receipt:	3646427	Parcel Name:	
WD ID:		Prcl Sze (Acres):	
Associated Case No:		Lot:	
County Parcel ID:		Block:	
Permit:	531-G	City:	
Permit Issued:	09/07/2010	County:	SAN JUAN
Permit Expires:	09/07/2011	State:	
Permit Category:	General Purpose	Postal Code:	
Current Status:	Permit Issued	Township:	41.0 N
Special Use:		Range:	7.0 W
Associated Uses:	Geothermal	Section:	17
Permitted Area:		Q160:	NW
Permttd Area Unts:		Q40:	SW
Annul Approp. (AF):		Q10:	
Well Depth (Feet):		Coords E/W (Feet):	
Top Prf. Csng (ft):		Coords E/W Dir:	
Bot Prf. Csng (ft):		Coords N/S (Feet):	
Designated Basin:		Coords N/S Dir:	
Well Constructed:		UTM x:	265296.0
Frst Bneficial Use:		UTM y:	4188291.0
Pump Installed:		Location:	(37.811874, -107.666219)
Well Plugged:		Location Type:	Well (Application/Permit)
Yield (GPM):		Location Accuracy:	User supplied
Statc Wtr Lvl (ft):		Elevation:	
Denver Basn Aqufr:	No	Latitude:	37.811874
Statc Watr Lvl Dt:		Longitude:	-107.666219
Modified:	07/15/2010 12:00:00 AM	Mangemnt District:	
Associated Aqufrs:	ALL UNNAMED AQUIFERS	Division:	7
Water District:	30	Principle Meridian:	N
Contact Name:	SAN JUAN SCHOOL DISTRICT #1	ID Key:	3646427 141007
Counties:			
Well Name:			
Comment:			
Address:			
More Information:	https://dwr.state.co.us/Tools/WellPermits/3646427		

Map Key	Direction	Distance (mi)	Distance (ft)	Elevation (ft)	DB
9	NW	0.86	4,527.63	9,407.32	WATER WELLS

Receipt:	0389108	Parcel Name:	
WD ID:		Prcl Sze (Acres):	
Associated Case No:		Lot:	
County Parcel ID:		Block:	
Permit:	45368-F	City:	
Permit Issued:	08/16/1995	County:	SAN JUAN

Wells and Additional Sources Detail Report

Permit Expires:	08/16/1996	State:	
Permit Category:	General Purpose	Postal Code:	
Current Status:	Well Constructed	Township:	41.0 N
Special Use:		Range:	8.0 W
Associated Uses:	Commercial, Domestic	Section:	13
Permitted Area:		Q160:	NE
Permitted Area Unts:		Q40:	SE
Annul Approp. (AF):		Q10:	
Well Depth (Feet):	54	Coords E/W (Feet):	600
Top Prf. Csng (ft):	40	Coords E/W Dir:	E
Bot Prf. Csng (ft):	54	Coords N/S (Feet):	2900
Designated Basin:		Coords N/S Dir:	S
Well Constructed:	09/20/1995	UTM x:	263197.5
Frst Bneficial Use:		UTM y:	4188329.7
Pump Installed:		Location:	(37.811684, -107.690041)
Well Plugged:		Location Type:	Well (Application/Permit)
Yield (GPM):		Location Accuracy:	Spotted from section lines
Statc Wtr Lvl (ft):	9.00	Elevation:	
Denver Basn Aqufr:	No	Latitude:	37.811684
Statc Watr Lvl Dt:	1995/09/20	Longitude:	-107.690041
Modified:	11/27/2017 11:36:00 AM	Mangemnt District:	
Associated Aqufrs:	ALL UNNAMED AQUIFERS	Division:	7
Water District:	30	Principle Meridian:	N
Contact Name:	MCFADDEN, MARK	ID Key:	0389108 377190
Counties:			
Well Name:			
Comment:			
Address:			
More Information:	https://dwr.state.co.us/Tools/WellPermits/0389108		

Map Key	Direction	Distance (mi)	Distance (ft)	Elevation (ft)	DB
9	NW	0.86	4,527.63	9,407.32	WATER WELLS

Receipt:	0389108	Parcel Name:	
WD ID:		Prcl Sze (Acres):	
Associated Case No:		Lot:	
County Parcel ID:		Block:	
Permit:	45368-F	City:	
Permit Issued:	08/16/1995	County:	SAN JUAN
Permit Expires:	08/16/1996	State:	
Permit Category:	General Purpose	Postal Code:	
Current Status:	Well Constructed	Township:	41.0 N
Special Use:		Range:	8.0 W
Associated Uses:	Commercial, Domestic	Section:	13
Permitted Area:		Q160:	NE
Permitted Area Unts:		Q40:	SE

Wells and Additional Sources Detail Report

Annul Approp. (AF):	Q10:
Well Depth (Feet): 54	Coords E/W (Feet): 600
Top Prf. Csng (ft): 40	Coords E/W Dir: E
Bot Prf. Csng (ft): 54	Coords N/S (Feet): 2900
Designated Basin:	Coords N/S Dir: S
Well Constructed: 09/20/1995	UTM x: 263197.5
Frst Bneficial Use:	UTM y: 4188329.7
Pump Installed:	Location: (37.811684, -107.690041)
Well Plugged:	Location Type: Well (Application/Permit)
Yield (GPM):	Location Accuracy: Spotted from section lines
Statc Wtr Lvl (ft): 9.00	Elevation:
Denver Basn Aqufr: No	Latitude: 37.811684
Statc Wtr Lvl Dt: 1995/09/20	Longitude: -107.690041
Modified: 11/27/2017 11:36:00 AM	Mangemnt District:
Associated Aqufrs: ALL UNNAMED AQUIFERS	Division: 7
Water District: 30	Principle Meridian: N
Contact Name: MCFADDEN, INGA	ID Key: 0389108 377189
Counties:	
Well Name:	
Comment:	
Address:	
More Information:	https://dwr.state.co.us/Tools/WellPermits/0389108

Map Key	Direction	Distance (mi)	Distance (ft)	Elevation (ft)	DB
10	NW	0.86	4,550.94	9,387.36	WATER WELLS

Receipt: 3668694	Parcel Name:
WD ID:	Prcl Sze (Acres):
Associated Case No:	Lot:
County Parcel ID:	Block:
Permit: 79055-F	City:
Permit Issued: 06/01/2015	County: SAN JUAN
Permit Expires:	State:
Permit Category: General Purpose	Postal Code:
Current Status: Well Constructed	Township: 41.0 N
Special Use:	Range: 8.0 W
Associated Uses: Commercial, Irrigation	Section: 13
Permitted Area:	Q160: SE
Permtted Area Unts:	Q40: NE
Annul Approp. (AF):	Q10:
Well Depth (Feet): 35	Coords E/W (Feet):
Top Prf. Csng (ft): 19	Coords E/W Dir:
Bot Prf. Csng (ft): 35	Coords N/S (Feet):
Designated Basin:	Coords N/S Dir:
Well Constructed: 09/22/1995	UTM x: 263127.0
Frst Bneficial Use:	UTM y: 4188238.0

Wells and Additional Sources Detail Report

Pump Installed:	10/01/1995	Location:	(37.810837, -107.690817)
Well Plugged:		Location Type:	Well (Application/Permit)
Yield (GPM):	15.00	Location Accuracy:	User supplied
Statc Wtr Lvl (ft):	3.00	Elevation:	
Denver Basn Aqufr:	No	Latitude:	37.810837
Statc Wtr Lvl Dt:	1995/09/22	Longitude:	-107.690817
Modified:	06/01/2015 12:00:00 AM	Mangemnt District:	
Associated Aqufrs:	ALL UNNAMED AQUIFERS	Division:	7
Water District:	30	Principle Meridian:	N
Contact Name:	FILLING STATION LLC (THE)	ID Key:	3668694 208519
Counties:			
Well Name:			
Comment:			
Address:			
More Information:	https://dwr.state.co.us/Tools/WellPermits/3668694		

Map Key	Direction	Distance (mi)	Distance (ft)	Elevation (ft)	DB
11	ENE	0.91	4,796.78	9,303.74	WATER WELLS

Receipt:	0062682	Parcel Name:	
WD ID:		Prcl Sze (Acres):	
Associated Case No:		Lot:	
County Parcel ID:		Block:	
Permit:	62682-MH	City:	SILVERTON
Permit Issued:	12/08/2021	County:	SAN JUAN
Permit Expires:	03/08/2022	State:	CO
Permit Category:	Monitoring Hole (Notice of Intent)	Postal Code:	81433
Current Status:	Permit Expired	Township:	41.0 N
Special Use:		Range:	7.0 W
Associated Uses:	Monitoring/Sampling	Section:	17
Permitted Area:		Q160:	
Permttd Area Unts:		Q40:	
Annul Approp. (AF):		Q10:	
Well Depth (Feet):		Coords E/W (Feet):	
Top Prf. Csng (ft):		Coords E/W Dir:	
Bot Prf. Csng (ft):		Coords N/S (Feet):	
Designated Basin:		Coords N/S Dir:	
Well Constructed:		UTM x:	265781.5
Frst Bneficial Use:		UTM y:	4188167.3
Pump Installed:		Location:	(37.810885, -107.660669)
Well Plugged:		Location Type:	Well (Application/Permit)
Yield (GPM):		Location Accuracy:	Spotted from quarters
Statc Wtr Lvl (ft):		Elevation:	
Denver Basn Aqufr:	No	Latitude:	37.810885
Statc Wtr Lvl Dt:		Longitude:	-107.660669
Modified:	08/22/2023 12:05:00 PM	Mangemnt District:	

Wells and Additional Sources Detail Report

Associated Aqufrs:	ALLUVIAL	Division:	7
Water District:	30	Principle Meridian:	N
Contact Name:	STEVENS, HEIDI	ID Key:	0062682 455398
Counties:			
Well Name:			
Comment:			
Address:	2100 KENDALL ST 1401 MINERAL ST		
More Information:	https://dwr.state.co.us/Tools/WellPermits/0062682		

Map Key	Direction	Distance (mi)	Distance (ft)	Elevation (ft)	DB
15	ESE	0.98	5,183.67	10,605.14	WATER WELLS

Receipt:	0031286	Parcel Name:	
WD ID:		Prcl Sze (Acres):	
Associated Case No:		Lot:	
County Parcel ID:		Block:	
Permit:	31286-MH	City:	
Permit Issued:	07/25/1997	County:	SAN JUAN
Permit Expires:	10/25/1997	State:	
Permit Category:	Monitoring Hole (Notice of Intent)	Postal Code:	
Current Status:	Permit Expired	Township:	41.0 N
Special Use:		Range:	7.0 W
Associated Uses:	Monitoring/Sampling	Section:	20
Permitted Area:		Q160:	NE
Permtted Area Unts:		Q40:	SE
Annul Approp. (AF):		Q10:	
Well Depth (Feet):		Coords E/W (Feet):	
Top Prf. Csng (ft):		Coords E/W Dir:	
Bot Prf. Csng (ft):		Coords N/S (Feet):	
Designated Basin:		Coords N/S Dir:	
Well Constructed:		UTM x:	266136.9
Frst Bneficial Use:		UTM y:	4186952.3
Pump Installed:		Location:	(37.800037, -107.656244)
Well Plugged:		Location Type:	Well (Application/Permit)
Yield (GPM):		Location Accuracy:	Spotted from quarters
Statc Wtr Lvl (ft):		Elevation:	
Denver Basn Aqufr:	No	Latitude:	37.800037
Statc Watr Lvl Dt:		Longitude:	-107.656244
Modified:	08/22/2023 12:05:00 PM	Mangemnt District:	
Associated Aqufrs:	ALL UNNAMED AQUIFERS	Division:	7
Water District:	30	Principle Meridian:	N
Contact Name:	US BUREAU OF RECLAMATION	ID Key:	0031286 308703
Counties:			
Well Name:			
Comment:			
Address:			

Wells and Additional Sources Detail Report

More Information: <https://dwr.state.co.us/Tools/WellPermits/0031286>

Radon Information

This section lists any relevant radon information found for the target property.

Federal EPA Radon Zone for *SAN JUAN* County: **2**

Zone 1: Counties with predicted average indoor radon screening levels greater than 4 pCi/L

Zone 2: Counties with predicted average indoor radon screening levels from 2 to 4 pCi/L

Zone 3: Counties with predicted average indoor radon screening levels less than 2 pCi/L

No Indoor Radon Data records found for the project property or surrounding properties.

Federal Sources

FEMA National Flood Hazard Layer

FEMA FLOOD

The National Flood Hazard Layer (NFHL) data incorporates Flood Insurance Rate Map (FIRM) databases published by the Federal Emergency Management Agency (FEMA), and any Letters Of Map Revision (LOMRs) that have been issued against those databases since their publication date. The FIRM Database is the digital, geospatial version of the flood hazard information shown on the published paper FIRMs. The FIRM Database depicts flood risk information and supporting data used to develop the risk data. The FIRM Database is derived from Flood Insurance Studies (FISs), previously published FIRMs, flood hazard analyses performed in support of the FISs and FIRMs, and new mapping data, where available.

Indoor Radon Data

INDOOR RADON

Indoor radon measurements tracked by the Environmental Protection Agency(EPA) and the State Residential Radon Survey.

Public Water Systems Violations and Enforcement Data

PWSV

This list of drinking water violations and enforcement actions is sourced from the U.S Environmental Protection Agency's (EPA) Enforcement and Compliance History Online (ECHO) system that incorporates Public Water Systems data from EPA's Safe Drinking Water Information System (SDWIS) database, as part of the national download of Safe Drinking Water Act (SDWA) data. SDWIS contains information on public water systems from the Public Water System Supervision (PWSS) Program, including monitoring, enforcement, and violation data related to requirements established by the SWDA. Address information provided in SWDIS may correspond either with the physical location of the water system, or with a contact address.

Radon Zone Level

RADON ZONE

Areas showing the level of Radon Zones (level 1, 2 or 3) by county. This data is maintained by the Environmental Protection Agency (EPA).

Safe Drinking Water Information System (SDWIS)

SDWIS

This national download of Safe Drinking Water Act (SDWA) data is sourced from the U.S Environmental Protection Agency's (EPA) Enforcement and Compliance History Online (ECHO) system that incorporates Public Water Systems data from EPA's Safe Drinking Water Information System (SDWIS) database. SDWIS contains information on public water systems from the Public Water System Supervision (PWSS) Program related to requirements established by the Safe Drinking Water Act (SDWA). Address information provided in SWDIS may correspond either with the physical location of the water system, or with a contact address.

Soil Survey Geographic database

SSURGO

The Soil Survey Geographic database (SSURGO) contains information about soil as collected by the National Cooperative Soil Survey at the Natural Resources Conservation Service (NRCS). Soil maps outline areas called map units. The map units are linked to soil properties in a database. Each map unit may contain one to three major components and some minor components.

U.S. Fish & Wildlife Service Wetland Data

US WETLAND

The U.S. Fish & Wildlife Service Wetland layer represents the approximate location and type of wetlands and deepwater habitats in the United States.

USGS Current Topo

US TOPO

US Topo topographic maps are produced by the National Geospatial Program of the U.S. Geological Survey (USGS). The project was launched in late 2009, and the term "US Topo" refers specifically to quadrangle topographic maps published in 2009 and later.

USGS Geology

US GEOLOGY

Seamless maps depicting geological information provided by the United States Geological Survey (USGS).

USGS National Water Information System

FED USGS

The U.S. Geological Survey's (USGS) National Water Information System (NWIS) is the nation's principal repository of water resources data. The data includes comprehensive information of well-construction details, time-series data for gage height, streamflow, groundwater level, and precipitation and water use data. This NWIS database information is obtained through the Water Quality Data Portal (WQP). The WQP

Appendix

is a cooperative service sponsored by the USGS, the Environmental Protection Agency (EPA), and the National Water Quality Monitoring Council (NWQMC).

State Sources

Oil and Gas Pit Locations

PITS

The Colorado Oil and Gas Conservation Commission (COGCC) maintains this list of oil and gas pit locations within Colorado. This data contains over 10,000 oil and gas related pit locations. The Colorado Department of Natural Resources (DNR) notes that data and information provided by the DNR is provided as is without warranty of any kind, and that DNR is not responsible and shall not be liable for damages of any kind arising out of the use of data or information provided herein.

Oil and Gas Wells

OGW

A list of active and plugged wells - including active and expired well permits provided by Department of Natural Resources, Oil & Gas Conservation Commission.

Public Water Wells

WATER WELLS

The statewide water wells data consists of water levels information for each well. The data was made available by Colorado Decision Supports System under the development and improvement by the Colorado Water Conservation Board (CWCB) and the Colorado Division of Water Resources (DWR). The well latitude and longitude information represents physical location of the wells.

Water Wells Permit Database

WATER WELLS

Water wells application and permit database maintained by the Colorado Department of Natural Resources' Division of Water Resources. This database includes statewide well applications and permits issued by the department.

Liability Notice

Reliance on information in Report: The Physical Setting Report (PSR) DOES NOT replace a full Phase I Environmental Site Assessment but is solely intended to be used as a review of environmental databases and physical characteristics for the site or adjacent properties.

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Appendix D: Groundwater Well Documents

GWS-31
04/2005STATE OF COLORADO, OFFICE OF THE STATE ENGINEER
1313 Sherman St., Room 818, Denver, CO 80203
Phone - Info (303) 866-3587 Main (303) 866-3581
Fax (303) 866-3589 <http://www.water.state.co.us>

RECEIVED

AUG 28 2007

WATER RESOURCES
STATE ENGINEER
GOLD.

1. WELL PERMIT NUMBER: 265452

2. WELL OWNER INFORMATION

NAME OF WELL OWNER: RONALD H BALDWIN

MAILING ADDRESS: 5730 TEE DR

CITY: FARMINGTON

STATE: NM

ZIP CODE: 87402

TELEPHONE NUMBER: (505) 327-0387

3. WELL LOCATION AS DRILLED: NW1/4, NE1/4, Sec. 19, Twp. 41 ☒ N or ☐ S, Range 7 ☐ E or ☒ W
DISTANCES FROM SEC. LINES: 560 ft. from ☒ N or ☐ S section line and 2280 ft. from ☒ E or ☐ W section line.
SUBDIVISION: _____, LOT _____, BLOCK _____, FILING (UNIT) _____Optional GPS Location: GPS Unit must use the following settings: Format must be UTM, Units must be meters, Datum must be NAD83, Unit must be set to true N, ☐ Zone 12 or ☒ Zone 13

Owner's Well Designation: _____

Easting: 263735

STREET ADDRESS AT WELL LOCATION: HECTOR LODE 14327A

Northing: 418656

4. GROUND SURFACE ELEVATION 9415 feet

DRILLING METHOD AIR-ROTARY

DATE COMPLETED 7/15/2007 TOTAL DEPTH 400 feet DEPTH COMPLETED 228 feet

5. GEOLOGIC LOG:

Depth	Type	Grain Size	Color	Water Loc.
0-7	TOP SOIL/ALLU	ALLUVIAL	RED/WHITE	
7-21	ALLUVIAL	ALLUVIAL	RED	
21-40	WET ALLUVIAL	ALLUVIAL	GREY	25' 1/8GPM
40-57	ALLUVIAL	ALLUVIAL	BROWN	
57-62	DAMP ALLUVIAL	ALLUVIAL	GREEN/BR	
62-80	BEDROCK/GRANT	BED CHIP	GREY	75' 1/2GPM
80-261	GRANITE	BED CHIP	GREY	146' 1/4GP
261-264	QUARTS	BED CHIP	WHITE	177' 1/2GP
264-338	GRANITE	BED CHIP	GREEN	240' 1.71GP
338-361	GRANITE	BED CHIP	GRY/WHT	255' 4.28GP
361-400	GRANITE/QUART	BED CHIP	GRY/WHT	280' 6.67GP
				315' 8.50GP
				338' 10GPM

6. HOLE DIAM (in.) From (ft) To (ft)

10	0	45
8-5/8	45	80
7	80	400

7. PLAIN CASING:

OD (in)	Kind	Wall Size (in)	From (ft)	To (ft)
8-5/8	STEEL	.188	+2	80
4.5	PVC	SCH40	200	228
4.5	PVC	SCH40	100	6

PERFORATED CASING: Screen Slot Size (in): 0.32

4.5	PVC	SCH40	200	100
-----	-----	-------	-----	-----

8. FILTER PACK:

Material SAND
Size 8/12
Interval 200-155

9. PACKER PLACEMENT:

Type _____
Depth _____

10. GROUTING RECORD

Material	Amount	Density	Interval	Placement
CEMENT	14 BAGS	98 GAL	0-40	PUMPED

Remarks: 238-400 FAULT GAUGE HANG UP BAD ZONE
261 BAD ROCK ZONE CAVE IN
361 BAD ROCK ZONE CAVE IN (GRAVEL 3/8" 228-200)

11. DISINFECTION: Type HTH

Armt. Used

12. WELL TEST DATA: ☐ Check box if Test Data is submitted on Form Number GWS 39 Supplemental Well Test.

TESTING METHOD AIR

Static Level 153 ft. Date/Time measured: 7/10/2007 Production Rate 10 gpm.
Pumping Level 228 ft. Date/Time measured 7/10/2007 Test Length (hrs) 1.5

Remarks:

13. I have read the statements made herein and know the contents thereof, and they are true to my knowledge. This document is signed and certified in accordance with Rule 17.4 of the Water Well Construction Rules, 2 CCR 402-2. [The filing of a document that contains false statements is a violation of section 37-91-108(1)(e), C.R.S., and is punishable by fines up to \$5000 and/or revocation of the contracting license.]

Company Name:
ANIMAS WELL DRILLING, LLCPhone:
(970)259-4700License Number:
1418

Mailing Address: P.O. BOX 3785 DURANGO, CO 81302

Signature:

Print Name and Title
David J. Weber-licensed well drillerDate
8/14/2007

FORM NO.
GWS-32
02/2005

PUMP INSTALLATION AND TEST REPORT
STATE OF COLORADO, OFFICE OF THE STATE ENGINEER

1313 Sherman St., Room 818, Denver, CO 80203
Info (303) 866-3587 Main (303) 866-3581
Fax (303) 866-3589 <http://www.water.state.co.us>

For Office Use Only
RECEIVED

FEB 13 2009

WATER RESOURCES
STATE ENGINEER
COLO

1. WELL PERMIT NUMBER: 265452

2. WELL OWNER INFORMATION

NAME OF OWNER
RONALD H BALDWIN

MAILING ADDRESS
5730 TEE DR

CITY
FARMINGTON

STATE
NM

ZIP CODE
87402

TELEPHONE #
(505) 327-0387

3. WELL LOCATION AS DRILLED: _____ 1/4, _____ 1/4 Sec. _____, Twp. _____ ☐ N or ☐ S, Range _____ ☐ E or ☐ W
DISTANCES FROM SEC. LINES: _____ ft. from ☐ N or ☐ S section line and _____ ft. from ☐ E or ☐ W section line.
SUBDIVISION: _____ LOT _____, BLOCK _____, FILING (UNIT) _____
Optional GPS Location: GPS Unit must use the following settings: Format must be **UTM**, Units Easting: 263735
must be **meters**, Datum must be **NAD83**, Unit must be set to **true N**, ☐ Zone 12 or ☒ Zone 13 Northing: 418656

STREET ADDRESS AT WELL LOCATION: _____

4. PUMP DATA: Type: SUBMERSIBLE Date Installed: 9/23/2008

Pump Manufacturer: FRANKLIN Pump Model No. SD410-11X

Design GPM: 10 at RPM 3450 HP 3/4 Volts 230 Full Load Amps 8.5

Pump Intake Depth: 200 Feet, Drop/Column Pipe Size 1 Inches, Kind of Drop Pipe SCH 80 PVC

ADDITIONAL INFORMATION FOR PUMPS GREATER THAN 50 GPM: Turbine Driver Type: ☐ Electric ☐ Engine ☐ Other _____

Design Head _____ feet Number of Stages _____ Shaft size _____ inches

5. OTHER EQUIPMENT:

Airline Installed ☐ Yes ☒ No, Orifice Depth ft. _____ Monitor Tube Installed ☐ Yes ☒ No, Depth ft. _____

Flow Meter Mfg. _____ Meter Serial No. _____

Meter Readout: ☐ Gallons, ☐ Thousand Gallons, ☐ Acre feet Beginning Reading _____

6. TEST DATA: ☐ check box if Test Data is submitted on Supplemental Form.

Date: 9/23/08 9/23/08 _____

Total Well Depth: 236 ft. Time: 2:30PM 2:30PM _____

Static Level: 105 ft. Rate (gpm): 10 10 _____

Date Measured: 9/23/2008 Pumping Level (ft): 105 105 _____

7. DISINFECTION: Type HTH Amt. Used 3/4 CUP

8. Water Quality analysis available: ☐ Yes ☒ No If yes, please submit with this report.

9. Remarks: _____

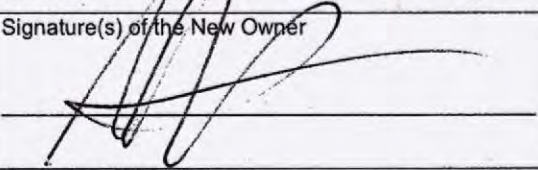
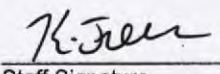
10. I have read the statements made herein and know the contents thereof, and they are true to my knowledge. This document is signed and certified in accordance with Rule 17.4 of the Water Well Construction Rules, 2 CCR 402-2. [The filing of a document that contains false statements is a violation of section 37-91-108(1)(e), C.R.S., and is punishable by fines up to \$5000 and/or revocation of the contracting license.]

Company Name: ANIMAS WELL DRILLING, LLC Phone: (970)259-4700 License Number: 1418

Mailing Address: P.O. BOX 3785 DURANGO, CO 81302

Signature: [Signature] Print Name and Title: David J. Weber - licensed pump installer Date: 2-11-09

COLORADO DIVISION OF WATER RESOURCES DEPARTMENT OF NATURAL RESOURCES 1313 SHERMAN ST., RM 818, DENVER, CO 80203 phone - info: (303) 866-3587 main: (303) 866-3581 fax: (303) 866-3589 http://www.water.state.co.us		Office Use Only		Form GWS-44 (10/2004)	
RESIDENTIAL Note: Also use this form to apply for livestock watering Water Well Permit Application Review instructions on reverse side prior to completing form. The form must be completed in black or blue ink or typed.		RECEIVED SEP 08 2005 WATER RESOURCES STATE ENGINEER COLO.			
1. Applicant Information Name of applicant <u>Ronald H. Baldwin</u> Mailing address <u>5730 Tee Drive</u> City <u>Farmington</u> State <u>NM</u> Zip code <u>87402</u> Telephone # <u>(505) 327-0387</u>		6. Use Of Well (check applicable boxes) See instructions to determine use(s) for which you may qualify <input type="checkbox"/> A. Ordinary household use in one single-family dwelling (no outside use) <input checked="" type="checkbox"/> B. Ordinary household use in 1 to 3 single-family dwellings: Number of dwellings: <u>3</u> <input checked="" type="checkbox"/> Home garden/lawn irrigation, not to exceed one acre: area irrigated <u>1</u> sq. ft. <input checked="" type="checkbox"/> acre <input checked="" type="checkbox"/> Domestic animal watering - (non-commercial) <input type="checkbox"/> C. Livestock watering (on farm/ranch/range/pasture)			
2. Type Of Application (check applicable boxes) <input checked="" type="checkbox"/> Construct new well <input type="checkbox"/> Use existing well <input type="checkbox"/> Replace existing well <input type="checkbox"/> Change or increase use <input type="checkbox"/> Change source (aquifer) <input type="checkbox"/> Reapplication (expired permit) <input type="checkbox"/> Other:		7. Well Data (proposed) Maximum pumping rate <u>15</u> gpm Annual amount to be withdrawn <u>3</u> acre-feet Total depth <u>250</u> feet Aquifer <u>Unknown</u>			
3. Refer To (if applicable) Well permit # _____ Water Court case # _____ Designated Basin Determination # _____ Well name or # _____		8. Water Supplier Is this parcel within boundaries of a water service area? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO If yes, provide name of supplier: _____			
4. Location Of Proposed Well County <u>San Juan</u> <u>NW</u> 1/4 of the <u>NE</u> 1/4 Section <u>19</u> Township N or S <u>41</u> Range <u>7</u> E or W <input checked="" type="checkbox"/> Principal Meridian <u>New Mexico</u> Distance of well from section lines (section lines are typically not property lines) <u>560</u> Ft. from <input checked="" type="checkbox"/> N <input type="checkbox"/> S <u>2,280</u> Ft. from <input checked="" type="checkbox"/> E <input type="checkbox"/> W For replacement wells only - distance and direction from old well to new well _____ feet _____ direction Well location address (if applicable) _____		9. Type Of Sewage System <input checked="" type="checkbox"/> Septic tank / absorption leach field <input type="checkbox"/> Central system: District name: _____ <input type="checkbox"/> Vault: Location sewage to be hauled to: _____ <input type="checkbox"/> Other (attach copy of engineering design and report)			
Optional: GPS well location information in UTM format You must check GPS unit for required settings as follows: Format must be UTM Zone must be 13 Units must be Meters Datum must be NAD83 Unit must be set to true north Was GPS unit checked for above? <input type="checkbox"/> YES <input type="checkbox"/> NO Remember to set Datum to NAD83		10. Proposed Well Driller License #(optional): <u>1016</u> 11. Signature Of Applicant(s) Or Authorized Agent The making of false statements herein constitutes perjury in the second degree, which is punishable as a class 1 misdemeanor pursuant to C.R.S. 24-4-104 (13)(a). I have read the statements herein, know the contents thereof and state that they are true to my knowledge. Sign here (Must be original signature) _____ Date <u>24 Aug 2005</u> <u>Ronald H. Baldwin</u> Print name & title <u>Ronald H. Baldwin, Owner</u>			
5. Parcel On Which Well Will Be Located A. You must check and complete one of the following: <input type="checkbox"/> Subdivision: Name _____ Lot _____ Block _____ Filing/Unit _____ <input type="checkbox"/> County exemption (attach copy of county approval & survey): Name/# _____ Lot # _____ <input type="checkbox"/> Parcel less than 35 acres, not in a subdivision, attach a deed with metes and bounds description recorded prior to June 1, 1972 <input checked="" type="checkbox"/> Mining claim (attach a copy of the deed or survey): Name/# <u>Hector Lode</u> <u>14327A</u> <input type="checkbox"/> Square 40 acre parcel as described in Item 4 <input type="checkbox"/> Parcel of 35 or more acres (attach a metes and bounds description or survey) <input type="checkbox"/> Other (attach metes & bounds description or survey and supporting documents)		Office Use Only USGS map name <u>Howardsville</u> DWR map no. <u>964</u> Surface elev. _____ noncritical trib to mineral Create trib to Animas River Receipt area only Invoice # 543302 9/7/2005 -- 14:22:26 Cashier ID: 01 \$488.00 Check Purchase- #1032 WE <input checked="" type="checkbox"/> WR <input checked="" type="checkbox"/> CWCB <input checked="" type="checkbox"/> TOPO <input checked="" type="checkbox"/> MYLAR SB5 DIV <u>7</u> WD <u>30</u> BA _____ MD _____			
B. # of acres in parcel <u>6.84</u> C. Are you the owner of this parcel? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (if no - see instructions) D. Will this be the only well on this parcel? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (if no - list other wells) E. State Parcel ID# (optional): _____					

Form No. GWS-11 08/2016	COLORADO DIVISION OF WATER RESOURCES DEPARTMENT OF NATURAL RESOURCES 1313 Sherman St., Ste 821, Denver CO 80203 (303) 866-3581 dwrpermitsonline@state.co.us	For Office Use Only <div style="font-size: 1.5em; color: blue; font-weight: bold;">RECEIVED</div> <div style="font-size: 1.2em; color: blue; font-weight: bold;">OCT 19 2017</div> <div style="font-size: 0.8em; color: blue; font-weight: bold;">WATER RESOURCES STATE ENGINEER COLO</div>
CHANGE IN OWNER NAME/MAILING ADDRESS		
PRIOR TO COMPLETING THIS FORM, SEE INSTRUCTIONS ON REVERSE SIDE INCOMPLETE, POOR QUALITY, OR ILLEGIBLE FORMS CANNOT BE PROCESSED AND WILL BE RETURNED		
Name, address and phone number of person claiming ownership of the well permit:		
Name(s): <u>RYAN RATNER</u>		
Mailing Address: <u>76002 VIA FIRENZE</u>		
City, St. Zip: <u>INDIAN WELLS, CA 92210</u>		
Phone: <u>(818) 770 _8500</u> Email: _____		
Well Permit Number: <u>265452</u> Receipt Number: <u>0543302</u> Case Number (optional): _____		
WELL LOCATION: County: <u>SAN JUAN</u> Well Name or # (optional): _____		
Street Address at Well Location _____ City _____ State _____ Zip _____		
<input type="checkbox"/> Check if well address is same as owner's mailing address		
<u>NW</u> 1/4 of the <u>NE</u> 1/4, Sec. <u>19</u> , Township <u>41.0</u> <input checked="" type="checkbox"/> N. or <input type="checkbox"/> S., Range <u>7.0</u> <input type="checkbox"/> E. or <input checked="" type="checkbox"/> W., <u>NEW MEXICO</u> P.M.		
Distance from Section Lines: <u>560</u> Ft. from <input checked="" type="checkbox"/> N. or <input type="checkbox"/> S. Line, <u>2280</u> Ft. from <input checked="" type="checkbox"/> E. or <input type="checkbox"/> W. Line.		
Subdivision Name (if applicable): <u>HECTOR LODE 14327A</u> , Lot _____, Block _____, Filing/Unit _____		
NOTE: If changing/correcting the permitted location of a well, use Form No. GWS-42.		
I (we) claim and say that I am (we are) the owner(s) of the well permit described above, know the contents of the statements made herein, and state that they are true to my (our) knowledge. This filing is made pursuant to C.R.S. 37-90-143.		
Signature(s) of the New Owner 	Please print the Signer's Name & Title <u>RYAN RATNER</u>	Date <u>10/13/2017</u>
It is the responsibility of the new owner of this well permit to complete and sign this form. If an agent is signing or entering information, please see instructions. Please allow 4 to 6 weeks for processing of this form. Thereafter, you can view or print the accepted document at: http://www.dwr.state.co.us/WellPermitSearch		
Signature of DWR staff indicates acceptance as a Change in Owner Name and/or Mailing Address.		
For Staff Use Only		
 Staff Signature		<u>10/24/17</u> Date



COLORADO
Division of Water Resources
Department of Natural Resources

WELL PERMIT NUMBER 265452-
RECEIPT NUMBER 0543302

ORIGINAL PERMIT APPLICANT(S)

RONALD H BALDWIN

APPROVED WELL LOCATION

Water Division: 7 Water District: 30
Designated Basin: N/A
Management District: N/A
County: SAN JUAN
Parcel Name: HECTOR LODE 14327A
Physical Address: N/A

NW 1/4 NE 1/4 Section 19 Township 41.0 N Range 7.0 W New Mexico
P.M.

UTM COORDINATES (Meters, Zone:13, NAD83)

Easting: 264267.3 Northing: 4187241.3

ISSUANCE OF THIS PERMIT DOES NOT CONFER A WATER RIGHT

CONDITIONS OF APPROVAL

- 1) This well shall be used in such a way as to cause no material injury to existing water rights. The issuance of this permit does not ensure that no injury will occur to another vested water right or preclude another owner of a vested water right from seeking relief in a civil court action.
- 2) The construction of this well shall be in compliance with the Water Well Construction Rules 2 CCR 402-2, unless approval of a variance has been granted by the State Board of Examiners of Water Well Construction and Pump Installation Contractors in accordance with Rule 18.
- 3) Approved pursuant to CRS 37-92-602(3)(b)(I) for the construction of a well to divert ground water tributary to Mineral Creek, a tributary of the Animas River, at a point where unappropriated water is available for withdrawal.
- 4) The use of ground water from this well is limited to fire protection, ordinary household purposes inside not more than 3 single family dwelling(s), the irrigation of not more than 1 acre of home gardens and lawns, and the watering of domestic animals. This well is to be located on Hector Lode 14327A, San Juan County.
- 5) The pumping rate of this well shall not exceed 15 GPM.
- 6) This well shall be constructed not more than 200 feet from the location specified on this permit.

Date Issued: 9/9/2005

Expiration Date: 9/9/2007

Issued By _____

PERMIT HISTORY

10-24-2017 CHANGE IN OWNER NAME/MAILING ADDRESS. CHANGED TO RYAN RATTNER

Appendix E: User Questionnaire

ASTM E1527-21 USER QUESTIONNAIRE
Page 1 of 3

In order to qualify for one of the Landowner Liability Protections (LLPs) offered by the Small Business Relief and Brownfields Revitalization Act of 2001, the user must respond to the following questions. Failure to provide this information to the environmental professional may result in significant data gaps, which may limit our ability to identify recognized environmental conditions resulting in a determination that "all appropriate inquiry" is not complete. This form represents a type of interview and as such, the user has an obligation to answer all questions in good faith, to the extent of their actual knowledge.

Site Name: Highway 550 North, Phase I ESA

Site Address: Highway 550 North, Silverton, CO 81433

1) Are you aware of any environmental cleanup liens against the property that are filed or recorded under federal, tribal, state, or local law (40 CFR 312.25)? XNo Yes If yes, please explain.

2) Are you aware of any activity and use limitations (AULs), such as engineering controls, land use restrictions, or institutional controls that are in place at the property and/or have been filed or recorded in a registry under federal, tribal, state, or local law (40 CFR 312.26)? XNo Yes If yes, please explain.

3) As the user of this ESA, do you have any specialized knowledge or experience related to the property or nearby properties? For example, are you involved in the same line of business as the current or former occupants of the property or an adjoining property so that you would have specialized knowledge of the chemicals and processes used by this type of business (40 CFR 312.28)? X No Yes If yes, please explain.

4) Does the purchase price being paid for this property reasonably reflect the fair market value of the property (40 CFR 312.29)? No XYes

If no, have you considered whether the lower purchase price is because contamination is known or believed to be present at the property (40 CFR 312.29)? No Yes If yes, please explain.

5) Are you aware of commonly known or reasonably ascertainable information about the property that would help the environmental professional to identify conditions indicative of releases or threatened releases (40 CFR 312.30)? X No Yes If yes, please explain.

6) As the user of this ESA, based on your knowledge and experience related to the property, are there any obvious indicators that point to the presence or likely presence of contamination at the property (40 CFR 312.31)? XNo Yes If yes, please explain.

ASTM E1527-21 USER QUESTIONNAIRE
Page 2 of 3

Request for Information and Documentation

In addition to the specific questions above, the user is requested to provide the following information and documentation, as available. ASTM requires that this information, if available, be provided to the environmental professional prior to the property visit.

Included "X"	Not Available or Not Known "X"	Requested Information	Contact Information
	X	Point of Contact (Access)	Name/Phone
	X	Current Site Owner	Name/Phone:
	X	Current Facility Operator	Name/Phone
	X	Prior Owners	Name/Phone
	X	Prior Occupants	Name/Phone
	X	Access Restrictions	Comments -
	X	Special Requirements/Confidentiality	Comments -
	X	Site Diagram or Legal Description	Attach -
	X	Chain of Title (back to 1940 or first developed use)	Attach -
		Reason for conducting Phase I ESA	Comments - Advised to do so

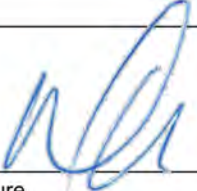
Helpful Documents Checklist

Per ASTM E1527-21 Section 10.8, do you know if any of the following documents exist for this property and if so, are copies of the documents available for review by the environmental professional? Check all that apply.

- | | |
|--|--|
| <input type="checkbox"/> Environmental property assessment reports | <input type="checkbox"/> Environmental compliance audit reports |
| <input type="checkbox"/> Geotechnical reports | <input type="checkbox"/> Registrations for aboveground or underground tanks |
| <input type="checkbox"/> Environmental property permits
(e.g., solid waste or hazardous waste disposal permits) | <input type="checkbox"/> Registrations for underground injection systems |
| <input type="checkbox"/> Hazardous waste manifests | <input type="checkbox"/> Recorded environmental covenants or land use restrictions |

Name (Authorized Client Representative)

Title



Signature

Date

Appendix F: Database Report



DATABASE REPORT

Project Property: *Highway 550 North Silverton, Colorado
Phase I ESA
Highway 550 North
Silverton CO*

Project No: *24-08*

Report Type: *Database Report*

Order No: *24052300616*

Requested by: *SH Environmental Consulting, LLC*

Date Completed: *May 24, 2024*

Environmental Risk Information Services

A division of Glacier Media Inc.

1.866.517.5204 | info@erisinfo.com | erisinfo.com

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Notice: IMPORTANT LIMITATIONS and YOUR LIABILITY

Reliance on information in Report: This report DOES NOT replace a full Phase I Environmental Site Assessment but is solely intended to be used as database review of environmental records.

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Executive Summary

Property Information:

Project Property: *Highway 550 North Silverton, Colorado Phase I ESA
Highway 550 North Silverton CO*

Project No: *24-08*

Coordinates:

Latitude: *37.80288282*
Longitude: *-107.67588072*
UTM Northing: *4,187,318.23*
UTM Easting: *264,415.87*
UTM Zone: *13S*

Elevation: *9,374 FT*

Order Information:

Order No: *24052300616*
Date Requested: *May 23, 2024*
Requested by: *SH Environmental Consulting, LLC*
Report Type: *Database Report*

Historicals/Products:

Aerial Photographs *Historical Aerials (with Project Boundaries)*
ERIS Xplorer [*ERIS Xplorer*](#)
Excel Add-On *Excel Add-On*
Physical Setting Report (PSR) *Physical Setting Report (PSR)*
Topographic Map *Topographic Maps*

Executive Summary: Report Summary

Database	Searched	Search Radius	Project Property	Within 0.12mi	0.125mi to 0.25mi	0.25mi to 0.50mi	0.50mi to 1.00mi	Total
<u>Standard Environmental Records</u>								
Federal								
NPL	Y	1	0	0	0	0	0	0
PROPOSED NPL	Y	1	0	0	0	0	0	0
DELETED NPL	Y	0.5	0	0	0	0	-	0
SEMS	Y	0.5	0	0	0	1	-	1
SEMS ARCHIVE	Y	0.5	0	0	0	0	-	0
ODI	Y	0.5	0	0	0	0	-	0
CERCLIS	Y	0.5	0	0	0	0	-	0
IODI	Y	0.5	0	0	0	0	-	0
CERCLIS NFRAP	Y	0.5	0	0	0	0	-	0
CERCLIS LIENS	Y	PO	0	-	-	-	-	0
RCRA CORRACTS	Y	1	0	0	0	0	0	0
RCRA TSD	Y	0.5	0	0	0	0	-	0
RCRA LQG	Y	0.25	0	0	0	-	-	0
RCRA SQG	Y	0.25	0	0	0	-	-	0
RCRA VSQG	Y	0.25	0	0	0	-	-	0
RCRA NON GEN	Y	0.25	0	0	0	-	-	0
RCRA CONTROLS	Y	0.5	0	0	0	0	-	0
FED ENG	Y	0.5	0	0	0	0	-	0
FED INST	Y	0.5	0	0	0	0	-	0
LUCIS	Y	0.5	0	0	0	0	-	0
NPL IC	Y	0.5	0	0	0	0	-	0
ERNS 1982 TO 1986	Y	PO	0	-	-	-	-	0
ERNS 1987 TO 1989	Y	PO	0	-	-	-	-	0
ERNS	Y	PO	0	-	-	-	-	0
FED BROWNFIELDS	Y	0.5	0	0	0	1	-	1
FEMA UST	Y	0.25	0	0	0	-	-	0
FRP	Y	0.25	0	0	0	-	-	0

Database	Searched	Search Radius	Project Property	Within 0.12mi	0.125mi to 0.25mi	0.25mi to 0.50mi	0.50mi to 1.00mi	Total
DELISTED FRP	Y	0.25	0	0	0	-	-	0
HIST GAS STATIONS	Y	0.25	0	0	0	-	-	0
REFN	Y	0.25	0	0	0	-	-	0
BULK TERMINAL	Y	0.25	0	0	0	-	-	0
SEMS LIEN	Y	PO	0	-	-	-	-	0
SUPERFUND ROD	Y	1	0	0	0	0	0	0
DOE FUSRAP	Y	1	0	0	0	0	0	0

State

COVENANTS	Y	0.5	0	0	0	0	-	0
SUPERFUND NRD	Y	1	0	0	0	1	0	1
LANDFILL METHANE	Y	0.5	0	0	0	0	-	0
SHWS	Y	1	0	0	0	0	0	0
DELISTED SHWS	Y	1	0	0	0	0	0	0
SWF/LF	Y	0.5	0	0	0	0	-	0
HIST LF	Y	0.5	0	0	0	0	-	0
HIST LANDFILLS	Y	0.5	0	0	0	0	-	0
RECYCLING	Y	0.5	0	0	0	0	-	0
LST	Y	0.5	0	0	0	3	-	3
LUST TRUST	Y	0.5	0	0	0	0	-	0
DELISTED LST	Y	0.5	0	0	0	0	-	0
UST	Y	0.25	0	0	2	-	-	2
AST	Y	0.25	0	0	1	-	-	1
TANKS	Y	0.25	0	0	0	-	-	0
DTNK	Y	0.25	0	0	0	-	-	0
AUL	Y	0.5	0	0	0	0	-	0
VCP	Y	0.5	0	0	0	0	-	0
BROWNFIELDS	Y	0.5	0	0	0	0	-	0

Tribal

INDIAN LUST	Y	0.5	0	0	0	0	-	0
INDIAN UST	Y	0.25	0	0	0	-	-	0
DELISTED INDIAN LST	Y	0.5	0	0	0	0	-	0
DELISTED INDIAN UST	Y	0.25	0	0	0	-	-	0

County

No County databases were selected to be included in the search.

Database	Searched	Search Radius	Project Property	Within 0.12mi	0.125mi to 0.25mi	0.25mi to 0.50mi	0.50mi to 1.00mi	Total
<u>Additional Environmental Records</u>								
Federal								
PFAS GHG	Y	0.5	0	0	0	0	-	0
OSC RESPONSE	Y	0.125	0	0	-	-	-	0
FINDS/FRS	Y	PO	0	-	-	-	-	0
TRIS	Y	PO	0	-	-	-	-	0
PFAS NPL	Y	0.5	0	0	0	0	-	0
PFAS FED SITES	Y	0.5	0	0	0	0	-	0
PFAS SSEHRI	Y	0.5	0	0	0	0	-	0
ERNS PFAS	Y	0.5	0	0	0	0	-	0
PFAS NPDES	Y	0.5	0	0	0	0	-	0
PFAS TRI	Y	0.5	0	0	0	0	-	0
PFAS WATER	Y	0.5	0	0	0	0	-	0
PFAS TSCA	Y	0.5	0	0	0	0	-	0
PFAS E-MANIFEST	Y	0.5	0	0	0	0	-	0
PFAS IND	Y	0.5	0	0	0	0	-	0
HMIRS	Y	0.125	0	0	-	-	-	0
NCDL	Y	0.125	0	0	-	-	-	0
TSCA	Y	0.125	0	0	-	-	-	0
HIST TSCA	Y	0.125	0	0	-	-	-	0
FTTS ADMIN	Y	PO	0	-	-	-	-	0
FTTS INSP	Y	PO	0	-	-	-	-	0
PRP	Y	PO	0	-	-	-	-	0
SCRD DRYCLEANER	Y	0.5	0	0	0	0	-	0
ICIS	Y	PO	0	-	-	-	-	0
FED DRYCLEANERS	Y	0.25	0	0	0	-	-	0
DELISTED FED DRY	Y	0.25	0	0	0	-	-	0
FUDS	Y	1	0	0	0	0	0	0
FUDS MRS	Y	1	0	0	0	0	0	0
FORMER NIKE	Y	1	0	0	0	0	0	0
PIPELINE INCIDENT	Y	PO	0	-	-	-	-	0
MLTS	Y	PO	0	-	-	-	-	0
HIST MLTS	Y	PO	0	-	-	-	-	0
MINES	Y	0.25	0	0	0	-	-	0
SMCRA	Y	1	0	0	0	0	0	0

Database	Searched	Search Radius	Project Property	Within 0.12mi	0.125mi to 0.25mi	0.25mi to 0.50mi	0.50mi to 1.00mi	Total
MRDS	Y	1	0	5	5	5	24	39
LM SITES	Y	1	0	0	0	0	0	0
ALT FUELS	Y	0.25	0	0	0	-	-	0
CONSENT DECREES	Y	0.25	0	0	0	-	-	0
AFS	Y	PO	0	-	-	-	-	0
SSTS	Y	0.25	0	0	0	-	-	0
PCBT	Y	0.5	0	0	0	0	-	0
PCB	Y	0.5	0	0	0	0	-	0

State

SPILLS	Y	0.125	0	0	-	-	-	0
OG SPILLS	Y	0.125	0	0	-	-	-	0
DRYCLEANERS	Y	0.25	0	0	0	-	-	0
DELISTED DRYCLEANERS	Y	0.25	0	0	0	-	-	0
AIR PERMITS	Y	0.125	0	0	-	-	-	0
PFAS	Y	0.5	0	0	0	0	-	0
ASBESTOS	Y	0.125	0	0	-	-	-	0
HAZ GEN	Y	0.125	0	0	-	-	-	0
PDES	Y	PO	0	-	-	-	-	0
HAZ TSD	Y	0.5	0	0	0	0	-	0
HAZ CORRACT	Y	1	0	0	0	0	0	0
UMTRA	Y	0.5	0	0	0	0	-	0

Tribal

No Tribal additional environmental record sources available for this State.

County

No County additional environmental databases were selected to be included in the search.

Total:	0	5	8	11	24	48
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* PO – Property Only

* 'Property and adjoining properties' database search radii are set at 0.25 miles.

Executive Summary: Site Report Summary - Project Property

<i>Map Key</i>	<i>DB</i>	<i>Company/Site Name</i>	<i>Address</i>	<i>Direction</i>	<i>Distance (mi/ft)</i>	<i>Elev Diff (ft)</i>	<i>Page Number</i>
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No records found in the selected databases for the project property.

Executive Summary: Site Report Summary - Surrounding Properties

Map Key	DB	Company/Site Name	Address	Direction	Distance (mi/ft)	Elev Diff (ft)	Page Number
1	MRDS	MINERAL CREEK	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID:</i> 10216183	S	0.00 / 21.33	124	23
2	MRDS	AJAX	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID:</i> 10216062	SSE	0.04 / 185.45	157	23
2	MRDS	BOSTON GROUP	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID:</i> 10191673	SSE	0.04 / 185.45	157	24
3	MRDS	EMPIRE GROUP	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID:</i> 10119158	SSE	0.08 / 408.22	187	25
3	MRDS	EMPIRE GROUP	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID:</i> 10018495	SSE	0.08 / 408.22	187	26
4	AST	Silverton Junction Repeater	Silverton Junction Repeater Silverton CO 81433 <i>Facility ID:</i> 14907 <i>Tank Tag Tank Status:</i> 14907-1 Currently In Use	NNE	0.16 / 859.02	-109	27
5	UST	The WhistleStop Station	315 Greene St Silverton CO 81433 <i>Facility ID:</i> 4047 <i>Tank Tag Tank Status:</i> 4047-4 Currently In Use, 4047-5 Currently In Use, 4047-3 Permanently Closed, 4047-1 Permanently Closed, 4047-2 Permanently Closed, 4047-5 Currently In Use	ENE	0.17 / 889.05	-120	29
6	MRDS	RICKER GROUP	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID:</i> 10265016	S	0.18 / 945.68	385	35
7	MRDS	LITTLE DORA	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID:</i> 10289472	S	0.19 / 1,011.79	393	36
8	MRDS	HAWKEYE	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID:</i> 10192113	S	0.22 / 1,166.66	413	36
9	MRDS	BLUE JAY	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID:</i> 10239922	S	0.22 / 1,168.33	556	37
10	MRDS	GLADSTONE	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID:</i> 10215964	WSW	0.22 / 1,170.33	530	38

Map Key	DB	Company/Site Name	Address	Direction	Distance (mi/ft)	Elev Diff (ft)	Page Number
11	UST	Silverton 66	US Hwy 550 & Hwy 110 Silverton CO 81433 <i>Facility ID:</i> 1043 <i>Tank Tag / Tank Status:</i> 1043-1 Permanently Closed, 1043-2 Permanently Closed	ENE	0.22 / 1,172.56	-113	39
12	FED BROWNFIELDS	Martha Rose/Walsh Smelter	E corner of US Highway 550 and San Juan Co. Rd 6 E corner of US Highway 550 and San Juan Co. Rd 6 Silverton CO 81433 <i>Property ID:</i> 56321	NNW	0.26 / 1,370.67	-73	41
13	MRDS	VICTORIA	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID:</i> 10215728	N	0.29 / 1,522.69	-52	52
14	SUPERFUND NRD	Bonita Peak Mining District/BPM	CO	NW	0.30 / 1,583.45	-65	53
15	SEMS	NORTH STAR	Off of Highway 550 at South end of Silverton Along dirt road adjacent to Mineral Creek SILVERTON CO 81433 <i>EPA ID:</i> CON000821039	NW	0.32 / 1,714.71	-13	53
16	MRDS	NORTH STAR	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID:</i> 10018494	WNW	0.37 / 1,965.84	173	54
17	MRDS	JENNIE PARKER	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID:</i> 10192387	S	0.37 / 1,971.76	429	55
18	LST	CDOT Silverton	665 Reese St Silverton CO 81433 <i>Facility ID:</i> 7526 <i>Event ID / Status:</i> 615 Closed	NE	0.39 / 2,066.39	-97	56
19	MRDS	SULTAN MOUNTAIN	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID:</i> 10008738	WSW	0.40 / 2,086.93	979	57
20	LST	Town Of Silverton	450 Green St Silverton CO 81433 <i>Facility ID:</i> 7655 <i>Event ID / Status:</i> 4369 Closed	ENE	0.40 / 2,117.47	-102	58
21	MRDS	NORTH STAR-SULTAN	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID:</i> 10264976	WNW	0.43 / 2,255.37	191	59
22	LST	Silverton Grocery	717 Greene St Silverton CO 81433 <i>Facility ID:</i> 2517 <i>Event ID / Status:</i> 11166 Closed, 12105 Closed	ENE	0.44 / 2,335.79	-99	60
23	MRDS	IDEAL PLACER	SAN JUAN COUNTY SILVERTON CO 81433	SSE	0.59 / 3,118.68	-59	62

Map Key	DB	Company/Site Name	Address	Direction	Distance (mi/ft)	Elev Diff (ft)	Page Number
			<i>Dep ID: 10118828</i>				
<u>24</u>	MRDS	MARCELLA	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10289373</i>	ESE	0.67 / 3,555.06	34	<u>62</u>
<u>25</u>	MRDS	HERCULES	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10018493</i>	SSW	0.68 / 3,599.11	1578	<u>63</u>
<u>25</u>	MRDS	NORTH STAR	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10108411</i>	SSW	0.68 / 3,599.11	1578	<u>64</u>
<u>25</u>	MRDS	DORA	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10018496</i>	SSW	0.68 / 3,599.11	1578	<u>65</u>
<u>26</u>	MRDS	ANVIL MOUNTAIN SOUTH	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10143549</i>	NW	0.70 / 3,673.52	42	<u>65</u>
<u>27</u>	MRDS	COMING WONDER EMERALD MINE	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10167506</i>	N	0.73 / 3,845.52	876	<u>66</u>
<u>28</u>	MRDS	DORA	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10143211</i>	NE	0.75 / 3,977.50	-72	<u>67</u>
<u>29</u>	MRDS	IDAHO	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10118736</i>	E	0.76 / 4,026.06	543	<u>68</u>
<u>30</u>	MRDS	LITTLE DORA	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10018497</i>	E	0.76 / 4,037.90	11	<u>68</u>
<u>30</u>	MRDS	CORNING WONDER MINE	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10108413</i>	E	0.76 / 4,037.90	11	<u>69</u>
<u>31</u>	MRDS	MIGHTY MONARCH ET AL	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10009469</i>	SE	0.77 / 4,079.13	-145	<u>70</u>
<u>32</u>	MRDS	MYSTERY GROUP, FAIRVIEW	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10265022</i>	SSE	0.82 / 4,335.71	-124	<u>71</u>
<u>33</u>	MRDS	ALETHEA GROUP	SAN JUAN COUNTY SILVERTON CO 81433	SSE	0.84 / 4,427.81	314	<u>72</u>

Map Key	DB	Company/Site Name	Address	Direction	Distance (mi/ft)	Elev Diff (ft)	Page Number
			<i>Dep ID: 10119358</i>				
<u>34</u>	MRDS	MIGHTY MONARCH	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10143379</i>	E	0.85 / 4,469.15	791	<u>72</u>
<u>35</u>	MRDS	FAIRVIEW	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10018491</i>	SSE	0.85 / 4,473.99	241	<u>73</u>
<u>35</u>	MRDS	FAIRVIEW	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10289116</i>	SSE	0.85 / 4,473.99	241	<u>74</u>
<u>36</u>	MRDS	UNKNOWN GROUP	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10289156</i>	NNE	0.86 / 4,517.48	544	<u>74</u>
<u>37</u>	MRDS	MYSTERY GOLD GROUP	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10167731</i>	S	0.86 / 4,525.90	659	<u>75</u>
<u>38</u>	MRDS	UNKNOWN	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10216008</i>	WNW	0.87 / 4,608.35	308	<u>76</u>
<u>39</u>	MRDS	CLARA	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10192289</i>	ESE	0.91 / 4,808.09	1121	<u>77</u>
<u>40</u>	MRDS	SILVERTON RESERVOIR BOG IRON DEPOSIT	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10018500</i>	ENE	0.91 / 4,823.12	-70	<u>77</u>
<u>41</u>	MRDS	BELCHER	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10192191</i>	WSW	0.93 / 4,888.94	1756	<u>78</u>
<u>42</u>	MRDS	JONES MILL	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10215875</i>	WNW	0.95 / 5,039.97	64	<u>79</u>

Executive Summary: Summary by Data Source

Standard

Federal

SEMS - SEMS List 8R Active Site Inventory

A search of the SEMS database, dated Mar 27, 2024 has found that there are 1 SEMS site(s) within approximately 0.50miles of the project property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
NORTH STAR	Off of Highway 550 at South end of Silverton Along dirt road adjacent to Mineral Creek SILVERTON CO 81433 <i>EPA ID: CON000821039</i>	NW	0.32 / 1,714.71	15

FED BROWNFIELDS - The Assessment, Cleanup and Redevelopment Exchange System (ACRES) Brownfield Database

A search of the FED BROWNFIELDS database, dated Feb 7, 2024 has found that there are 1 FED BROWNFIELDS site(s) within approximately 0.50miles of the project property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
Martha Rose/Walsh Smelter	E corner of US Highway 550 and San Juan Co. Rd 6 E corner of US Highway 550 and San Juan Co. Rd 6 Silverton CO 81433 <i>Property ID: 56321</i>	NNW	0.26 / 1,370.67	12

State

LST - Leaking Storage Tanks

A search of the LST database, dated Mar 18, 2024 has found that there are 3 LST site(s) within approximately 0.50miles of the project property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
CDOT Silverton	665 Reese St Silverton CO 81433 <i>Facility ID: 7526 Event ID Status: 615 Closed</i>	NE	0.39 / 2,066.39	18
Town Of Silverton	450 Green St Silverton CO 81433 <i>Facility ID: 7655 Event ID Status: 4369 Closed</i>	ENE	0.40 / 2,117.47	20
Silverton Grocery	717 Greene St Silverton CO 81433 <i>Facility ID: 2517 Event ID Status: 11166 Closed, 12105 Closed</i>	ENE	0.44 / 2,335.79	22

UST - Underground Storage Tanks

A search of the UST database, dated Mar 18, 2024 has found that there are 2 UST site(s) within approximately 0.25miles of the project property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
The WhistleStop Station	315 Greene St Silverton CO 81433	ENE	0.17 / 889.05	5
Facility ID: 4047 Tank Tag / Tank Status: 4047-4 Currently In Use, 4047-5 Currently In Use, 4047-3 Permanently Closed, 4047-1 Permanently Closed, 4047-2 Permanently Closed, 4047-5 Currently In Use				
Silverton 66	US Hwy 550 & Hwy 110 Silverton CO 81433	ENE	0.22 / 1,172.56	11
Facility ID: 1043 Tank Tag / Tank Status: 1043-1 Permanently Closed, 1043-2 Permanently Closed				

AST - Aboveground Storage Tanks

A search of the AST database, dated Mar 18, 2024 has found that there are 1 AST site(s) within approximately 0.25miles of the project property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
Silverton Junction Repeater	Silverton Junction Repeater Silverton CO 81433	NNE	0.16 / 859.02	4
Facility ID: 14907 Tank Tag / Tank Status: 14907-1 Currently In Use				

SUPERFUND NRD - Superfund National Priorities List and Natural Resource Damages sites

A search of the SUPERFUND NRD database, dated Apr 16, 2024 has found that there are 1 SUPERFUND NRD site(s) within approximately 1.00miles of the project property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
Bonita Peak Mining District/BPM	CO	NW	0.30 / 1,583.45	14

Non Standard

Federal

MRDS - Mineral Resource Data System

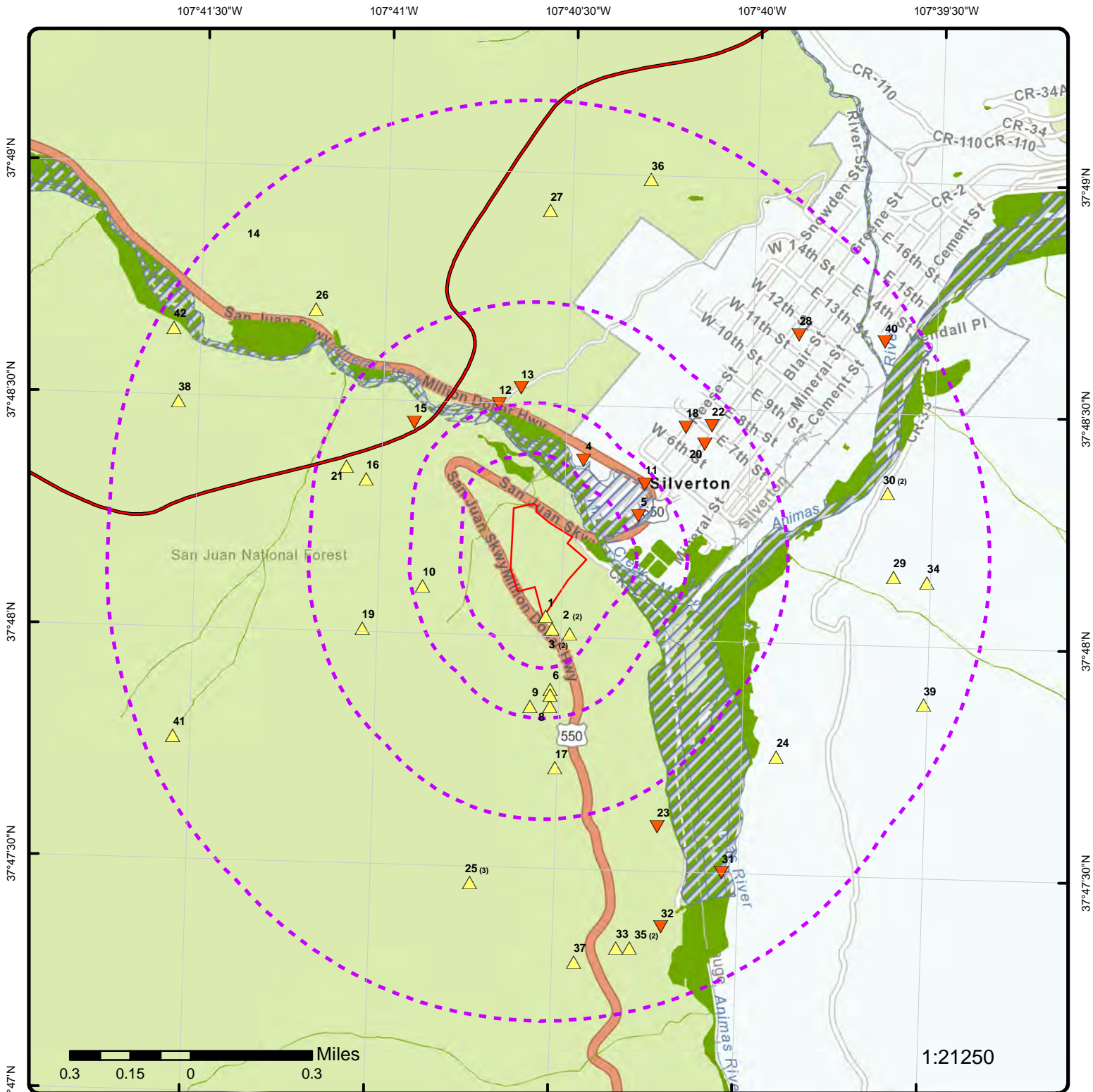
A search of the MRDS database, dated Mar 15, 2016 has found that there are 39 MRDS site(s) within approximately 1.00miles of the project property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
MINERAL CREEK	SAN JUAN COUNTY SILVERTON CO 81433	S	0.00 / 21.33	1
Dep ID: 10216183				
BOSTON GROUP	SAN JUAN COUNTY SILVERTON CO 81433	SSE	0.04 / 185.45	2
Dep ID: 10191673				

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
AJAX	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10216062</i>	SSE	0.04 / 185.45	<u>2</u>
EMPIRE GROUP	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10018495</i>	SSE	0.08 / 408.22	<u>3</u>
EMPIRE GROUP	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10119158</i>	SSE	0.08 / 408.22	<u>3</u>
RICKER GROUP	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10265016</i>	S	0.18 / 945.68	<u>6</u>
LITTLE DORA	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10289472</i>	S	0.19 / 1,011.79	<u>7</u>
HAWKEYE	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10192113</i>	S	0.22 / 1,166.66	<u>8</u>
BLUE JAY	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10239922</i>	S	0.22 / 1,168.33	<u>9</u>
GLADSTONE	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10215964</i>	WSW	0.22 / 1,170.33	<u>10</u>
NORTH STAR	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10018494</i>	WNW	0.37 / 1,965.84	<u>16</u>
JENNIE PARKER	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10192387</i>	S	0.37 / 1,971.76	<u>17</u>
SULTAN MOUNTAIN	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10008738</i>	WSW	0.40 / 2,086.93	<u>19</u>
NORTH STAR-SULTAN	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10264976</i>	WNW	0.43 / 2,255.37	<u>21</u>
MARCELLA	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10289373</i>	ESE	0.67 / 3,555.06	<u>24</u>

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
HERCULES	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10018493</i>	SSW	0.68 / 3,599.11	<u>25</u>
NORTH STAR	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10108411</i>	SSW	0.68 / 3,599.11	<u>25</u>
DORA	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10018496</i>	SSW	0.68 / 3,599.11	<u>25</u>
ANVIL MOUNTAIN SOUTH	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10143549</i>	NW	0.70 / 3,673.52	<u>26</u>
COMING WONDER EMERALD MINE	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10167506</i>	N	0.73 / 3,845.52	<u>27</u>
IDAHO	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10118736</i>	E	0.76 / 4,026.06	<u>29</u>
LITTLE DORA	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10018497</i>	E	0.76 / 4,037.90	<u>30</u>
CORNING WONDER MINE	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10108413</i>	E	0.76 / 4,037.90	<u>30</u>
ALETHEA GROUP	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10119358</i>	SSE	0.84 / 4,427.81	<u>33</u>
MIGHTY MONARCH	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10143379</i>	E	0.85 / 4,469.15	<u>34</u>
FAIRVIEW	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10018491</i>	SSE	0.85 / 4,473.99	<u>35</u>
FAIRVIEW	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10289116</i>	SSE	0.85 / 4,473.99	<u>35</u>
UNKNOWN GROUP	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10289156</i>	NNE	0.86 / 4,517.48	<u>36</u>

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
MYSTERY GOLD GROUP	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10167731</i>	S	0.86 / 4,525.90	37
UNKNOWN	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10216008</i>	WNW	0.87 / 4,608.35	38
CLARA	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10192289</i>	ESE	0.91 / 4,808.09	39
BELCHER	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10192191</i>	WSW	0.93 / 4,888.94	41
JONES MILL	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10215875</i>	WNW	0.95 / 5,039.97	42
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
VICTORIA	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10215728</i>	N	0.29 / 1,522.69	13
IDEAL PLACER	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10118828</i>	SSE	0.59 / 3,118.68	23
DORA	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10143211</i>	NE	0.75 / 3,977.50	28
MIGHTY MONARCH ET AL	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10009469</i>	SE	0.77 / 4,079.13	31
MYSTERY GROUP, FAIRVIEW	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10265022</i>	SSE	0.82 / 4,335.71	32
SILVERTON RESERVOIR BOG IRON DEPOSIT	SAN JUAN COUNTY SILVERTON CO 81433 <i>Dep ID: 10018500</i>	ENE	0.91 / 4,823.12	40



Map: 1.0 Mile Radius

Order Number: 24052300616

Address: Highway 550 North, Silverton, CO



Project Property

Buffer Outline

▲ Sites with Higher Elevation

▲ Sites with Same Elevation

▼ Sites with Lower Elevation

○ Sites with Unknown Elevation

Areas with Higher Elevation

Areas with Same Elevation

Areas with Lower Elevation

Areas with Unknown Elevation

Freeways; Highways

Traffic Circle; Ramp

Major & Minor Arterial

Traffic Circle; Ramp

Local Road

Rail

State

Country

National Wetland

Indian Reserve Land

100 Year Flood Zone

500 Year Flood Zone

FWS Special Designation Areas

National Priorities List (Active, Delisted, Proposed, Institutional Control)

107°41'W

107°40'30"W

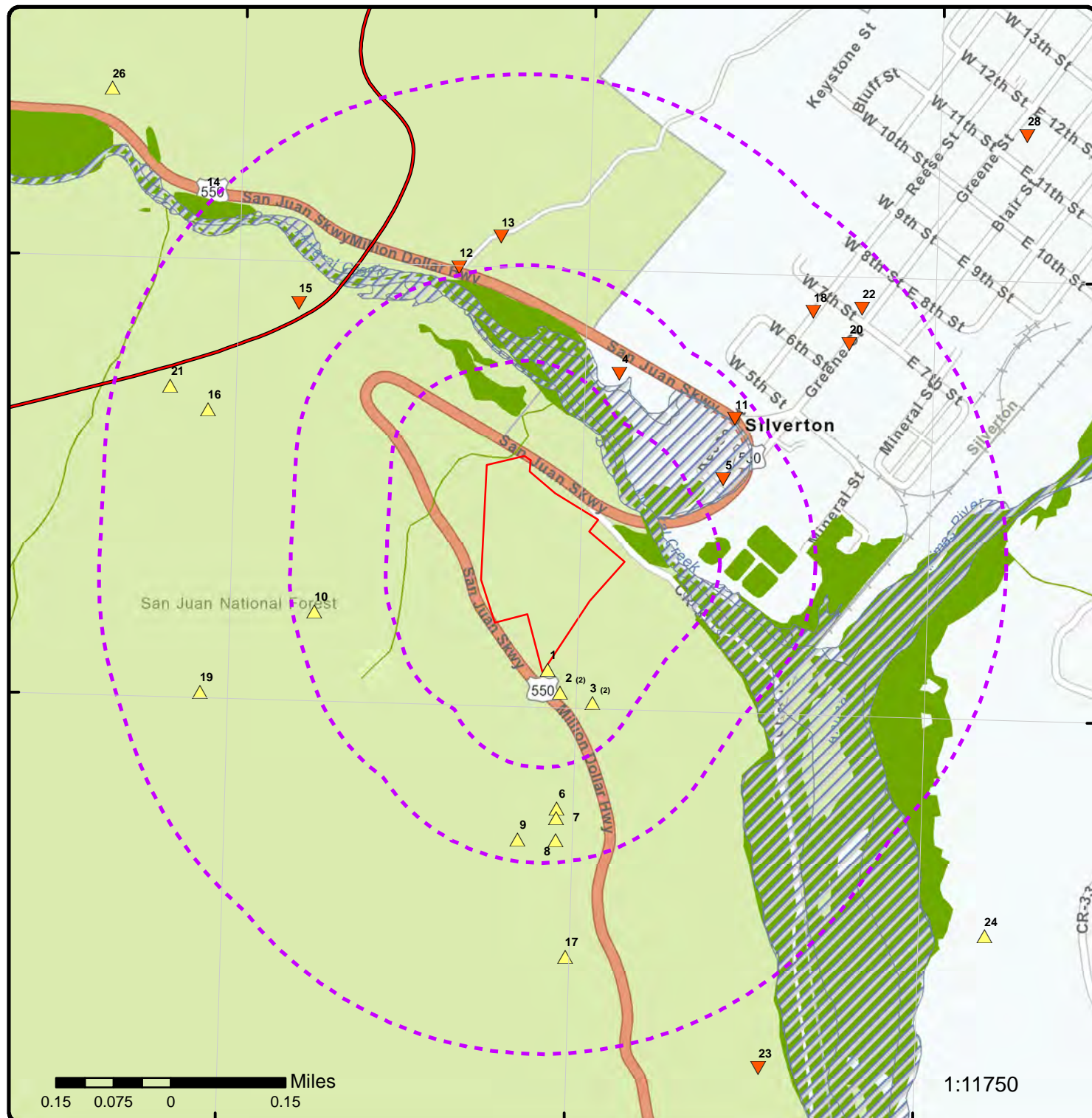
107°40'W

37°48'30"N

37°48'N

37°48'30"N

37°48'N



Map: 0.5 Mile Radius

Order Number: 24052300616

Address: Highway 550 North, Silverton, CO



Project Property

Buffer Outline

Sites with Higher Elevation

Sites with Same Elevation

Sites with Lower Elevation

Sites with Unknown Elevation

Areas with Higher Elevation

Areas with Same Elevation

Areas with Lower Elevation

Areas with Unknown Elevation

Freeways; Highways

Traffic Circle; Ramp

Major & Minor Arterial

Traffic Circle; Ramp

Local Road

Rail

State

Country

National Wetland

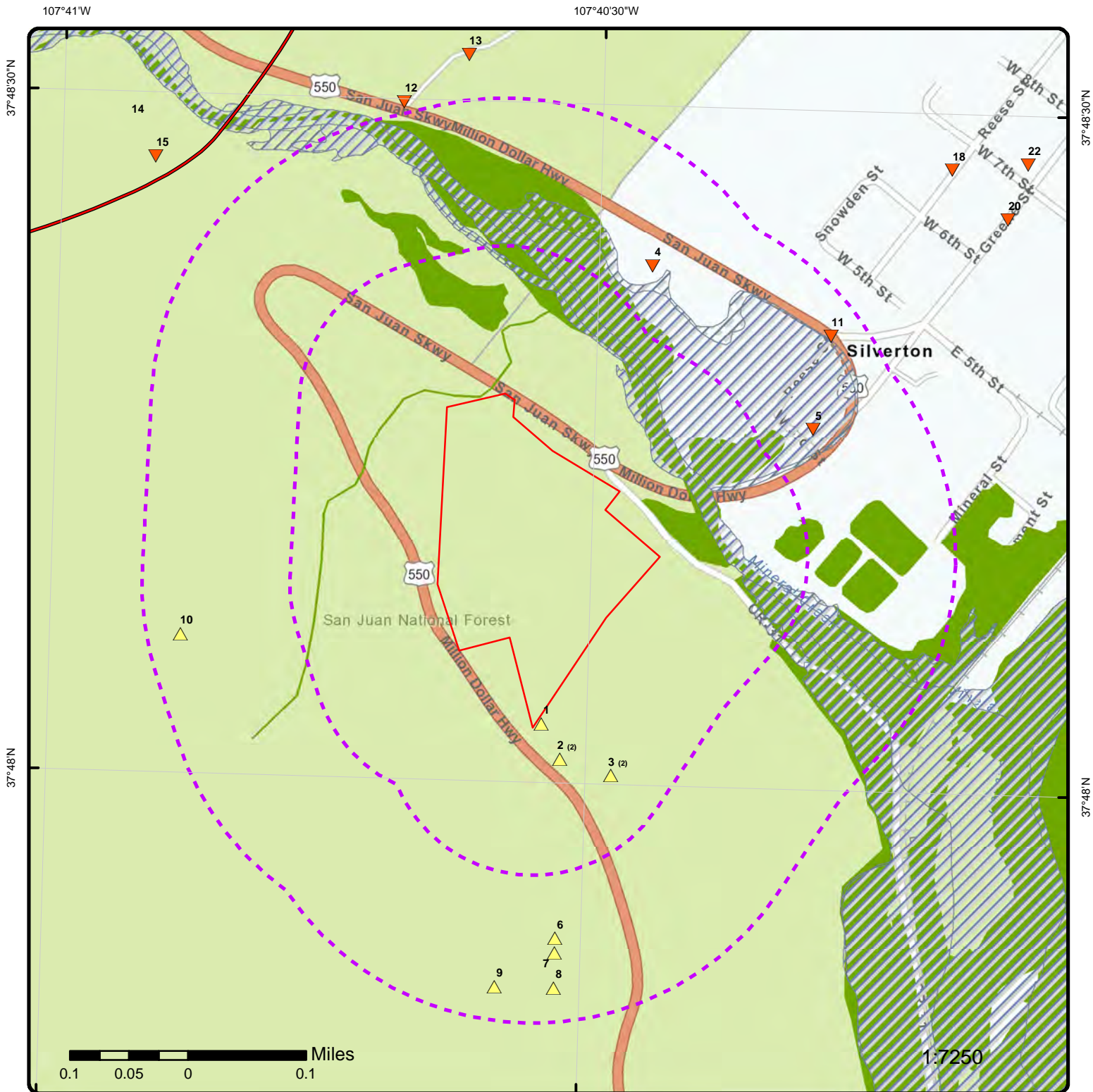
Indian Reserve Land

100 Year Flood Zone

500 Year Flood Zone

FWS Special Designation Areas

National Priorities List (Active, Delisted, Proposed, Institutional Control)



Map: 0.25 Mile Radius

Order Number: 24052300616

Address: Highway 550 North, Silverton, CO



Project Property

Buffer Outline

Sites with Higher Elevation

Sites with Same Elevation

Sites with Lower Elevation

Sites with Unknown Elevation

Areas with Higher Elevation

Areas with Same Elevation

Areas with Lower Elevation

Areas with Unknown Elevation

Freeways; Highways

Traffic Circle; Ramp

Major & Minor Arterial

Traffic Circle; Ramp

Local Road

Rail

State

Country

National Wetland

Indian Reserve Land

100 Year Flood Zone

500 Year Flood Zone

FWS Special Designation Areas

National Priorities List (Active, Delisted, Proposed, Institutional Control)

107°41'W

107°40'30"W

107°40'W

37°48'30"N

37°48'N

37°48'30"N

37°48'N



Aerial Year: 2017

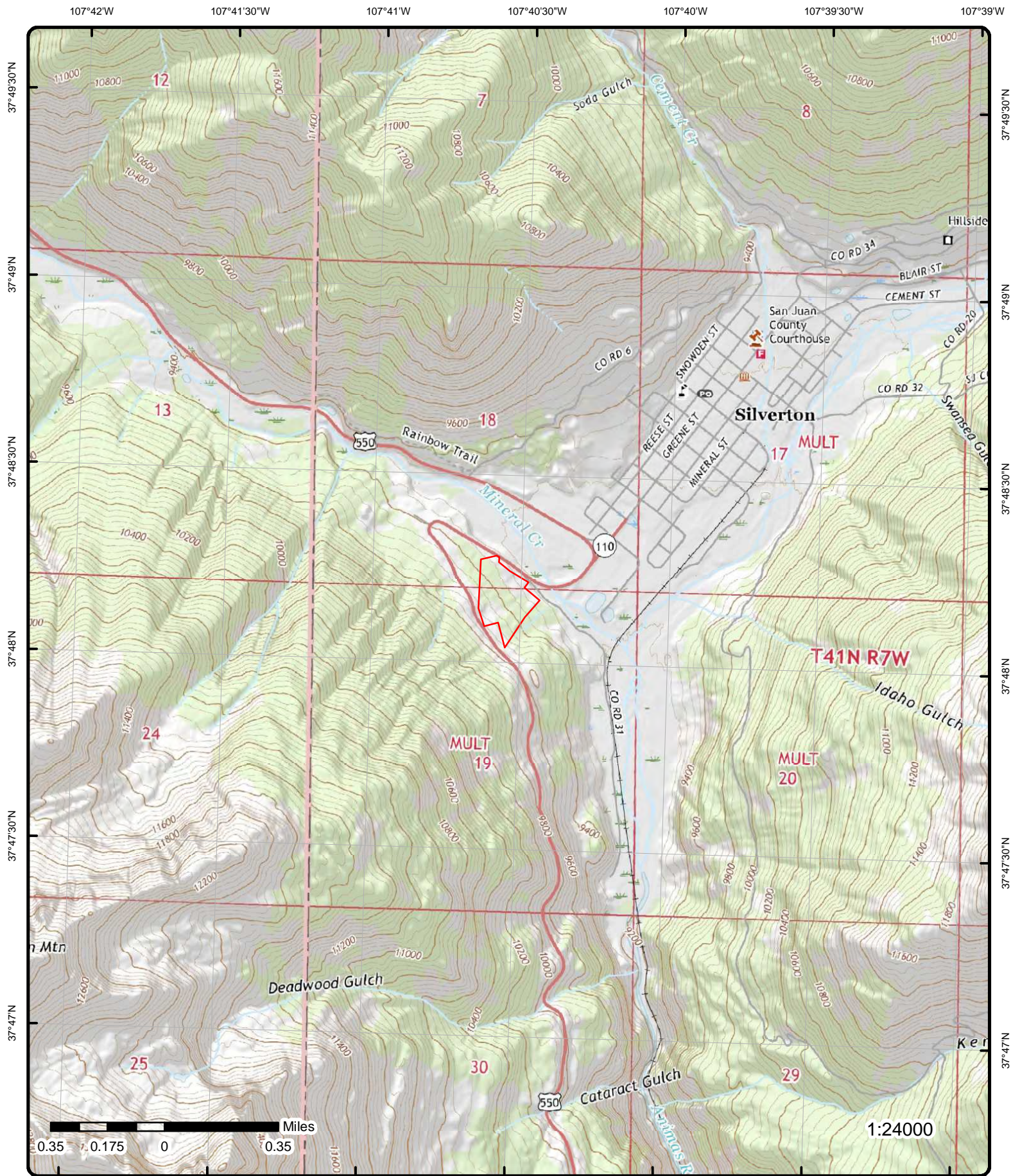
Address: Highway 550 North, Silverton, CO

Source: ESRI World Imagery

Order Number: 24052300616



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Topographic Map

Year: 2019

Order Number: 24052300616

Address: Highway 550 North, CO

Quadrangle(s): Silverton CO

Source: USGS Topographic Map



© ERIS Information Inc.

Detail Report

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
1	1 of 1	S	0.00 / 21.33	9,497.24 / 124	MINERAL CREEK SAN JUAN COUNTY SILVERTON CO 81433	MRDS
<hr/>						
Dep ID:	10216183			I1:	13	
Dev Status:	PAST PRODUCER			Latitude:	37.80072	
Code List:	AU CU			Longitude:	-107.675598	
Url:	http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10216183					
<hr/>						
<u>Commodity</u>						
I1:	16			Line:	4	
Code:	AG			Inserted By:	MAS migration	
Commodity:	Silver			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Silver			Update Date:	29-OCT-2002 09:02:39	
Importance:	Tertiary					
I1:	24			Line:	3	
Code:	PB			Inserted By:	MAS migration	
Commodity:	Lead			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Lead			Update Date:	29-OCT-2002 09:01:57	
Importance:	Tertiary					
I1:	34			Line:	1	
Code:	CU			Inserted By:	MAS migration	
Commodity:	Copper			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Copper			Update Date:	29-OCT-2002 09:01:57	
Importance:	Tertiary					
I1:	34			Line:	2	
Code:	AU			Inserted By:	MAS migration	
Commodity:	Gold			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Gold			Update Date:	29-OCT-2002 09:01:57	
Importance:	Primary					
<hr/>						
<u>Names</u>						
I1:	35			Inserted By:	MAS migration	
Status:	Current			Insert Date:	29-OCT-02	
Site Name:	Mineral Creek			Updated By:	USGS	
Line:	1			Update Date:	29-OCT-02	
<hr/>						
2	1 of 2	SSE	0.04 / 185.45	9,530.27 / 157	AJAX SAN JUAN COUNTY SILVERTON CO 81433	MRDS
Dep ID:	10216062			I1:	22	
Dev Status:	PAST PRODUCER			Latitude:	37.800293	
Code List:	AG CU			Longitude:	-107.675293	
Url:	http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10216062					

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Commodity

I1:	15			Line:	4
Code:	AG			Inserted By:	MAS migration
Commodity:	Silver			Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic			Updated By:	USGS
Commodity Group:	Silver			Update Date:	29-OCT-2002 09:02:39
Importance:	Primary				
I1:	24			Line:	1
Code:	CU			Inserted By:	MAS migration
Commodity:	Copper			Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic			Updated By:	USGS
Commodity Group:	Copper			Update Date:	29-OCT-2002 09:01:57
Importance:	Tertiary				
I1:	24			Line:	2
Code:	AU			Inserted By:	MAS migration
Commodity:	Gold			Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic			Updated By:	USGS
Commodity Group:	Gold			Update Date:	29-OCT-2002 09:01:57
Importance:	Tertiary				
I1:	24			Line:	5
Code:	ZN			Inserted By:	MAS migration
Commodity:	Zinc			Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic			Updated By:	USGS
Commodity Group:	Zinc			Update Date:	29-OCT-2002 09:01:57
Importance:	Tertiary				
I1:	24			Line:	3
Code:	PB			Inserted By:	MAS migration
Commodity:	Lead			Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic			Updated By:	USGS
Commodity Group:	Lead			Update Date:	29-OCT-2002 09:01:57
Importance:	Tertiary				

Names

I1:	24			Inserted By:	MAS migration
Status:	Current			Insert Date:	29-OCT-02
Site Name:	Ajax			Updated By:	USGS
Line:	1			Update Date:	29-OCT-02

Names

I1:	24			Inserted By:	MAS migration
Status:	Previous			Insert Date:	29-OCT-02
Site Name:	Hercules			Updated By:	USGS
Line:	2			Update Date:	29-OCT-02

2	2 of2	SSE	0.04 / 185.45	9,530.27 / 157	BOSTON GROUP SAN JUAN COUNTY SILVERTON CO 81433	MRDS
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Dep ID:	10191673	I1:	28
Dev Status:	PAST PRODUCER	Latitude:	37.800293
Code List:	AG AU	Longitude:	-107.675293
Url:	http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10191673		

Commodity

I1:	80	Line:	1
Code:	AU	Inserted By:	MAS migration

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Commodity:	Gold				Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic				Updated By:	USGS
Commodity Group:	Gold				Update Date:	29-OCT-2002 09:01:48
Importance:	Tertiary					
I1:	80				Line:	2
Code:	PB				Inserted By:	MAS migration
Commodity:	Lead				Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic				Updated By:	USGS
Commodity Group:	Lead				Update Date:	29-OCT-2002 09:01:48
Importance:	Tertiary					
I1:	79				Line:	5
Code:	ZN				Inserted By:	MAS migration
Commodity:	Zinc				Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic				Updated By:	USGS
Commodity Group:	Zinc				Update Date:	29-OCT-2002 09:01:48
Importance:	Tertiary					
I1:	19				Line:	3
Code:	AG				Inserted By:	MAS migration
Commodity:	Silver				Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic				Updated By:	USGS
Commodity Group:	Silver				Update Date:	29-OCT-2002 09:01:48
Importance:	Primary					
<u>Names</u>						
I1:	35				Inserted By:	MAS migration
Status:	Current				Insert Date:	29-OCT-02
Site Name:	Boston Group				Updated By:	USGS
Line:	1				Update Date:	29-OCT-02

3 1 of2 **SSE** **0.08 / 408.22** **9,560.30 / 187** **EMPIRE GROUP** **SAN JUAN COUNTY** **SILVERTON CO 81433** **MRDS**

Dep ID: 10119158 **I1:** 17
Dev Status: PAST PRODUCER **Latitude:** 37.80011
Code List: AG CU **Longitude:** -107.6745
Url: http://mrddata.usgs.gov/mrds/show-mrds.php?dep_id=10119158

Commodity

I1: 20 **Line:** 1
Code: CU **Inserted By:** MAS migration
Commodity: Copper **Insert Date:** 29-OCT-2002 09:00:24
Commodity Type: Metallic **Updated By:** USGS
Commodity Group: Copper **Update Date:** 29-OCT-2002 09:01:21
Importance: Tertiary

I1: 20 **Line:** 5
Code: ZN **Inserted By:** MAS migration
Commodity: Zinc **Insert Date:** 29-OCT-2002 09:00:24
Commodity Type: Metallic **Updated By:** USGS
Commodity Group: Zinc **Update Date:** 29-OCT-2002 09:01:21
Importance: Tertiary

I1: 20 **Line:** 3
Code: PB **Inserted By:** MAS migration
Commodity: Lead **Insert Date:** 29-OCT-2002 09:00:24
Commodity Type: Metallic **Updated By:** USGS
Commodity Group: Lead **Update Date:** 29-OCT-2002 09:01:21
Importance: Tertiary

I1: 20 **Line:** 4

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Code:	AG				Inserted By:	MAS migration
Commodity:	Silver				Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic				Updated By:	USGS
Commodity Group:	Silver				Update Date:	29-OCT-2002 09:01:21
Importance:	Primary					
I1:	20				Line:	2
Code:	AU				Inserted By:	MAS migration
Commodity:	Gold				Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic				Updated By:	USGS
Commodity Group:	Gold				Update Date:	29-OCT-2002 09:01:21
Importance:	Tertiary					
<u>Names</u>						
I1:	35				Inserted By:	MAS migration
Status:	Current				Insert Date:	29-OCT-02
Site Name:	Empire Group				Updated By:	USGS
Line:	1				Update Date:	29-OCT-02

<u>3</u>	2 of 2	SSE	0.08 / 408.22	9,560.30 / 187	EMPIRE GROUP SAN JUAN COUNTY SILVERTON CO 81433	MRDS
Dep ID:	10018495				I1:	22
Dev Status:	OCCURRENCE				Latitude:	37.80011
Code List:	AG				Longitude:	-107.6745
Url:	http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10018495					

<u>Commodity</u>						
I1:	10				Line:	1
Code:	AG				Inserted By:	MRDS migration
Commodity:	Silver				Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic				Updated By:	USGS
Commodity Group:	Silver				Update Date:	29-OCT-2002 09:00:34
Importance:	Primary					
I1:	10				Line:	5
Code:	AU				Inserted By:	MRDS migration
Commodity:	Gold				Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic				Updated By:	USGS
Commodity Group:	Gold				Update Date:	29-OCT-2002 09:00:34
Importance:	Primary					
I1:	10				Line:	2
Code:	CU				Inserted By:	MRDS migration
Commodity:	Copper				Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic				Updated By:	USGS
Commodity Group:	Copper				Update Date:	29-OCT-2002 09:00:34
Importance:	Primary					
I1:	10				Line:	4
Code:	ZN				Inserted By:	MRDS migration
Commodity:	Zinc				Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic				Updated By:	USGS
Commodity Group:	Zinc				Update Date:	29-OCT-2002 09:00:34
Importance:	Primary					
I1:	10				Line:	3
Code:	PB				Inserted By:	MRDS migration
Commodity:	Lead				Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic				Updated By:	USGS
Commodity Group:	Lead				Update Date:	29-OCT-2002 09:00:34
Importance:	Primary					

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
<u>Materials</u>						
I1:	83				Inserted B:	MRDS migration
Material:	Tetrahedrite				Insert Dat:	29-OCT-2002 09:44:3
Ore or Gangue:	Ore				Updated By:	
Rec:	3				Update Dat:	
I1:	12				Inserted B:	MRDS migration
Material:	Sphalerite				Insert Dat:	29-OCT-2002 09:44:3
Ore or Gangue:	Ore				Updated By:	
Rec:	2				Update Dat:	
I1:	83				Inserted B:	MRDS migration
Material:	Galena				Insert Dat:	29-OCT-2002 09:44:3
Ore or Gangue:	Ore				Updated By:	
Rec:	1				Update Dat:	
<u>Names</u>						
I1:	91				Inserted By:	MRDS migration
Status:	Current				Insert Date:	29-OCT-02
Site Name:	Empire Group				Updated By:	USGS
Line:	1				Update Date:	29-OCT-02

<u>4</u>	1 of 1	NNE	0.16 / 859.02	9,264.84 / -109	Silverton Junction Repeater Silverton Junction Repeater Silverton CO 81433	AST
Facility ID:	14907			Fac Category (OPS):	Other	
Fac Category (CDLE):	Other			Facility Type (OPS):	Non-Retail	
Fac Type (CDLE):	Non-Retail			Facility Name(OPS):	Silverton Junction Repeater	
Fac Name (CDLE):	Silverton Junction Repeater			Address (OPS):	Silverton Junction Repeater	
Address (CDLE):	Silverton Junction Repeater			City (OPS):	Silverton	
City (CDLE):	Silverton			County (OPS):	San Juan	
County (CDLE):	San Juan			Zip Code (OPS):	81433	
Zip (CDLE):	81433			Latitude (OPS):	37.80637	
State (CDLE):	Colorado			Longitude (OPS):	-107.674082	
Latitude (CDLE):	37.80637			Lat/Long (OPS):	37.80637, -107.674082	
Longitude (CDLE):	-107.674082					
Fac Name (COSTIS):	Silverton Junction Repeater					
Address (COSTIS):	Silverton Junction Repeater Silverton 81433					
County (COSTIS):	San Juan					
Data Source(s):	Colorado Department of Labor and Employment (CDLE) Oil & Public Safety (OPS) Regulated Storage Tanks; Colorado Information Marketplace Oil & Public Safety (OPS) Regulated Storage Tanks; Colorado Storage Tank Information System (COSTIS, as of October 2021) **Note: Many records provided by the department have a truncated [Data Source(s)] field.					

Facility Information (CDLE)

Count of Tank Tag:	1	Owner ID:	OWNR-8025
No. Dispensers:	0	Accnt Holdr Name:	Century Link QC

Owner Information (CDLE)

Company Name:	Century Link QC	First Name:	
Contact Name:	Century Link QC	Middle Init:	
Role:	Facility Owner	Last Name:	Century Link QC
Address:	100 Centurytel Dr, Monroe, LA 71203		
Comment:	Owner address is for billing & records info (Robin Seguin, Safety & Environ. Actual facility owner is: Qwest Communications, 1801 California St, Denver, 80202; However, all communication requests are to go to 1855 S Flatiron Ct, Boulder, 80301 Barb Dows **Note: data in the [Comment] field for some records is truncated from the source.		

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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UST Tanks (COSTIS) (As of October 2021)

Tank Tag:	14907-1	Product Name:	Diesel
Tank ID:	32783	Tank Owner:	
Tank Type Desc:	AST	Owner ID:	8025
Capacity:	1000	County:	San Juan
Facility Owner:	Century Link QC		
Facility Name Address:	Silverton Junction Repeater Silverton Junction Repeater Silverton 81433		

UST Owner (COSTIS) (As of October 2021)

Owner ID:	8025	Address1:	100 Centurytel Dr
First Name:		City:	Monroe
Middle Init:		State:	LA
Last Name:	Century Link QC	County:	Ouachita
Full Name:		Zip Code:	71203

UST Tanks 1 (CDLE)

Tank Tag:	14907-1	Overfill Preven:	ULL: AL: External Aud/Vis Alarm
Tank Type:	AST	Product Type/Name:	Diesel
Tank Status:	Currently In Use	Piping Wall Type:	Double-Walled
Capacity:	1000	Tank Wall Type:	
Install Date:	1/1/1996	Piping System:	
Date Closed:		Piping Type:	AG: Aboveground
Tank Material:	AST: UL2085/Equiv. (Protected)		
Piping Material:	AG: Aboveground Lines		

UST Tanks 2 (CDLE)

Closure Meth ID:		No Fee:	No
Unregulated:	FALSE	Anch Method Desc:	
Last Used Date:		Pipe Reld Meth1 ID:	T11/L11: Mthly Visual Insp (AST)
Del Prohib Date:		Pipe Reldet Date:	
Spill Protected:		Backfill Mat Desc:	
Spl Container Size:	5	Bfill DrtCvr Amt:	0
Spl Protection Dt:		Manifold:	No
Spl Container Mfg:		Registration Date:	7/6/2022
Spl Container Mdel:		Compartment:	FALSE
Tank Reld Meth1 ID:		Cpmet:	Yes
Tank Lining Date:		Invault:	FALSE
CP Test Date:			

Oil & Public Safety Regulated Storage Tanks (COSTIS)

Tank Tag:	14907-1	Leak Detector Type:	NA: Not Required
Tank Status:	Currently In Use	Capacity Gallons :	1000
Tank Type:	AST	Product:	Diesel
Tank Name:	TNK-029966	Piping Type:	AG: Aboveground
Installation Date:	1/1/1996	Piping System:	
Closure Date:		Piping Material:	AG: Aboveground Lines
Tank Material:	AST: UL2085/Equiv. (Protected)	Piping Wall Type:	Double-Walled
Tank Wall Type:		Address:	Silverton Junction Repeater
Facility Name:	Silverton Junction Repeater	City:	Silverton
Facility Type:	Non-Retail	County:	San Juan
Facility Category:	Other	ZIP Code:	81433
Overfill Preven:	ULL: AL: External Aud/Vis Alarm		
Tank Corsn Protection Meth:	No Electrolyte Contact		
Tank Rel Detn Mthd Primary:	T11/L11: Mthly Visual Insp (AST)		
Tank Rel Detn Mthd Secondary:			
Piping Corsn Protection (PCP):	Aboveground Line (n/a)		
PCP at Tank:	Aboveground Line (n/a)		
PCP at Dispenser:	Aboveground Line (n/a)		
Piping Rel Detn Mthd Primary:	T11/L11: Mthly Visual Insp (AST)		

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Piping Rel Detn Mthd
Secondary:

Oil & Public Safety Regulated Storage Tank Details

No of Tanks: 1

Facility Contact Details (CDLE)

Fac Contact Name:	FCON-002320	Active:	TRUE
Contact Last Name:	Century Link QC	Role:	Facility Owner

<u>5</u>	1 of 1	ENE	0.17 / 889.05	9,253.21 / -120	The WhistleStop Station 315 Greene St Silverton CO 81433	UST
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Facility ID:	4047	Fac Category (CDLE):	Retail Gas Station	Fac Category (OPS):	Retail Gas Station
Fac Type (CDLE):	Retail	Fac Type (OPS):	Retail	Facility Name (OPS):	The WhistleStop Station
Fac Name (CDLE):	The WhistleStop Station	Address (OPS):	315 Greene St	City (OPS):	Silverton
Address (CDLE):	315 Greene St	County (OPS):	San Juan	Zip Code (OPS):	81433
City (CDLE):	Silverton	Latitude (OPS):	37.811688	Longitude (OPS):	-107.66412
County (CDLE):	San Juan	Lat/Long (OPS):	37.811688, -107.66412		
State (CDLE):	Colorado				
Zip (CDLE):	81433				
Latitude (CDLE):	37.811688				
Longitude (CDLE):	-107.66412				
Fac Name (COSTIS):	San Juan Services				
Address (COSTIS):	315 Greene St Silverton 81433				
County (COSTIS):	San Juan				
Data Source(s):	Colorado Department of Labor and Employment (CDLE) Oil & Public Safety (OPS) Regulated Storage Tanks; Colorado Information Marketplace Oil & Public Safety (OPS) Regulated Storage Tanks; Colorado Storage Tank Information System (COSTIS, as of October 2021) **Note: Many records provided by the department have a truncated [Data Source(s)] field.				

Facility Information (CDLE)

Count of Tank Tag:	2	Owner ID:	
No. Dispensers:	22	Acctn Holdr Name:	Detour Management LLC

UST Tanks (COSTIS) (As of October 2021)

Tank Tag:	'4047-4	Product Name:	Unleaded Regular (RUL)
Tank ID:	39197	Tank Owner:	
Tank Type Desc:	UST	Owner ID:	22412
Capacity:	12000	County:	San Juan
Facility Owner:	John K. Demaree		
Facility Name Address:	San Juan Services 315 Greene St Silverton 81433		
Tank Tag:	'4047-5	Product Name:	Diesel/Gas (Multi-Comp)
Tank ID:	39198	Tank Owner:	
Tank Type Desc:	UST	Owner ID:	22412
Capacity:	12000	County:	San Juan
Facility Owner:	John K. Demaree		
Facility Name Address:	San Juan Services 315 Greene St Silverton 81433		
Tank Tag:	'4047-3	Product Name:	Gasoline
Tank ID:	11393	Tank Owner:	
Tank Type Desc:	UST	Owner ID:	22412
Capacity:	2000	County:	San Juan
Facility Owner:	John K. Demaree		
Facility Name Address:	San Juan Services 315 Greene St Silverton 81433		
Tank Tag:	'4047-1	Product Name:	Gasoline

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Tank ID:	11391				Tank Owner:	
Tank Type Desc:	UST				Owner ID:	22412
Capacity:	4000				County:	San Juan
Facility Owner:		John K. Demaree				
Facility Name Address:		San Juan Services	 315 Greene St	 Silverton 81433		

Tank Tag:	4047-2				Product Name:	Gasoline
Tank ID:	11392				Tank Owner:	
Tank Type Desc:	UST				Owner ID:	22412
Capacity:	2000				County:	San Juan
Facility Owner:		John K. Demaree				
Facility Name Address:		San Juan Services	 315 Greene St	 Silverton 81433		

UST Owner (COSTIS) (As of October 2021)

Owner ID:	22412	Address1:	PO Box 288
First Name:		City:	Silverton
Middle Init:		State:	CO
Last Name:	John K. Demaree	County:	San Juan
Full Name:	John K. Demaree;	Zip Code:	81433

UST Tanks 1 (CDLE)

Tank Tag:	4047-4	Overfill Preven:	BF: Ball Float Valve
Tank Type:	UST	Product Type/Name:	Unleaded Regular (RUL)
Tank Status:	Currently In Use	Piping Wall Type:	
Capacity:	12000	Tank Wall Type:	
Install Date:	9/14/2005	Piping System:	
Date Closed:		Piping Type:	UG: Underground
Tank Material:	ST: Cathodically Protected Steel		
Piping Material:	FLEX: Flexible Plastic		

UST Tanks 2 (CDLE)

Closure Meth ID:		No Fee:	No
Unregulated:	FALSE	Anch Method Desc:	
Last Used Date:		Pipe Reld Meth1 ID:	L5: Annual Tightness Testing
Del Prohib Date:		Pipe Reldet Date:	
Spill Protected:		Backfill Mat Desc:	
Spl Container Size:	5	Bfill DrtCvr Amt:	24
Spl Protection Dt:		Manifold:	No
Spl Container Mfg:	EBW	Registration Date:	5/11/2022
Spl Container Mdel:	705	Compartment:	FALSE
Tank Reld Meth1 ID:		Cpmet:	Yes
Tank Lining Date:		Invault:	FALSE
CP Test Date:			

UST Tanks 1 (CDLE)

Tank Tag:	4047-5	Overfill Preven:	BF: Ball Float Valve
Tank Type:	UST	Product Type/Name:	Unleaded Premium (PUL)
Tank Status:	Currently In Use	Piping Wall Type:	
Capacity:	12000	Tank Wall Type:	
Install Date:	9/14/2005	Piping System:	
Date Closed:		Piping Type:	UG: Underground
Tank Material:	ST: Cathodically Protected Steel		
Piping Material:	FLEX: Flexible Plastic		

UST Tanks 2 (CDLE)

Closure Meth ID:		No Fee:	No
Unregulated:	FALSE	Anch Method Desc:	NONE: Overburden Only
Last Used Date:		Pipe Reld Meth1 ID:	L5: Annual Tightness Testing

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
<hr/>						
Del Prohib Date:				Pipe Reldet Date:		
Spill Protected:				Backfill Mat Desc:	Pea Gravel	
Spl Container Size:	5			Bfill DrtCvr Amt:	24	
Spl Protection Dt:				Manifold:	No	
Spl Container Mfg:	EBW			Registration Date:	5/11/2022	
Spl Container Mdel:	705			Compartment:	TRUE	
Tank Reld Meth1 ID:				Cpmet:	Yes	
Tank Lining Date:				Invault:	FALSE	
CP Test Date:						
 <u>UST Tanks 1 (CDLE)</u>						
Tank Tag:	4047-3			Overfill Preven:	FV: Fill Tube Valve	
Tank Type:	UST			Product Type/Name:	Gasoline	
Tank Status:	Permanently Closed			Piping Wall Type:	None	
Capacity:	2000			Tank Wall Type:		
Install Date:	4/24/1974			Piping System:		
Date Closed:	5/5/2005			Piping Type:	Other	
Tank Material:		ST: Cathodically Protected Steel				
Piping Material:		Galvanized Steel				
 <u>UST Tanks 2 (CDLE)</u>						
Closure Meth ID:	Removed			No Fee:	No	
Unregulated:	FALSE			Anch Method Desc:		
Last Used Date:	10/22/2001			Pipe Reld Meth1 ID:	T4/L4: SIR	
Del Prohib Date:				Pipe Reldet Date:		
Spill Protected:				Backfill Mat Desc:		
Spl Container Size:	0			Bfill DrtCvr Amt:	0	
Spl Protection Dt:				Manifold:	No	
Spl Container Mfg:				Registration Date:		
Spl Container Mdel:				Compartment:	FALSE	
Tank Reld Meth1 ID:				Cpmet:	Yes	
Tank Lining Date:				Invault:	FALSE	
CP Test Date:						
 <u>UST Tanks 1 (CDLE)</u>						
Tank Tag:	4047-1			Overfill Preven:	FV: Fill Tube Valve	
Tank Type:	UST			Product Type/Name:	Gasoline	
Tank Status:	Permanently Closed			Piping Wall Type:	None	
Capacity:	4000			Tank Wall Type:		
Install Date:	4/24/1974			Piping System:		
Date Closed:	5/5/2005			Piping Type:	Other	
Tank Material:		ST: Cathodically Protected Steel				
Piping Material:		Galvanized Steel				
 <u>UST Tanks 2 (CDLE)</u>						
Closure Meth ID:	Removed			No Fee:	No	
Unregulated:	FALSE			Anch Method Desc:		
Last Used Date:	10/22/2001			Pipe Reld Meth1 ID:	T4/L4: SIR	
Del Prohib Date:				Pipe Reldet Date:		
Spill Protected:				Backfill Mat Desc:		
Spl Container Size:	0			Bfill DrtCvr Amt:	0	
Spl Protection Dt:				Manifold:	No	
Spl Container Mfg:				Registration Date:		
Spl Container Mdel:				Compartment:	FALSE	
Tank Reld Meth1 ID:				Cpmet:	Yes	
Tank Lining Date:				Invault:	FALSE	
CP Test Date:						
 <u>UST Tanks 1 (CDLE)</u>						

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
<hr/>						
Tank Tag:	4047-2			Overfill Preven:	FV: Fill Tube Valve	
Tank Type:	UST			Product Type/Name:	Gasoline	
Tank Status:	Permanently Closed			Piping Wall Type:	None	
Capacity:	2000			Tank Wall Type:		
Install Date:	4/24/1974			Piping System:		
Date Closed:	5/5/2005			Piping Type:	Other	
Tank Material:	ST: Cathodically Protected Steel					
Piping Material:	Galvanized Steel					
 <u>UST Tanks 2 (CDLE)</u>						
Closure Meth ID:	Removed			No Fee:	No	
Unregulated:	FALSE			Anch Method Desc:		
Last Used Date:	10/22/2001			Pipe Reld Meth1 ID:	T4/L4: SIR	
Del Prohib Date:				Pipe Reldet Date:		
Spill Protected:				Backfill Mat Desc:		
Spl Container Size:	0			Bfill DrtCvr Amt:	0	
Spl Protection Dt:				Manifold:	No	
Spl Container Mfg:				Registration Date:		
Spl Container Mdel:				Compartment:	FALSE	
Tank Reld Meth1 ID:				Cpmet:	Yes	
Tank Lining Date:				Invault:	FALSE	
CP Test Date:						
 <u>UST Tanks 1 (CDLE)</u>						
Tank Tag:	4047-5			Overfill Preven:	BF: Ball Float Valve	
Tank Type:	UST			Product Type/Name:	Diesel #2	
Tank Status:	Currently In Use			Piping Wall Type:		
Capacity:	12000			Tank Wall Type:		
Install Date:	9/14/2005			Piping System:		
Date Closed:				Piping Type:	UG: Underground	
Tank Material:	ST: Cathodically Protected Steel					
Piping Material:	FLEX: Flexible Plastic					
 <u>UST Tanks 2 (CDLE)</u>						
Closure Meth ID:				No Fee:	No	
Unregulated:	FALSE			Anch Method Desc:	NONE: Overburden Only	
Last Used Date:				Pipe Reld Meth1 ID:	L5: Annual Tightness Testing	
Del Prohib Date:				Pipe Reldet Date:		
Spill Protected:				Backfill Mat Desc:	Pea Gravel	
Spl Container Size:	5			Bfill DrtCvr Amt:	24	
Spl Protection Dt:				Manifold:	No	
Spl Container Mfg:	EBW			Registration Date:	5/11/2022	
Spl Container Mdel:	705			Compartment:	TRUE	
Tank Reld Meth1 ID:				Cpmet:	Yes	
Tank Lining Date:				Invault:	FALSE	
CP Test Date:						
 <u>Oil & Public Safety Regulated Storage Tanks (COSTIS)</u>						
Tank Tag:	4047-5			Leak Detector Type:	Mechanical	
Tank Status:	Currently In Use			Capacity Gallons :	12000	
Tank Type:	UST			Product:	Unleaded Premium (PUL)	
Tank Name:	TNK-006924			Piping Type:	UG: Underground	
Installation Date:	9/14/2005			Piping System:		
Closure Date:				Piping Material:	FLEX: Flexible Plastic	
Tank Material:	ST: Cathodically Protected Steel			Piping Wall Type:		
Tank Wall Type:				Address:	315 Greene St	
Facility Name:	The WhistleStop Station			City:	Silverton	
Facility Type:	Retail			County:	San Juan	
Facility Category:	Retail Gas Station			ZIP Code:	81433	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Overfill Preven:		BF: Ball Float Valve				
Tank Corsn Protection Meth:		STI-P3				
Tank Rel Detn Mthd Primary:		T1: ATG .2/.1gph Mthly Mntrg				
Tank Rel Detn Mthd Secondary:						
Piping Corsn Protection (PCP):		Non-metallic				
PCP at Tank:		No Electrolyte Contact (n/a)				
PCP at Dispenser:		No Electrolyte Contact (n/a)				
Piping Rel Detn Mthd Primary:		L5: Annual Tightness Testing				
Piping Rel Detn Mthd Secondary:						
Tank Tag:		4047-1		Leak Detector Type:		
Tank Status:		Permanently Closed		Capacity Gallons :		
Tank Type:		UST		Product:		
Tank Name:		TNK-006920		Piping Type:		
Installation Date:		4/24/1974		Piping System:		
Closure Date:		5/5/2005		Piping Material:		
Tank Material:		ST: Cathodically Protected Steel		Piping Wall Type:		
Tank Wall Type:				Address:		
Facility Name:		The WhistleStop Station		City:		
Facility Type:		Retail		County:		
Facility Category:		Retail Gas Station		ZIP Code:		
Overfill Preven:		FV: Fill Tube Valve				
Tank Corsn Protection Meth:		Impressed Current				
Tank Rel Detn Mthd Primary:		T4/L4: SIR				
Tank Rel Detn Mthd Secondary:						
Piping Corsn Protection (PCP):		Impressed Current				
PCP at Tank:		Impressed Current				
PCP at Dispenser:		Impressed Current				
Piping Rel Detn Mthd Primary:		T4/L4: SIR				
Piping Rel Detn Mthd Secondary:						
Tank Tag:		4047-2		Leak Detector Type:		
Tank Status:		Permanently Closed		Capacity Gallons :		
Tank Type:		UST		Product:		
Tank Name:		TNK-006921		Piping Type:		
Installation Date:		4/24/1974		Piping System:		
Closure Date:		5/5/2005		Piping Material:		
Tank Material:		ST: Cathodically Protected Steel		Piping Wall Type:		
Tank Wall Type:				Address:		
Facility Name:		The WhistleStop Station		City:		
Facility Type:		Retail		County:		
Facility Category:		Retail Gas Station		ZIP Code:		
Overfill Preven:		FV: Fill Tube Valve				
Tank Corsn Protection Meth:		Impressed Current				
Tank Rel Detn Mthd Primary:		T4/L4: SIR				
Tank Rel Detn Mthd Secondary:						
Piping Corsn Protection (PCP):		Impressed Current				
PCP at Tank:		Impressed Current				
PCP at Dispenser:		Impressed Current				
Piping Rel Detn Mthd Primary:		T4/L4: SIR				
Piping Rel Detn Mthd Secondary:						
Tank Tag:		4047-3		Leak Detector Type:		
Tank Status:		Permanently Closed		Capacity Gallons :		
Tank Type:		UST		Product:		
Tank Name:		TNK-006922		Piping Type:		
Installation Date:		4/24/1974		Piping System:		
Closure Date:		5/5/2005		Piping Material:		
Tank Material:		ST: Cathodically Protected Steel		Piping Wall Type:		
Tank Wall Type:				Address:		
Facility Name:		The WhistleStop Station		City:		
Facility Type:		Retail		County:		
Facility Category:		Retail Gas Station		ZIP Code:		
Overfill Preven:		FV: Fill Tube Valve				
Tank Corsn Protection Meth:		Impressed Current				
Tank Rel Detn Mthd Primary:		T4/L4: SIR				

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Tank Rel Detn Mthd Secondary:

Piping Corsn Protection (PCP): Impressed Current

PCP at Tank: Impressed Current

PCP at Dispenser: Impressed Current

Piping Rel Detn Mthd Primary: T4/L4: SIR

Piping Rel Detn Mthd

Secondary:

Tank Tag: 4047-4

Tank Status: Currently In Use

Tank Type: UST

Tank Name: TNK-006923

Installation Date: 9/14/2005

Closure Date:

Tank Material: ST: Cathodically Protected Steel

Tank Wall Type:

Facility Name: The WhistleStop Station

Facility Type: Retail

Facility Category: Retail Gas Station

Overfill Preven: BF: Ball Float Valve

Tank Corsn Protection Meth: STI-P3

Tank Rel Detn Mthd Primary: T1: ATG .2/.1gph Mthly Mntrg

Tank Rel Detn Mthd Secondary:

Piping Corsn Protection (PCP): Non-metallic

PCP at Tank: No Electrolyte Contact (n/a)

PCP at Dispenser: No Electrolyte Contact (n/a)

Piping Rel Detn Mthd Primary: L5: Annual Tightness Testing

Piping Rel Detn Mthd

Secondary:

Tank Tag: 4047-5

Tank Status: Currently In Use

Tank Type: UST

Tank Name: TNK-006924

Installation Date: 9/14/2005

Closure Date:

Tank Material: ST: Cathodically Protected Steel

Tank Wall Type:

Facility Name: The WhistleStop Station

Facility Type: Retail

Facility Category: Retail Gas Station

Overfill Preven: BF: Ball Float Valve

Tank Corsn Protection Meth: STI-P3

Tank Rel Detn Mthd Primary: T1: ATG .2/.1gph Mthly Mntrg

Tank Rel Detn Mthd Secondary:

Piping Corsn Protection (PCP): Non-metallic

PCP at Tank: No Electrolyte Contact (n/a)

PCP at Dispenser: No Electrolyte Contact (n/a)

Piping Rel Detn Mthd Primary: L5: Annual Tightness Testing

Piping Rel Detn Mthd

Secondary:

Leak Detector Type:

Mechanical

Capacity Gallons :

12000

Product:

Unleaded Regular (RUL)

Piping Type:

UG: Underground

Piping System:

Piping Material:

FLEX: Flexible Plastic

Piping Wall Type:

Address:

315 Greene St

City:

Silverton

County:

San Juan

ZIP Code:

81433

Leak Detector Type:

Mechanical

Capacity Gallons :

12000

Product:

Diesel #2

Piping Type:

UG: Underground

Piping System:

Piping Material:

FLEX: Flexible Plastic

Piping Wall Type:

Address:

315 Greene St

City:

Silverton

County:

San Juan

ZIP Code:

81433

Oil & Public Safety Regulated Storage Tank Details

No of Tanks: 2

Facility Contact Details (CDLE)

Fac Contact Name: FCON-029086
Contact Last Name: San Juan Services

Active: FALSE
Role: Facility Owner

Fac Contact Name: FCON-029072
Contact Last Name: San Juan Services

Active: FALSE
Role: Facility Owner

Fac Contact Name: FCON-043953
Contact Last Name: MacDougall

Active: FALSE
Role: Facility Owner

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Fac Contact Name: Contact Last Name:	FCON-030239 John K. Demaree			Active: Role:	FALSE Facility Owner	
Fac Contact Name: Contact Last Name:	FCON-010764 Fralely & Co			Active: Role:	FALSE Facility Owner	
Fac Contact Name: Contact Last Name:	FCON-059190 Grindstaff			Active: Role:	TRUE A/B Operator	
Fac Contact Name: Contact Last Name:	FCON-046113 Kevin Baldwin			Active: Role:	FALSE A/B Operator	

<u>6</u>	1 of 1	S	0.18 / 945.68	9,758.75 / 385	RICKER GROUP SAN JUAN COUNTY SILVERTON CO 81433	MRDS
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Dep ID:	10265016	I1:	77
Dev Status:	PAST PRODUCER	Latitude:	37.798096
Code List:	AU CU	Longitude:	-107.675293
Url:	http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10265016		

Commodity

I1:	36	Line:	5
Code:	ZN	Inserted By:	MAS migration
Commodity:	Zinc	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Zinc	Update Date:	29-OCT-2002 09:02:21
Importance:	Tertiary		

I1:	36	Line:	1
Code:	CU	Inserted By:	MAS migration
Commodity:	Copper	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Copper	Update Date:	29-OCT-2002 09:02:21
Importance:	Tertiary		

I1:	37	Line:	3
Code:	PB	Inserted By:	MAS migration
Commodity:	Lead	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Lead	Update Date:	29-OCT-2002 09:02:21
Importance:	Tertiary		

I1:	37	Line:	2
Code:	AU	Inserted By:	MAS migration
Commodity:	Gold	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Gold	Update Date:	29-OCT-2002 09:02:21
Importance:	Primary		

I1:	37	Line:	4
Code:	AG	Inserted By:	MAS migration
Commodity:	Silver	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Silver	Update Date:	29-OCT-2002 09:02:21
Importance:	Tertiary		

Names

I1:	24	Inserted By:	MAS migration
Status:	Current	Insert Date:	29-OCT-02
Site Name:	Ricker Group	Updated By:	USGS
Line:	1	Update Date:	29-OCT-02

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
7	1 of 1	S	0.19 / 1,011.79	9,766.34 / 393	LITTLE DORA SAN JUAN COUNTY SILVERTON CO 81433	MRDS

Dep ID: 10289472
Dev Status: PAST PRODUCER
Code List: W AU
Url: http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10289472

Commodity

I1:	16	Line:	2
Code:	PB	Inserted By:	MAS migration
Commodity:	Lead	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Lead	Update Date:	29-OCT-2002 09:02:30
Importance:	Tertiary		

I1:	16	Line:	4
Code:	W	Inserted By:	MAS migration
Commodity:	Tungsten	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Tungsten	Update Date:	29-OCT-2002 09:02:30
Importance:	Primary		

I1:	16	Line:	3
Code:	AG	Inserted By:	MAS migration
Commodity:	Silver	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Silver	Update Date:	29-OCT-2002 09:02:30
Importance:	Tertiary		

I1:	16	Line:	5
Code:	ZN	Inserted By:	MAS migration
Commodity:	Zinc	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Zinc	Update Date:	29-OCT-2002 09:02:30
Importance:	Tertiary		

I1:	15	Line:	1
Code:	AU	Inserted By:	MAS migration
Commodity:	Gold	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Gold	Update Date:	29-OCT-2002 09:02:30
Importance:	Tertiary		

Names

I1:	23	Inserted By:	MAS migration
Status:	Current	Insert Date:	29-OCT-02
Site Name:	Little Dora	Updated By:	USGS
Line:	1	Update Date:	29-OCT-02

8	1 of 1	S	0.22 / 1,166.66	9,786.73 / 413	HAWKEYE SAN JUAN COUNTY SILVERTON CO 81433	MRDS
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Dep ID: 10192113
Dev Status: PAST PRODUCER
Code List: AU CU
Url: http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10192113

Commodity

I1:	22	Line:	2
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Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Code:	AU			Inserted By:	MAS migration	
Commodity:	Gold			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Gold			Update Date:	29-OCT-2002 09:01:48	
Importance:	Primary					
I1:	22			Line:	4	
Code:	AG			Inserted By:	MAS migration	
Commodity:	Silver			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Silver			Update Date:	29-OCT-2002 09:01:48	
Importance:	Tertiary					
I1:	22			Line:	1	
Code:	CU			Inserted By:	MAS migration	
Commodity:	Copper			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Copper			Update Date:	29-OCT-2002 09:01:48	
Importance:	Tertiary					
I1:	22			Line:	5	
Code:	ZN			Inserted By:	MAS migration	
Commodity:	Zinc			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Zinc			Update Date:	29-OCT-2002 09:01:48	
Importance:	Tertiary					
I1:	22			Line:	3	
Code:	PB			Inserted By:	MAS migration	
Commodity:	Lead			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Lead			Update Date:	29-OCT-2002 09:01:48	
Importance:	Tertiary					
<u>Names</u>						
I1:	18			Inserted By:	MAS migration	
Status:	Current			Insert Date:	29-OCT-02	
Site Name:	Hawkeye			Updated By:	USGS	
Line:	1			Update Date:	29-OCT-02	

9 **1 of 1** **S** **0.22 / 1,168.33** **9,929.98 / 556** **BLUE JAY
SAN JUAN COUNTY
SILVERTON CO 81433** **MRDS**

Dep ID: 10239922 **I1:** 21
Dev Status: PAST PRODUCER **Latitude:** 37.797485
Code List: AG CU **Longitude:** -107.676208
Url: http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10239922

Commodity

I1: 84 **Line:** 2
Code: AU **Inserted By:** MAS migration
Commodity: Gold **Insert Date:** 29-OCT-2002 09:00:24
Commodity Type: Metallic **Updated By:** USGS
Commodity Group: Gold **Update Date:** 29-OCT-2002 09:02:09
Importance: Tertiary

I1: 84 **Line:** 5
Code: W **Inserted By:** MAS migration
Commodity: Tungsten **Insert Date:** 29-OCT-2002 09:00:24
Commodity Type: Metallic **Updated By:** USGS
Commodity Group: Tungsten **Update Date:** 29-OCT-2002 09:02:09
Importance: Tertiary

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	84 PB Lead Metallic Lead Tertiary				Line: Inserted By: Insert Date: Updated By: Update Date:	3 MAS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:02:09
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	84 CU Copper Metallic Copper Tertiary				Line: Inserted By: Insert Date: Updated By: Update Date:	1 MAS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:02:09
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	84 AG Silver Metallic Silver Primary				Line: Inserted By: Insert Date: Updated By: Update Date:	4 MAS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:02:09
Names						
I1: Status: Site Name: Line:	24 Current Blue Jay 1				Inserted By: Insert Date: Updated By: Update Date:	MAS migration 29-OCT-02 USGS 29-OCT-02

10 1 of 1 WSW 0.22 / 1,170.33 9,903.93 / 530 GLADSTONE SAN JUAN COUNTY SILVERTON CO 81433 **MRDS**

Dep ID: 10215964 I1: 20
Dev Status: PAST PRODUCER Latitude: 37.801697
Code List: AG CU Longitude: -107.681213
Url: http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10215964

Commodity

I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	24 PB Lead Metallic Lead Tertiary	Line: Inserted By: Insert Date: Updated By: Update Date:	3 MAS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:01:57
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	15 AG Silver Metallic Silver Primary	Line: Inserted By: Insert Date: Updated By: Update Date:	4 MAS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:02:39
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	24 AU Gold Metallic Gold Tertiary	Line: Inserted By: Insert Date: Updated By: Update Date:	2 MAS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:01:57
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	24 CU Copper Metallic Copper Tertiary	Line: Inserted By: Insert Date: Updated By: Update Date:	1 MAS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:01:57

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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I1:	24				Line:	5
Code:	ZN				Inserted By:	MAS migration
Commodity:	Zinc				Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic				Updated By:	USGS
Commodity Group:	Zinc				Update Date:	29-OCT-2002 09:01:57
Importance:	Tertiary					

Names

I1:	35				Inserted By:	MAS migration
Status:	Current				Insert Date:	29-OCT-02
Site Name:	Gladstone				Updated By:	USGS
Line:	1				Update Date:	29-OCT-02

11	1 of 1	ENE	0.22 / 1,172.56	9,260.57 / -113	Silverton 66 US Hwy 550 & Hwy 110 Silverton CO 81433	UST
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Facility ID:	1043	Fac Category (OPS):	Retail Gas Station
Fac Category (CDLE):	Retail Gas Station	Facility Type (OPS):	Retail
Fac Type (CDLE):	Retail	Facility Name(OPS):	Silverton 66
Fac Name (CDLE):	Silverton 66	Address (OPS):	US Hwy 550 & Hwy 110
Address (CDLE):	US Hwy 550 & Hwy 110	City (OPS):	Silverton
City (CDLE):	Silverton	County (OPS):	San Juan
County (CDLE):	San Juan	Zip Code (OPS):	81433
State (CDLE):	Colorado	Latitude (OPS):	37.888322
Zip (CDLE):	81433	Longitude (OPS):	-107.660824
Latitude (CDLE):	37.888322	Lat/Long (OPS):	37.888322, -107.660824
Longitude (CDLE):	-107.660824		
Fac Name (COSTIS):	Silverton 66		
Address (COSTIS):	US Hwy 550 & Hwy 110 Silverton 81433		
County (COSTIS):	San Juan		
Data Source(s):	Colorado Department of Labor and Employment (CDLE) Oil & Public Safety (OPS) Regulated Storage Tanks; Colorado Information Marketplace Oil & Public Safety (OPS) Regulated Storage Tanks; Colorado Storage Tank Information System (COSTIS, as of October 2021) **Note: Many records provided by the department have a truncated [Data Source(s)] field.		

Facility Information (CDLE)

Count of Tank Tag:	0	Owner ID:	OWNR-2007
No. Dispensers:	0	Accnt Holdr Name:	Greg Young

Owner Information (CDLE)

Company Name:	Greg Young	First Name:	Greg
Contact Name:	Greg Young	Middle Init:	
Role:		Last Name:	Young
Address:	3010 Del Prado, Alamogordo, NM 88310		
Comment:			

UST Tanks (COSTIS) (As of October 2021)

Tank Tag:	'1043-2	Product Name:	Gasoline
Tank ID:	3005	Tank Owner:	
Tank Type Desc:	UST	Owner ID:	2007
Capacity:	1000	County:	San Juan
Facility Owner:	Greg Young		
Facility Name Address:	Silverton 66 US Hwy 550 & Hwy 110 Silverton 81433		
Tank Tag:	'1043-1	Product Name:	Gasoline
Tank ID:	3004	Tank Owner:	
Tank Type Desc:	UST	Owner ID:	2007
Capacity:	1000	County:	San Juan

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Facility Owner: Greg Young
Facility Name Address: Silverton 66
US Hwy 550 & Hwy 110
Silverton 81433

UST Owner (COSTIS) (As of October 2021)

Owner ID:	2007	Address1:	3010 Del Prado
First Name:	Greg	City:	Alamogordo
Middle Init:		State:	NM
Last Name:	Young	County:	Otero
Full Name:	Young; Greg	Zip Code:	88310

UST Tanks 1 (CDLE)

Tank Tag:	1043-1	Overfill Preven:	
Tank Type:	UST	Product Type/Name:	Gasoline
Tank Status:	Permanently Closed	Piping Wall Type:	None
Capacity:	1000	Tank Wall Type:	
Install Date:	3/21/1966	Piping System:	
Date Closed:		Piping Type:	Other
Tank Material:	Asphalt Coated or Bare Steel		
Piping Material:	Galvanized Steel		

UST Tanks 2 (CDLE)

Closure Meth ID:		No Fee:	No
Unregulated:	FALSE	Anch Method Desc:	
Last Used Date:		Pipe Reld Meth1 ID:	
Del Prohib Date:		Pipe Reldet Date:	
Spill Protected:		Backfill Mat Desc:	
Spl Container Size:		Bfill DrtCvr Amt:	
Spl Protection Dt:		Manifold:	No
Spl Container Mfg:		Registration Date:	
Spl Container Mdel:		Compartment:	FALSE
Tank Reld Meth1 ID:		Cpmet:	No
Tank Lining Date:		Invault:	FALSE
CP Test Date:			

UST Tanks 1 (CDLE)

Tank Tag:	1043-2	Overfill Preven:	
Tank Type:	UST	Product Type/Name:	Gasoline
Tank Status:	Permanently Closed	Piping Wall Type:	None
Capacity:	1000	Tank Wall Type:	
Install Date:	3/21/1966	Piping System:	
Date Closed:		Piping Type:	Other
Tank Material:	Asphalt Coated or Bare Steel		
Piping Material:	Galvanized Steel		

UST Tanks 2 (CDLE)

Closure Meth ID:		No Fee:	No
Unregulated:	FALSE	Anch Method Desc:	
Last Used Date:		Pipe Reld Meth1 ID:	
Del Prohib Date:		Pipe Reldet Date:	
Spill Protected:		Backfill Mat Desc:	
Spl Container Size:		Bfill DrtCvr Amt:	
Spl Protection Dt:		Manifold:	No
Spl Container Mfg:		Registration Date:	
Spl Container Mdel:		Compartment:	FALSE
Tank Reld Meth1 ID:		Cpmet:	No
Tank Lining Date:		Invault:	FALSE
CP Test Date:			

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Oil & Public Safety Regulated Storage Tanks (COSTIS)

Tank Tag:	1043-1	Leak Detector Type:	
Tank Status:	Permanently Closed	Capacity Gallons :	1000
Tank Type:	UST	Product:	Gasoline
Tank Name:	TNK-038281	Piping Type:	Other
Installation Date:	3/21/1966	Piping System:	
Closure Date:		Piping Material:	Galvanized Steel
Tank Material:	Asphalt Coated or Bare Steel	Piping Wall Type:	None
Tank Wall Type:		Address:	US Hwy 550 & Hwy 110
Facility Name:	Silverton 66	City:	Silverton
Facility Type:	Retail	County:	San Juan
Facility Category:	Retail Gas Station	ZIP Code:	81433
Overfill Preven:			
Tank Corsn Protection Meth:			
Tank Rel Detn Mthd Primary:			
Tank Rel Detn Mthd Secondary:			
Piping Corsn Protection (PCP):			
PCP at Tank:			
PCP at Dispenser:			
Piping Rel Detn Mthd Primary:			
Piping Rel Detn Mthd Secondary:			

Tank Tag:	1043-2	Leak Detector Type:	
Tank Status:	Permanently Closed	Capacity Gallons :	1000
Tank Type:	UST	Product:	Gasoline
Tank Name:	TNK-038282	Piping Type:	Other
Installation Date:	3/21/1966	Piping System:	
Closure Date:		Piping Material:	Galvanized Steel
Tank Material:	Asphalt Coated or Bare Steel	Piping Wall Type:	None
Tank Wall Type:		Address:	US Hwy 550 & Hwy 110
Facility Name:	Silverton 66	City:	Silverton
Facility Type:	Retail	County:	San Juan
Facility Category:	Retail Gas Station	ZIP Code:	81433
Overfill Preven:			
Tank Corsn Protection Meth:			
Tank Rel Detn Mthd Primary:			
Tank Rel Detn Mthd Secondary:			
Piping Corsn Protection (PCP):			
PCP at Tank:			
PCP at Dispenser:			
Piping Rel Detn Mthd Primary:			
Piping Rel Detn Mthd Secondary:			

Oil & Public Safety Regulated Storage Tank Details

No of Tanks: 0

Facility Contact Details (CDLE)

Fac Contact Name:	FCON-016077	Active:	FALSE
Contact Last Name:	Basin Properties Inc	Role:	Facility Owner
Fac Contact Name:	FCON-039477	Active:	TRUE
Contact Last Name:	Young	Role:	Facility Owner

12	1 of 1	NNW	0.26 / 1,370.67	9,300.20 / -73	Martha Rose/Walsh Smelter E corner of US Highway 550 and San Juan Co. Rd 6 E corner of US Highway 550 and San Juan Co. Rd 6 Silverton CO 81433	FED BROWNFIELDS
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Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Property ID:	56321			County:	SAN JUAN	
Lat Measure:	37.8126391			Latitude (Map):	37.8126391	
Long Measure:	-107.6710722			Longitude (Map):	-107.6710722	
Property Name:	Martha Rose/Walsh Smelter					
Address:	E corner of US Highway 550 and San Juan Co. Rd 6 E corner of US Highway 550 and San Juan Co. Rd 6					
City:	Silverton					
State Code:	CO					
Zip Code:	81433					
Primary Name (Map):	MARTHA ROSE/WALSH SMELTER					
Location Address (Map):	E CORNER OF US HIGHWAY 550 AND SAN JUAN CO. RD 6					
City Name (Map):	SILVERTON					
County Name (Map):	SAN JUAN					
State Code (Map):	CO					
Postal Code (Map):	81433					
Data Source:	Cleanups in My Community (CIMC) Cleanups and Grants Listing Export - Brownfield Properties; Cleanups in My Community (CIMC) Web Application - Brownfield Properties (Map)					

Property Details (Cleanups in My Community)

ID No:	582	Size Acres:	14.
NFA Letter Date:		Parcel No:	4829-0.00-0.1-032
Media Affected:	Soil	Property Enrolled:	
Media Cleaned Up:	Soil	Radius:	.5
Contaminants REC:		Census Tract:	08111972600
Contams Actionable:	Lead Other Metals	2010 # Below Poverty:	88.
Contams < Actionble:		2010 Below Poverty:	19.6
Contamnts Cleanup:	Lead Other Metals	2010 Median Income:	3918.
Tanks Removal:		2010 No Low Income:	160.
Cleanup Needed:	Y	2010 Low Income:	35.63
Cleanup Treatment:		2010 No Vacant Hous:	227.
Excavation Disposl:		2010 Vacant Housing:	50.04
Contams Extractn:		2010 # Unemployed:	41.
Reduc Contams:		2010 Unemployed:	9.13
Additional Clnup:		Tech Capping:	Y
Institutional Cleanup:	Y	Secur Guard Fence:	
Institutional Cleanup:	Y	Immobilization:	
Engineering Needed:	Y	Eng Barriers:	
Eng Control:	Y	Proprietary Cntrl:	Y
Additnl Inst Control:		Info Device:	
Additnl Eng Control:		Govt Cntrl:	
Inst Control Date:		Enf Permit Tool:	
Eng Control Date:	09/27/2010	Clnup Struct Remov:	
Property Alias:	250 15th Street		
Property Owner:	Government		
Address Source URL:			
Address Source URL:			
Address Source URL:			
Other:			

Activity Details(Cleanups in My Community)

Coop Agmt No:	97814401	Redev Actvy Funded:	
Program Name:	BF	Redev Start Dt:	
Activity Funded:		Redev Compl date:	
Type CA Fund:	Hazardous	Redev Fund Entity:	
Funding Entity:		Redev Residential:	4.
Assessmnt Start Dt:		Redev Greenspace:	4.71
Assessmnt Compl Dt:		Redev Industrial:	
Clnup Actvy Start Dt:	12/01/2008	Redev Commercial:	
Clnup Actvy Comp Dt:	12/04/2009	# of Redev Jobs:	
Acres Cleaned Up:	10.76	RLF Signed Dt:	
Clnup Funding Src:	DOLA	RLF Intest Rate:	
Clnup Entity Provid:	State/Tribal Funding (non-section 128(a))	RLF EPA Fund:	
Signed Rpt Dt:		RLF Cost Share:	
Direct Clnup Tot Fnd:		RLF Prog Income:	
Direct Clnup Fnd Src:		RLF Lvg Fund Src:	
Fund Amt Expnded:		RLF Lvg Fund Entity:	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Source of Funding:					RLF Lvg Fund Amt:	
Past Use Residential:					RLF Subgrant Signed:	
Past Use Greenspace:					Subgrant EPA Fund:	
Past Use Industrial:	14.				Subgrant Cost Shr:	
Past Use Commercial:						
Coop Agmt Recipnt:		San Juan County				
Clnup Compet Doc2:						
Climate Adapt Mitg1:						
Climate Adapt Mitg2:						

Activity Details(Cleanups in My Community)

Coop Agmt No:	n/a				Redev Actvy Funded:	
Program Name:					Redev Start Dt:	
Activity Funded:					Redev Compl date:	
Type CA Fund:	Hazardous				Redev Fund Entity:	
Funding Entity:	EPA				Redev Residential:	4.
Assessmnt Start Dt:	06/15/2005				Redev Greenspace:	4.71
Assessmnt Compl Dt:	09/30/2006				Redev Industrial:	
Clnup Actvy Start Dt:					Redev Commercial:	
Clnup Actvy Comp Dt:					# of Redev Jobs:	
Acres Cleaned Up:					RLF Signed Dt:	
Clnup Funding Src:					RLF Intest Rate:	
Clnup Entity Provid:					RLF EPA Fund:	
Signed Rpt Dt:					RLF Cost Share:	
Direct Clnup Tot Fnd:					RLF Prog Income:	
Direct Clnup Fnd Src:					RLF Lvg Fund Src:	
Fund Amt Expnded:					RLF Lvg Fund Entity:	
Source of Funding:					RLF Lvg Fund Amt:	
Past Use Residential:					RLF Subgrant Signed:	
Past Use Greenspace:					Subgrant EPA Fund:	
Past Use Industrial:	14.				Subgrant Cost Shr:	
Past Use Commercial:						
Coop Agmt Recipnt:		R8 TBA - Colorado (STAG Funded)				
Clnup Compet Doc2:						
Climate Adapt Mitg1:						
Climate Adapt Mitg2:						

Activity Details(Cleanups in My Community)

Coop Agmt No:	97814401				Redev Actvy Funded:	
Program Name:	BF				Redev Start Dt:	01/03/2011
Activity Funded:					Redev Compl date:	
Type CA Fund:	Hazardous				Redev Fund Entity:	San Juan County
Funding Entity:					Redev Residential:	4.
Assessmnt Start Dt:					Redev Greenspace:	4.71
Assessmnt Compl Dt:					Redev Industrial:	
Clnup Actvy Start Dt:					Redev Commercial:	
Clnup Actvy Comp Dt:					# of Redev Jobs:	
Acres Cleaned Up:					RLF Signed Dt:	
Clnup Funding Src:					RLF Intest Rate:	
Clnup Entity Provid:					RLF EPA Fund:	
Signed Rpt Dt:					RLF Cost Share:	
Direct Clnup Tot Fnd:					RLF Prog Income:	
Direct Clnup Fnd Src:					RLF Lvg Fund Src:	RLF Leveraged
Fund Amt Expnded:	150000.				RLF Lvg Fund Entity:	DOLA
Source of Funding:					RLF Lvg Fund Amt:	301000.
Past Use Residential:					RLF Subgrant Signed:	
Past Use Greenspace:					Subgrant EPA Fund:	
Past Use Industrial:	14.				Subgrant Cost Shr:	
Past Use Commercial:						
Coop Agmt Recipnt:		San Juan County				
Clnup Compet Doc2:						
Climate Adapt Mitg1:						
Climate Adapt Mitg2:						

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Activity Details(Cleanups in My Community)

Coop Agmt No:	97814401				Redev Actvy Funded:	
Program Name:	BF				Redev Start Dt:	
Activity Funded:					Redev Compl date:	
Type CA Fund:	Hazardous				Redev Fund Entity:	
Funding Entity:					Redev Residential:	4.
Assessmnt Start Dt:					Redev Greenspace:	4.71
Assessmnt Compl Dt:					Redev Industrial:	
Clnup Actvy Start Dt:	12/01/2008				Redev Commercial:	
Clnup Actvy Comp Dt:	12/04/2009				# of Redev Jobs:	
Acres Cleaned Up:	10.76				RLF Signed Dt:	
Clnup Funding Src:	San Juan County				RLF Intest Rate:	
Clnup Entity Provid:	Local Funding				RLF EPA Fund:	
Signed Rpt Dt:					RLF Cost Share:	
Direct Clnup Tot Fnd:					RLF Prog Income:	
Direct Clnup Fnd Src:					RLF Lvg Fund Src:	
Fund Amt Expnded:					RLF Lvg Fund Entity:	
Source of Funding:					RLF Lvg Fund Amt:	
Past Use Resiential:					RLF Subgrant Signed:	
Past Use Greenspace:					Subgrant EPA Fund:	
Past Use Industrial:	14.				Subgrant Cost Shr:	
Past Use Commercial:						
Coop Agmt Recipnt:		San Juan County				
Clnup Compet Doc2:						
Climate Adapt Mitg1:						
Climate Adapt Mitg2:						

Activity Details(Cleanups in My Community)

Coop Agmt No:	97814401				Redev Actvy Funded:	
Program Name:	BF				Redev Start Dt:	01/03/2011
Activity Funded:					Redev Compl date:	
Type CA Fund:	Hazardous				Redev Fund Entity:	DOLA
Funding Entity:					Redev Residential:	4.
Assessmnt Start Dt:					Redev Greenspace:	4.71
Assessmnt Compl Dt:					Redev Industrial:	
Clnup Actvy Start Dt:					Redev Commercial:	
Clnup Actvy Comp Dt:					# of Redev Jobs:	
Acres Cleaned Up:					RLF Signed Dt:	
Clnup Funding Src:					RLF Intest Rate:	
Clnup Entity Provid:					RLF EPA Fund:	
Signed Rpt Dt:					RLF Cost Share:	
Direct Clnup Tot Fnd:					RLF Prog Income:	
Direct Clnup Fnd Src:					RLF Lvg Fund Src:	RLF Leveraged
Fund Amt Expnded:	400000.				RLF Lvg Fund Entity:	San Juan County
Source of Funding:					RLF Lvg Fund Amt:	339000.
Past Use Resiential:					RLF Subgrant Signed:	
Past Use Greenspace:					Subgrant EPA Fund:	
Past Use Industrial:	14.				Subgrant Cost Shr:	
Past Use Commercial:						
Coop Agmt Recipnt:		San Juan County				
Clnup Compet Doc2:						
Climate Adapt Mitg1:						
Climate Adapt Mitg2:						

Activity Details(Cleanups in My Community)

Coop Agmt No:	97814401				Redev Actvy Funded:	
Program Name:	BF				Redev Start Dt:	
Activity Funded:					Redev Compl date:	
Type CA Fund:	Hazardous				Redev Fund Entity:	
Funding Entity:					Redev Residential:	4.
Assessmnt Start Dt:					Redev Greenspace:	4.71
Assessmnt Compl Dt:					Redev Industrial:	
Clnup Actvy Start Dt:	12/01/2008				Redev Commercial:	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Clnup Actvy Comp Dt:	12/04/2009				# of Redev Jobs:	
Acres Cleaned Up:	10.76				RLF Signed Dt:	
Clnup Funding Src:	DOLA				RLF Intest Rate:	
Clnup Entity Provid:	State/Tribal Funding (non-section 128(a))				RLF EPA Fund:	
Signed Rpt Dt:					RLF Cost Share:	
Direct Clnup Tot Fnd:					RLF Prog Income:	
Direct Clnup Fnd Src:					RLF Lvg Fund Src:	RLF Leveraged
Fund Amt Expnded:					RLF Lvg Fund Entity:	San Juan County
Source of Funding:					RLF Lvg Fund Amt:	339000.
Past Use Resiential:					RLF Subgrant Signed:	
Past Use Greenspace:					Subgrant EPA Fund:	
Past Use Industrial:	14.				Subgrant Cost Shr:	
Past Use Commercial:		San Juan County				
Coop Agmt Recipnt:						
Clnup Compet Doc2:						
Climate Adapt Mitg1:						
Climate Adapt Mitg2:						

Activity Details(Cleanups in My Community)

Coop Agmt No:	97814401				Redev Actvy Funded:	
Program Name:	BF				Redev Start Dt:	
Activity Funded:					Redev Compl date:	
Type CA Fund:	Hazardous				Redev Fund Entity:	
Funding Entity:					Redev Residential:	4.
Assessmnt Start Dt:					Redev Greenspace:	4.71
Assessmnt Compl Dt:					Redev Industrial:	
Clnup Actvy Start Dt:	12/01/2008				Redev Commercial:	
Clnup Actvy Comp Dt:	12/04/2009				# of Redev Jobs:	
Acres Cleaned Up:	10.76				RLF Signed Dt:	
Clnup Funding Src:	EPA				RLF Intest Rate:	
Clnup Entity Provid:	US EPA - Brownfields Cleanup Cooperative Agreement				RLF EPA Fund:	
Signed Rpt Dt:					RLF Cost Share:	
Direct Clnup Tot Fnd:					RLF Prog Income:	
Direct Clnup Fnd Src:					RLF Lvg Fund Src:	RLF Leveraged
Fund Amt Expnded:					RLF Lvg Fund Entity:	San Juan County
Source of Funding:					RLF Lvg Fund Amt:	339000.
Past Use Resiential:					RLF Subgrant Signed:	
Past Use Greenspace:					Subgrant EPA Fund:	
Past Use Industrial:	14.				Subgrant Cost Shr:	
Past Use Commercial:		San Juan County				
Coop Agmt Recipnt:						
Clnup Compet Doc2:						
Climate Adapt Mitg1:						
Climate Adapt Mitg2:						

Activity Details(Cleanups in My Community)

Coop Agmt No:	97814401				Redev Actvy Funded:	
Program Name:	BF				Redev Start Dt:	
Activity Funded:					Redev Compl date:	
Type CA Fund:	Hazardous				Redev Fund Entity:	
Funding Entity:					Redev Residential:	4.
Assessmnt Start Dt:					Redev Greenspace:	4.71
Assessmnt Compl Dt:					Redev Industrial:	
Clnup Actvy Start Dt:	12/01/2008				Redev Commercial:	
Clnup Actvy Comp Dt:	12/04/2009				# of Redev Jobs:	
Acres Cleaned Up:	10.76				RLF Signed Dt:	
Clnup Funding Src:	San Juan County				RLF Intest Rate:	
Clnup Entity Provid:	Local Funding				RLF EPA Fund:	
Signed Rpt Dt:					RLF Cost Share:	
Direct Clnup Tot Fnd:					RLF Prog Income:	
Direct Clnup Fnd Src:					RLF Lvg Fund Src:	RLF Leveraged
Fund Amt Expnded:					RLF Lvg Fund Entity:	DOLA
Source of Funding:					RLF Lvg Fund Amt:	301000.
Past Use Resiential:					RLF Subgrant Signed:	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Past Use Greenspace: Past Use Industrial: Past Use Commercial: Coop Agmt Recipnt: Clnup Compet Doc2: Climate Adapt Mitg1: Climate Adapt Mitg2:	14.	San Juan County			Subgrant EPA Fund: Subgrant Cost Shr:	

Activity Details(Cleanups in My Community)

Coop Agmt No:	97814401				Redev Actvy Funded:	
Program Name:	BF				Redev Start Dt:	01/03/2011
Activity Funded:					Redev Compl date:	
Type CA Fund:	Hazardous				Redev Fund Entity:	San Juan County
Funding Entity:					Redev Residential:	4.
Assessmnt Start Dt:					Redev Greenspace:	4.71
Assessmnt Compl Dt:					Redev Industrial:	
Clnup Actvy Start Dt:					Redev Commercial:	
Clnup Actvy Comp Dt:					# of Redev Jobs:	
Acres Cleaned Up:					RLF Signed Dt:	
Clnup Funding Src:					RLF Intest Rate:	
Clnup Entity Provid:					RLF EPA Fund:	
Signed Rpt Dt:					RLF Cost Share:	
Direct Clnup Tot Fnd:					RLF Prog Income:	
Direct Clnup Fnd Src:					RLF Lvg Fund Src:	
Fund Amt Expnded:	150000.				RLF Lvg Fund Entity:	
Source of Funding:					RLF Lvg Fund Amt:	
Past Use Resiential:					RLF Subgrant Signed:	
Past Use Greenspace:					Subgrant EPA Fund:	
Past Use Industrial:	14.				Subgrant Cost Shr:	
Past Use Commercial:						
Coop Agmt Recipnt:		San Juan County				
Clnup Compet Doc2:						
Climate Adapt Mitg1:						
Climate Adapt Mitg2:						

Activity Details(Cleanups in My Community)

Coop Agmt No:	97863101				Redev Actvy Funded:	
Program Name:	2B				Redev Start Dt:	
Activity Funded:					Redev Compl date:	
Type CA Fund:	Hazardous				Redev Fund Entity:	
Funding Entity:					Redev Residential:	4.
Assessmnt Start Dt:					Redev Greenspace:	4.71
Assessmnt Compl Dt:					Redev Industrial:	
Clnup Actvy Start Dt:					Redev Commercial:	
Clnup Actvy Comp Dt:					# of Redev Jobs:	
Acres Cleaned Up:					RLF Signed Dt:	
Clnup Funding Src:					RLF Intest Rate:	
Clnup Entity Provid:					RLF EPA Fund:	
Signed Rpt Dt:					RLF Cost Share:	
Direct Clnup Tot Fnd:					RLF Prog Income:	
Direct Clnup Fnd Src:					RLF Lvg Fund Src:	
Fund Amt Expnded:					RLF Lvg Fund Entity:	
Source of Funding:					RLF Lvg Fund Amt:	
Past Use Resiential:					RLF Subgrant Signed:	
Past Use Greenspace:					Subgrant EPA Fund:	200000.
Past Use Industrial:	14.				Subgrant Cost Shr:	
Past Use Commercial:						
Coop Agmt Recipnt:		Colorado Department of Public Health & Environment				
Clnup Compet Doc2:						
Climate Adapt Mitg1:						
Climate Adapt Mitg2:						

Activity Details(Cleanups in My Community)

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Coop Agmt No:	97814401				Redev Actvy Funded:	
Program Name:	BF				Redev Start Dt:	
Activity Funded:					Redev Compl date:	
Type CA Fund:	Hazardous				Redev Fund Entity:	
Funding Entity:					Redev Residential:	4.
Assessmnt Start Dt:					Redev Greenspace:	4.71
Assessmnt Compl Dt:					Redev Industrial:	
Clnup Actvy Start Dt:	12/01/2008				Redev Commercial:	
Clnup Actvy Comp Dt:	12/04/2009				# of Redev Jobs:	
Acres Cleaned Up:	10.76				RLF Signed Dt:	
Clnup Funding Src:	San Juan County				RLF Intest Rate:	
Clnup Entity Provid:	Local Funding				RLF EPA Fund:	
Signed Rpt Dt:					RLF Cost Share:	
Direct Clnup Tot Fnd:					RLF Prog Income:	
Direct Clnup Fnd Src:					RLF Lvg Fund Src:	RLF Leveraged
Fund Amt Expnded:					RLF Lvg Fund Entity:	San Juan County
Source of Funding:					RLF Lvg Fund Amt:	339000.
Past Use Resiential:					RLF Subgrant Signed:	
Past Use Greenspace:					Subgrant EPA Fund:	
Past Use Industrial:	14.				Subgrant Cost Shr:	
Past Use Commercial:						
Coop Agmt Recipnt:		San Juan County				
Clnup Compet Doc2:						
Climate Adapt Mitg1:						
Climate Adapt Mitg2:						

Activity Details(Cleanups in My Community)

Coop Agmt No:	97814401				Redev Actvy Funded:	
Program Name:	BF				Redev Start Dt:	
Activity Funded:					Redev Compl date:	
Type CA Fund:	Hazardous				Redev Fund Entity:	
Funding Entity:					Redev Residential:	4.
Assessmnt Start Dt:					Redev Greenspace:	4.71
Assessmnt Compl Dt:					Redev Industrial:	
Clnup Actvy Start Dt:					Redev Commercial:	
Clnup Actvy Comp Dt:					# of Redev Jobs:	
Acres Cleaned Up:					RLF Signed Dt:	
Clnup Funding Src:					RLF Intest Rate:	
Clnup Entity Provid:					RLF EPA Fund:	
Signed Rpt Dt:					RLF Cost Share:	
Direct Clnup Tot Fnd:					RLF Prog Income:	
Direct Clnup Fnd Src:					RLF Lvg Fund Src:	RLF Leveraged
Fund Amt Expnded:					RLF Lvg Fund Entity:	DOLA
Source of Funding:					RLF Lvg Fund Amt:	301000.
Past Use Resiential:					RLF Subgrant Signed:	
Past Use Greenspace:					Subgrant EPA Fund:	
Past Use Industrial:	14.				Subgrant Cost Shr:	
Past Use Commercial:						
Coop Agmt Recipnt:		San Juan County				
Clnup Compet Doc2:						
Climate Adapt Mitg1:						
Climate Adapt Mitg2:						

Activity Details(Cleanups in My Community)

Coop Agmt No:	97863101				Redev Actvy Funded:	
Program Name:	2B				Redev Start Dt:	
Activity Funded:					Redev Compl date:	
Type CA Fund:	Hazardous				Redev Fund Entity:	
Funding Entity:					Redev Residential:	4.
Assessmnt Start Dt:					Redev Greenspace:	4.71
Assessmnt Compl Dt:					Redev Industrial:	
Clnup Actvy Start Dt:	10/06/2008				Redev Commercial:	
Clnup Actvy Comp Dt:	02/25/2011				# of Redev Jobs:	
Acres Cleaned Up:	14.				RLF Signed Dt:	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Clnup Funding Src:	EPA				RLF Intest Rate:	
Clnup Entity Provid:	Brownfields RLF Grant Funds Subgranted				RLF EPA Fund:	
Signed Rpt Dt:					RLF Cost Share:	
Direct Clnup Tot Fnd:					RLF Prog Income:	
Direct Clnup Fnd Src:					RLF Lvg Fund Src:	
Fund Amt Expnded:					RLF Lvg Fund Entity:	
Source of Funding:					RLF Lvg Fund Amt:	
Past Use Resiential:					RLF Subgrant Signed:	
Past Use Greenspace:					Subgrant EPA Fund:	200000.
Past Use Industrial:	14.				Subgrant Cost Shr:	
Past Use Commercial:						
Coop Agmt Recipnt:		Colorado Department of Public Health & Environment				
Clnup Compet Doc2:						
Climate Adapt Mitg1:						
Climate Adapt Mitg2:						

Activity Details(Cleanups in My Community)

Coop Agmt No:	97814401				Redev Actvy Funded:	
Program Name:	BF				Redev Start Dt:	01/03/2011
Activity Funded:					Redev Compl date:	
Type CA Fund:	Hazardous				Redev Fund Entity:	DOLA
Funding Entity:					Redev Residential:	4.
Assessmnt Start Dt:					Redev Greenspace:	4.71
Assessmnt Compl Dt:					Redev Industrial:	
Clnup Actvy Start Dt:					Redev Commercial:	
Clnup Actvy Comp Dt:					# of Redev Jobs:	
Acres Cleaned Up:					RLF Signed Dt:	
Clnup Funding Src:					RLF Intest Rate:	
Clnup Entity Provid:					RLF EPA Fund:	
Signed Rpt Dt:					RLF Cost Share:	
Direct Clnup Tot Fnd:					RLF Prog Income:	
Direct Clnup Fnd Src:					RLF Lvg Fund Src:	RLF Leveraged
Fund Amt Expnded:	400000.				RLF Lvg Fund Entity:	DOLA
Source of Funding:					RLF Lvg Fund Amt:	301000.
Past Use Resiential:					RLF Subgrant Signed:	
Past Use Greenspace:					Subgrant EPA Fund:	
Past Use Industrial:	14.				Subgrant Cost Shr:	
Past Use Commercial:						
Coop Agmt Recipnt:		San Juan County				
Clnup Compet Doc2:						
Climate Adapt Mitg1:						
Climate Adapt Mitg2:						

Activity Details(Cleanups in My Community)

Coop Agmt No:	97814401				Redev Actvy Funded:	
Program Name:	BF				Redev Start Dt:	
Activity Funded:					Redev Compl date:	
Type CA Fund:	Hazardous				Redev Fund Entity:	
Funding Entity:					Redev Residential:	4.
Assessmnt Start Dt:					Redev Greenspace:	4.71
Assessmnt Compl Dt:					Redev Industrial:	
Clnup Actvy Start Dt:					Redev Commercial:	
Clnup Actvy Comp Dt:					# of Redev Jobs:	
Acres Cleaned Up:					RLF Signed Dt:	
Clnup Funding Src:					RLF Intest Rate:	
Clnup Entity Provid:					RLF EPA Fund:	
Signed Rpt Dt:					RLF Cost Share:	
Direct Clnup Tot Fnd:					RLF Prog Income:	
Direct Clnup Fnd Src:					RLF Lvg Fund Src:	RLF Leveraged
Fund Amt Expnded:					RLF Lvg Fund Entity:	San Juan County
Source of Funding:					RLF Lvg Fund Amt:	339000.
Past Use Resiential:					RLF Subgrant Signed:	
Past Use Greenspace:					Subgrant EPA Fund:	
Past Use Industrial:	14.				Subgrant Cost Shr:	
Past Use Commercial:						

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Coop Agmt Recipnt: San Juan County
 Clnup Compet Doc2:
 Climate Adapt Mitg1:
 Climate Adapt Mitg2:

Activity Details(Cleanups in My Community)

Coop Agmt No:	97814401	Redev Actvy Funded:	
Program Name:	BF	Redev Start Dt:	01/03/2011
Activity Funded:		Redev Compl date:	
Type CA Fund:	Hazardous	Redev Fund Entity:	San Juan County
Funding Entity:		Redev Residential:	4.
Assessmnt Start Dt:		Redev Greenspace:	4.71
Assessmnt Compl Dt:		Redev Industrial:	
Clnup Actvy Start Dt:		Redev Commercial:	
Clnup Actvy Comp Dt:		# of Redev Jobs:	
Acres Cleaned Up:		RLF Signed Dt:	
Clnup Funding Src:		RLF Intest Rate:	
Clnup Entity Provid:		RLF EPA Fund:	
Signed Rpt Dt:		RLF Cost Share:	
Direct Clnup Tot Fnd:		RLF Prog Income:	
Direct Clnup Fnd Src:		RLF Lvg Fund Src:	RLF Leveraged
Fund Amt Expnded:	150000.	RLF Lvg Fund Entity:	San Juan County
Source of Funding:		RLF Lvg Fund Amt:	339000.
Past Use Resiential:		RLF Subgrant Signed:	
Past Use Greenspace:		Subgrant EPA Fund:	
Past Use Industrial:	14.	Subgrant Cost Shr:	
Past Use Commercial:			
Coop Agmt Recipnt:	San Juan County		
Clnup Compet Doc2:			
Climate Adapt Mitg1:			
Climate Adapt Mitg2:			

Activity Details(Cleanups in My Community)

Coop Agmt No:	97814401	Redev Actvy Funded:	
Program Name:	BF	Redev Start Dt:	
Activity Funded:		Redev Compl date:	
Type CA Fund:	Hazardous	Redev Fund Entity:	
Funding Entity:		Redev Residential:	4.
Assessmnt Start Dt:		Redev Greenspace:	4.71
Assessmnt Compl Dt:		Redev Industrial:	
Clnup Actvy Start Dt:	12/01/2008	Redev Commercial:	
Clnup Actvy Comp Dt:	12/04/2009	# of Redev Jobs:	
Acres Cleaned Up:	10.76	RLF Signed Dt:	
Clnup Funding Src:	EPA	RLF Intest Rate:	
Clnup Entity Provid:	US EPA - Brownfields Cleanup Cooperative Agreement	RLF EPA Fund:	
Signed Rpt Dt:		RLF Cost Share:	
Direct Clnup Tot Fnd:		RLF Prog Income:	
Direct Clnup Fnd Src:		RLF Lvg Fund Src:	
Fund Amt Expnded:		RLF Lvg Fund Entity:	
Source of Funding:		RLF Lvg Fund Amt:	
Past Use Resiential:		RLF Subgrant Signed:	
Past Use Greenspace:		Subgrant EPA Fund:	
Past Use Industrial:	14.	Subgrant Cost Shr:	
Past Use Commercial:			
Coop Agmt Recipnt:	San Juan County		
Clnup Compet Doc2:			
Climate Adapt Mitg1:			
Climate Adapt Mitg2:			

Activity Details(Cleanups in My Community)

Coop Agmt No:	97814401	Redev Actvy Funded:	
Program Name:	BF	Redev Start Dt:	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
<hr/>						
Activity Funded:					Redev Compl date:	
Type CA Fund:	Hazardous				Redev Fund Entity:	
Funding Entity:					Redev Residential:	4.
Assessmnt Start Dt:					Redev Greenspace:	4.71
Assessmnt Compl Dt:					Redev Industrial:	
Clnup Actvy Start Dt:	12/01/2008				Redev Commercial:	
Clnup Actvy Comp Dt:	12/04/2009				# of Redev Jobs:	
Acres Cleaned Up:	10.76				RLF Signed Dt:	
Clnup Funding Src:	EPA				RLF Intest Rate:	
Clnup Entity Provid:	US EPA - Brownfields Cleanup Cooperative Agreement				RLF EPA Fund:	
Signed Rpt Dt:					RLF Cost Share:	
Direct Clnup Tot Fnd:					RLF Prog Income:	
Direct Clnup Fnd Src:					RLF Lvg Fund Src:	RLF Leveraged
Fund Amt Expnded:					RLF Lvg Fund Entity:	DOLA
Source of Funding:					RLF Lvg Fund Amt:	301000.
Past Use Resiential:					RLF Subgrant Signed:	
Past Use Greenspace:					Subgrant EPA Fund:	
Past Use Industrial:	14.				Subgrant Cost Shr:	
Past Use Commercial:						
Coop Agmt Recipnt:		San Juan County				
Clnup Compet Doc2:						
Climate Adapt Mitg1:						
Climate Adapt Mitg2:						

Activity Details(Cleanups in My Community)

Coop Agmt No:	97814401				Redev Actvy Funded:	
Program Name:	BF				Redev Start Dt:	01/03/2011
Activity Funded:					Redev Compl date:	
Type CA Fund:	Hazardous				Redev Fund Entity:	DOLA
Funding Entity:					Redev Residential:	4.
Assessmnt Start Dt:					Redev Greenspace:	4.71
Assessmnt Compl Dt:					Redev Industrial:	
Clnup Actvy Start Dt:					Redev Commercial:	
Clnup Actvy Comp Dt:					# of Redev Jobs:	
Acres Cleaned Up:					RLF Signed Dt:	
Clnup Funding Src:					RLF Intest Rate:	
Clnup Entity Provid:					RLF EPA Fund:	
Signed Rpt Dt:					RLF Cost Share:	
Direct Clnup Tot Fnd:					RLF Prog Income:	
Direct Clnup Fnd Src:					RLF Lvg Fund Src:	
Fund Amt Expnded:	400000.				RLF Lvg Fund Entity:	
Source of Funding:					RLF Lvg Fund Amt:	
Past Use Resiential:					RLF Subgrant Signed:	
Past Use Greenspace:					Subgrant EPA Fund:	
Past Use Industrial:	14.				Subgrant Cost Shr:	
Past Use Commercial:						
Coop Agmt Recipnt:		San Juan County				
Clnup Compet Doc2:						
Climate Adapt Mitg1:						
Climate Adapt Mitg2:						

Activity Details(Cleanups in My Community)

Coop Agmt No:	97814401				Redev Actvy Funded:	
Program Name:	BF				Redev Start Dt:	
Activity Funded:					Redev Compl date:	
Type CA Fund:	Hazardous				Redev Fund Entity:	
Funding Entity:					Redev Residential:	4.
Assessmnt Start Dt:					Redev Greenspace:	4.71
Assessmnt Compl Dt:					Redev Industrial:	
Clnup Actvy Start Dt:					Redev Commercial:	
Clnup Actvy Comp Dt:					# of Redev Jobs:	
Acres Cleaned Up:					RLF Signed Dt:	
Clnup Funding Src:					RLF Intest Rate:	
Clnup Entity Provid:					RLF EPA Fund:	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Signed Rpt Dt:					RLF Cost Share:	
Direct Clnup Tot Fnd:					RLF Prog Income:	
Direct Clnup Fnd Src:					RLF Lvg Fund Src:	
Fund Amt Expnded:					RLF Lvg Fund Entity:	
Source of Funding:					RLF Lvg Fund Amt:	
Past Use Resiential:					RLF Subgrant Signed:	
Past Use Greenspace:					Subgrant EPA Fund:	
Past Use Industrial:	14.				Subgrant Cost Shr:	
Past Use Commercial:						
Coop Agmt Recipnt:		San Juan County				
Clnup Compet Doc2:						
Climate Adapt Mitg1:						
Climate Adapt Mitg2:						

Activity Details(Cleanups in My Community)

Coop Agmt No:	97814401				Redev Actvy Funded:	
Program Name:	BF				Redev Start Dt:	
Activity Funded:					Redev Compl date:	
Type CA Fund:	Hazardous				Redev Fund Entity:	
Funding Entity:					Redev Residential:	4.
Assessmnt Start Dt:					Redev Greenspace:	4.71
Assessmnt Compl Dt:					Redev Industrial:	
Clnup Actvy Start Dt:	12/01/2008				Redev Commercial:	
Clnup Actvy Comp Dt:	12/04/2009				# of Redev Jobs:	
Acres Cleaned Up:	10.76				RLF Signed Dt:	
Clnup Funding Src:	DOLA				RLF Intest Rate:	
Clnup Entity Provid:	State/Tribal Funding (non-section 128(a))				RLF EPA Fund:	
Signed Rpt Dt:					RLF Cost Share:	
Direct Clnup Tot Fnd:					RLF Prog Income:	
Direct Clnup Fnd Src:					RLF Lvg Fund Src:	RLF Leveraged
Fund Amt Expnded:					RLF Lvg Fund Entity:	DOLA
Source of Funding:					RLF Lvg Fund Amt:	301000.
Past Use Resiential:					RLF Subgrant Signed:	
Past Use Greenspace:					Subgrant EPA Fund:	
Past Use Industrial:	14.				Subgrant Cost Shr:	
Past Use Commercial:						
Coop Agmt Recipnt:		San Juan County				
Clnup Compet Doc2:						
Climate Adapt Mitg1:						
Climate Adapt Mitg2:						

Brownfields Details

Registry I:	110038721504				SF EI He C:	
EPA ID:					SF IC Ind:	
EPA Region:	08				SF NPL Cod:	
Cat No:	14080104				SF NPL C 1:	
RCRA Handl:					FF SF Ind:	
RCRA Curre:					Map Symbol:	B
RCRA Remed:					Data Refre:	04-Feb-2024
RCRA Const:					New Site:	
RCRA EI He:					BF RLF Gra:	Y
RCRA EI Gm:					BF RLF Pil:	
RCRA Rem 1:					BF Assess :	
RCRA Ec Gw:					BF Cleanup:	Y
RCRA Ec Ng:					BF Tba Ind:	Y
RCRA IC Ep:					BF 128a In:	
RCRA IC Gc:					BF IC Code:	Y
RCRA IC ID:					BF IC Gc I:	U
RCRA IC Pr:					BF IC Ep I:	U
FF RCRA In:					BF IC ID I:	U
RCRA Ec Co:					BF IC Pr I:	Y
RCRA IC Co:					BF Assess1:	
RCRA Gpra :					BF Multipu:	
RCRA Rem 2:					BF Awp Ind:	
RCRA Dru 1:					BF Showcas:	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
<hr/>						
SF Site ID:					BF 128a P :	
SF Ec Ind:					Congressio:	CO-03
SF El Gm C:					Stimulus B:	Y
Ind Name:						
Cat Name:		Animas				
Sub Name:		Animas				
Primary Name:		MARTHA ROSE/WALSH SMELTER				
RCRA Drupa:						
Repow Ref :						
Url:		https://cimc.epa.gov/ords/cimc/f?p=CIMC:REPOWER::::P33_REF:6817 https://obipublic11.epa.gov/analytics/saw.dll?PortalPages&Action=Navigate&col1=ACRES_GRANT_EXPORT. PROPERTY_ID&val1=%2256321.0%22&PortalPath=/shared/CIMC/_portal/CIMC&Page=Profile+Page https://ejscreen.epa.gov/mapper/demogreportpdf.aspx?report=census2010sf1&coords=-107.6710722%2C37. 8126391&featype=point&radius=1.0 https://ejscreen.epa.gov/mapper/demogreportpdf.aspx?report=acs2017&coords=-107.6710722%2C37. 8126391&featype=point&radius=1.0				
Census Url:						
ACS Url:						
SAA Site:						
Sf Brac Ty:						
Sf Archive:						
Sf Fdocks:						
Sf Npl C 3:						
Sf Npl C 2:						
Sf Npl C 1:						
SF Site Na:						
SF Non N 1:						
SF Non N 2:						
SF Non N 3:						
SF Non Npl:						
BF Prope 1:		Martha Rose/Walsh Smelter				
RCRA Han 1:						
RCRA Rau I:						
REPOW BF:		SG				
REPOW Re 1:		RE-Powering Site Profile				
REPOW Ref1:		6817				

13

1 of 1

N

0.29 /
1,522.69

9,321.40 /
-52

VICTORIA
SAN JUAN COUNTY
SILVERTON CO 81433

MRDS

Dep ID: 10215728

Dev Status: PAST PRODUCER

Code List: AU PB

Url: http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10215728

I1: 98

Latitude: 37.808899

Longitude: -107.677002

Commodity

I1: 27

Code: PB

Commodity: Lead

Commodity Type: Metallic

Commodity Group: Lead

Importance: Tertiary

Line: 2

Inserted By: MAS migration

Insert Date: 29-OCT-2002 09:00:24

Updated By: USGS

Update Date: 29-OCT-2002 09:01:57

I1: 27

Code: AG

Commodity: Silver

Commodity Type: Metallic

Commodity Group: Silver

Importance: Tertiary

Line: 3

Inserted By: MAS migration

Insert Date: 29-OCT-2002 09:00:24

Updated By: USGS

Update Date: 29-OCT-2002 09:01:57

I1: 27

Code: ZN

Commodity: Zinc

Commodity Type: Metallic

Commodity Group: Zinc

Importance: Tertiary

Line: 4

Inserted By: MAS migration

Insert Date: 29-OCT-2002 09:00:24

Updated By: USGS

Update Date: 29-OCT-2002 09:01:57

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	27 AU Gold Metallic Gold Primary				Line: Inserted By: Insert Date: Updated By: Update Date:	1 MAS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:01:57
<u>Names</u>						
I1: Status: Site Name: Line:	14 Current Victoria 1				Inserted By: Insert Date: Updated By: Update Date:	MAS migration 29-OCT-02 USGS 29-OCT-02
14	1 of 1	NW	0.30 / 1,583.45	9,308.84 / -65	Bonita Peak Mining District/BPM CO	SUPERFUND NRD
ID: Site Status: Pollutants: Site: CDPHE Link: EPA Links:	CON000802497 NPL ACTIVE Bonita Peak Mining District/BPM www.epa.gov/superfund/bonita-peak				FID: City: Zip Code:	0
15	1 of 1	NW	0.32 / 1,714.71	9,360.27 / -13	NORTH STAR Off of Highway 550 at South end of Silverton Along dirt road adjacent to Mineral Creek SILVERTON CO 81433	SEMS
EPA ID: Primary Nm (MAP): City Name: Site Name: Street Address: Street Address 2: City: State: Zip: County: Latitude: Longitude: Latitude83(CalOES): Data Source:	CON000821039 NORTH STAR SILVERTON NORTH STAR Off of Highway 550 at South end of Silverton Along dirt road adjacent to Mineral Creek SILVERTON CO 81433 SAN JUAN +37.807542 -107.681795 37.807542 EPA Superfund Data and Reports Active Site Inventory (List 8R Active);EPA FRS Interests Map - SEMS;CalOES EPA RCRA TSDF Map - SEMS				Pgm Sys ID: Loc Addr (MAP): Postal Code: County Name: Latitude83: Longitude83: PGM SYS ID(CalOES): Name(CalOES): Loc Addr(CalOES): City(CalOES): Postal(CalOES): County(CalOES): Longitude83(CalOES):	CON000821039 OFF OF HIGHWAY 550 AT SOUTH END OF SILVERTON 81433 SAN JUAN 37.807542 -107.681795 CON000821039 NORTH STAR OFF OF HIGHWAY 550 AT SOUTH END OF SILVERTON SILVERTON 81433 SAN JUAN -107.681795
<u>Site Level Information</u>						
Site ID: NPL: Federal Facility: FF Docket: Non NPL Status:	0821039 Not on the NPL No No Removal Only Site (No Site Assessment Work Needed)				Superfund Alt Agmt: FIPS Code: Cong District: Region:	No 08111 03 08
<u>Action Information</u>						
Operable Units: Action Code: Action Name:	00 RV RMVL				Start Actual: Finish Actual: Qual:	9/21/2020 5:00:00 AM 10/7/2022 5:00:00 AM S

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
SEQ:	1				Curr Action Lead:	EPA Perf
Operable Units:	00				Start Actual:	4/30/2020 4:00:00 AM
Action Code:	RS				Finish Actual:	9/15/2020 5:00:00 AM
Action Name:	RV ASSESS				Qual:	
SEQ:	1				Curr Action Lead:	EPA Perf

GIS Information

Registry ID:	110071101930	Pgm Sys Acnrm:	SEMS
Active Status:	NOT ON THE NPL	Accuracy Value:	
Key Field:	SEMICON000821039	HUC8 Code:	14080104
Interest Type:	SUPERFUND (NON-NPL)	HUC 12:	
Fed Agency Name:		Public Ind:	Y
Fed Facility Code:		Pgm Report:	no data yet
Federal Land Ind:		X:	-107.68179499999997
EPA Region Code:	08	Y:	37.80754200000007
Fips Code:	08111		
Collect Mth Desc:			
Ref Point Desc:			
Fac Url:	https://ofmpub.epa.gov/frs_public2/fii_query_detail.disp_program_facility?p_registry_id=110071101930		
Program Url:			
Pgm Report Url:	no data yet		

CalOES EPA RCRA TSDf - SEMS

Registry ID:	110071101930	HUC 12:	
Interest Type:	SUPERFUND (NON-NPL)	Collect Mth Desc:	
Active Status:	NOT ON THE NPL	Accuracy Value:	
Pgm Sys Acnrm:	SEMS	Ref Point Desc:	
Federal Agency Nm:		EPA Region Code:	08
Federal Land Ind:		Key Field:	SEMICON000821039
Fed Facility Cd:		Create Dt:	10/26/2021
Public Ind:	Y	Update Dt:	11/24/2021
FIPS Code:	08111	Last Reported Dt:	
HUC8 Code:	14080104		
Pgm Report Url:	no data yet		
Program URL:			
Fac Url:	https://ofmpub.epa.gov/frs_public2/fii_query_detail.disp_program_facility?p_registry_id=110071101930		

16	1 of 1	WNW	0.37 / 1,965.84	9,546.90 / 173	NORTH STAR SAN JUAN COUNTY SILVERTON CO 81433	MRDS
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Dep ID:	10018494	I1:	16
Dev Status:	PRODUCER	Latitude:	37.805481
Code List:	AG	Longitude:	-107.683899
Url:	http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10018494		

Commodity

I1:	10	Line:	2
Code:	PB	Inserted By:	MRDS migration
Commodity:	Lead	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Lead	Update Date:	29-OCT-2002 09:00:34
Importance:	Primary		
I1:	10	Line:	3
Code:	W	Inserted By:	MRDS migration
Commodity:	Tungsten	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Tungsten	Update Date:	29-OCT-2002 09:00:34
Importance:	Primary		

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	10 AG Silver Metallic Silver Primary				Line: Inserted By: Insert Date: Updated By: Update Date:	1 MRDS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:00:34
<u>Materials</u>						
I1: Material: Ore or Gangue: Rec:	12 Galena Ore 1				Inserted B: Insert Dat: Updated By: Update Dat:	MRDS migration 29-OCT-2002 09:44:3
I1: Material: Ore or Gangue: Rec:	83 Tetrahedrite Ore 2				Inserted B: Insert Dat: Updated By: Update Dat:	MRDS migration 29-OCT-2002 09:44:3
<u>Names</u>						
I1: Status: Site Name: Line:	91 Current North Star 1				Inserted By: Insert Date: Updated By: Update Date:	MRDS migration 29-OCT-02 USGS 29-OCT-02

[17](#) 1 of1 S 0.37 / 1,971.76 9,803.08 / 429 JENNIE PARKER SAN JUAN COUNTY SILVERTON CO 81433 MRDS

Dep ID: 10192387
Dev Status: PAST PRODUCER
Code List: AU CU
Url: http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10192387

I1: 21
Latitude: 37.795288
Longitude: -107.674988

Commodity

I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	22 CU Copper Metallic Copper Tertiary	Line: Inserted By: Insert Date: Updated By: Update Date:	1 MAS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:01:48
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	24 PB Lead Metallic Lead Tertiary	Line: Inserted By: Insert Date: Updated By: Update Date:	3 MAS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:01:48
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	24 AG Silver Metallic Silver Tertiary	Line: Inserted By: Insert Date: Updated By: Update Date:	4 MAS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:01:48
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	22 AU Gold Metallic Gold Primary	Line: Inserted By: Insert Date: Updated By: Update Date:	2 MAS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:01:48

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Names

I1:	34	Inserted By:	MAS migration
Status:	Current	Insert Date:	29-OCT-02
Site Name:	Jennie Parker	Updated By:	USGS
Line:	1	Update Date:	29-OCT-02

18	1 of 1	NE	0.39 / 2,066.39	9,276.42 / -97	CDOT Silverton 665 Reese St Silverton CO 81433	LST
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Facility ID:	7526	Facility Type (OPS):	Non-Retail
Event ID (RAP):		Fac Category (OPS):	State/Local Government
Event ID (CST EV):		Facility Name (OPS):	CDOT Silverton
Facility Type (CDLE):	Non-Retail	Address (OPS):	665 Reese St
Fac Category (CDLE):	State/Local Government	City (OPS):	Silverton
Facility Name (CDLE):	CDOT Silverton	County (OPS):	San Juan
Address (CDLE):	665 Reese St	Zip Code (OPS):	81433
City (CDLE):	Silverton	State (OPS):	Colorado
County (CDLE):	San Juan	Latitude (OPS):	37.807774
Zip (CDLE):	81433	Longitude (OPS):	-107.669306
Latitude (CDLE):	37.807774	Lat Long (OPS):	37.807774, -107.669306
Longitude (CDLE):	-107.669306	Address (OPS REL):	665 Reese St
State (CDLE):	Colorado	City (OPS REL):	Silverton
Fac Name (CDLE EV):		County (OPS REL):	San Juan
Site Name (CDLE EV):		Zip (OPS REL):	Colorado
Address (CDLE EV):		State (OPS REL):	81433
Site Name (CST EV):		Latitude (OPS REL):	37.807774
Address (CST EV):		Longitude (OPS REL):	-107.669306
City (CST EV):		Fac Name (COSTIS):	CDOT Silverton
County (CST EV):		Address (COSTIS):	665 Reese St Silverton 81433
Fac Name (CST RAP):		County (COSTIS):	San Juan
Address (CST RAP):			
Original Source:	Colorado Department of Labor and Employment (CDLE) Oil & Public Safety (OPS) Regulated Storage Tanks; Colorado Information Marketplace Oil & Public Safety (OPS) Regulated Storage Tanks; Colorado Storage Tank Information System (COSTIS, as of October 2021); OPS Petroleum Release Events in Colorado - Petroleum Release Events; Colorado Department of Labor and Employment (CDLE) Oil & Public Safety (OPS) Regulated Storage Tanks Events		

Owner Info (COSTIS) (As of October 2021)

Owner ID:	1048
Owner Name:	

Events (CDLE)

Event ID:	615	Proj. Closure Date:	
Alt Event ID:	6365-1	Category:	
Status:	Closed	Sardonyx ID:	
UST Tank Count:	3	Mtbe Classification:	
AST Tank Count:	0	Sum of Reimbur Amt:	
Source of Release:		Reviewer Full Name:	Dennis Hotovec
Cause of Release:		Logged On:	12/5/1994
Confirm Rel Dt:	12/2/1994	Logged By:	
Site Name:	CDOT Silverton		
Loc Addr:			
Loc Addr2:			
Loc Addr3:			
Aka Name:			
Aka Loc Addr:			

Facility (CDLE)

Owner Costis ID:	OWNR-1048	Type:	Non-Retail
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Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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No of Active Tanks:	0			Facility Owner:	CDOT Region 5 Mtce Sect 3
No of Metred Prod:	0				

Events (COSTIS) (As of October 2021)

Event ID:	615	Log Date:	12/5/1994
Process Status Name:	Closed		
Site Name:	CDOT State Barn Silverton		
Facility Name:			
Address:	665 Reese St Silverton CO 81433		
Loc Address:	State Hwy 110 Silverton 81433		
Loc City:	Silverton		
Loc County:	San Juan		

OPS Regulated Storage Tanks

No of Tanks:	0
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OPS Petroleum Release Events in Colorado - Petroleum Release Events

Event ID:	615	Address:	665 Reese St
Release No:	REL-003211	City:	Silverton
Status:	Closed	Zip:	81433
Release Date:	12/2/1994	State:	Colorado
Closure Date:	9/11/1997	County:	San Juan
NFA Type:	Pre-RBCA	Latitude:	37.807774
Release Cause:		Longitude:	-107.669306
Reimbursement Total:		Latitude Longitude:	37.807774, -107.669306
Release Record Type:	Confirmed	Contact:	Dennis Hotovec
Release Source:		Phone:	(303) 318-8547
Site Name:	CDOT Silverton		
Email:	cdle_ops_public_record_center@state.co.us		
Link :	https://socgov18.force.com/s/release/a183h000003KW5I		

19	1 of 1	WSW	0.40 / 2,086.93	10,352.32 / 979	SULTAN MOUNTAIN SAN JUAN COUNTY SILVERTON CO 81433	MRDS
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Dep ID:	10008738	I1:	22
Dev Status:	OCCURRENCE	Latitude:	37.80011
Code List:	W	Longitude:	-107.683899
Url:	http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10008738		

Commodity

I1:	18	Line:	1
Code:	W	Inserted By:	MRDS migration
Commodity:	Tungsten	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Tungsten	Update Date:	29-OCT-2002 09:00:29
Importance:	Primary		

Materials

I1:	18	Inserted B:	MRDS migration
Material:	Huebnerite	Insert Dat:	29-OCT-2002 09:44:3
Ore or Gangue:	Ore	Updated By:	
Rec:	1	Update Dat:	

Names

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
I1:	13				Inserted By:	MRDS migration
Status:	Current				Insert Date:	29-OCT-02
Site Name:	Sultan Mountain				Updated By:	USGS
Line:	1				Update Date:	29-OCT-02

[20](#) 1 of1 ENE 0.40 / 2,117.47 9,271.20 / -102 Town Of Silverton 450 Green St Silverton CO 81433 LST

Facility ID:	7655	Facility Type (OPS):	Non-Retail
Event ID (RAP):		Fac Category (OPS):	Other
Event ID (CST EV):		Facility Name (OPS):	Town Of Silverton
Facility Type (CDLE):	Non-Retail	Address (OPS):	450 Green St
Fac Category (CDLE):	Other	City (OPS):	Silverton
Facility Name (CDLE):	Town Of Silverton	County (OPS):	San Juan
Address (CDLE):	450 Green St	Zip Code (OPS):	81433
City (CDLE):	Silverton	State (OPS):	Colorado
County (CDLE):	San Juan	Latitude (OPS):	37.807058
Zip (CDLE):	81433	Longitude (OPS):	-107.668607
Latitude (CDLE):	37.807058	Lat Long (OPS):	37.807058, -107.668607
Longitude (CDLE):	-107.668607	Address (OPS REL):	450 Green St
State (CDLE):	Colorado	City (OPS REL):	Silverton
Fac Name (CDLE EV):		County (OPS REL):	San Juan
Site Name (CDLE EV):		Zip (OPS REL):	Colorado
Address (CDLE EV):		State (OPS REL):	81433
Site Name (CST EV):		Latitude (OPS REL):	37.807058
Address (CST EV):		Longitude (OPS REL):	-107.668607
City (CST EV):		Fac Name (COSTIS):	Town Of Silverton
County (CST EV):		Address (COSTIS):	450 Green St Silverton 81433
Fac Name (CST RAP):		County (COSTIS):	San Juan
Address (CST RAP):			
Original Source:	Colorado Department of Labor and Employment (CDLE) Oil & Public Safety (OPS) Regulated Storage Tanks; Colorado Information Marketplace Oil & Public Safety (OPS) Regulated Storage Tanks; Colorado Storage Tank Information System (COSTIS, as of October 2021); OPS Petroleum Release Events in Colorado - Petroleum Release Events; Colorado Department of Labor and Employment (CDLE) Oil & Public Safety (OPS) Regulated Storage Tanks Events		

Owner Info (COSTIS) (As of October 2021)

Owner ID: 5359
Owner Name: Town Of Silverton;

Events (CDLE)

Event ID:	4369	Proj. Closure Date:	
Alt Event ID:	9101307-1	Category:	
Status:	Closed	Sardonyx ID:	
UST Tank Count:	2	Mtbe Classification:	
AST Tank Count:	0	Sum of Reimbur Amt:	
Source of Release:		Reviewer Full Name:	Lauri Lundie
Cause of Release:		Logged On:	7/22/1996
Confirm Rel Dt:		Logged By:	
Site Name:	Town Of Silverton		
Loc Addr:			
Loc Addr2:			
Loc Addr3:			
Aka Name:			
Aka Loc Addr:			

Facility (CDLE)

Owner Costis ID:	OWNR-5359	Type:	Non-Retail
No of Active Tanks:	0	Facility Owner:	Town Of Silverton
No of Metred Prod:	0		

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Events (COSTIS) (As of October 2021)

Event ID:	4369			Log Date:	7/22/1996
Process Status Name:	Closed				
Site Name:	Town Of Silverton				
Facility Name:					
Address:	450 Green St Silverton CO 81433				
Loc Address:	450 Green St Silverton 81433				
Loc City:	Silverton				
Loc County:	San Juan				

OPS Regulated Storage Tanks

No of Tanks: 0

OPS Petroleum Release Events in Colorado - Petroleum Release Events

Event ID:	4369	Address:	450 Green St
Release No:	REL-011871	City:	Silverton
Status:	Closed	Zip:	81433
Release Date:		State:	Colorado
Closure Date:		County:	San Juan
NFA Type:	Administrative	Latitude:	37.807058
Release Cause:		Longitude:	-107.668607
Reimbursement Total:		Latitude Longitude:	37.807058, -107.668607
Release Record Type:	Site Assessment	Contact:	Lauri Lundie
Release Source:		Phone:	(303) 318-8547
Site Name:	Town Of Silverton		
Email:	cdle_ops_public_record_center@state.co.us		
Link :	https://socgov18.force.com/s/release/a183h000003KYLRL		

21	1 of 1	WNW	0.43 / 2,255.37	9,564.66 / 191	NORTH STAR-SULTAN SAN JUAN COUNTY SILVERTON CO 81433	MRDS
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Dep ID:	10264976	I1:	22
Dev Status:	PAST PRODUCER	Latitude:	37.805908
Code List:	PB CU	Longitude:	-107.684814
Uri:	http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10264976		

Commodity

I1:	27	Line:	1
Code:	CU	Inserted By:	MAS migration
Commodity:	Copper	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Copper	Update Date:	29-OCT-2002 09:02:21
Importance:	Tertiary		
I1:	27	Line:	2
Code:	AU	Inserted By:	MAS migration
Commodity:	Gold	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Gold	Update Date:	29-OCT-2002 09:02:21
Importance:	Tertiary		
I1:	27	Line:	4
Code:	AG	Inserted By:	MAS migration
Commodity:	Silver	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Silver	Update Date:	29-OCT-2002 09:02:21
Importance:	Tertiary		

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
I1:	27			Line:	3	
Code:	PB			Inserted By:	MAS migration	
Commodity:	Lead			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Lead			Update Date:	29-OCT-2002 09:02:21	
Importance:	Primary					
I1:	27			Line:	5	
Code:	ZN			Inserted By:	MAS migration	
Commodity:	Zinc			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Zinc			Update Date:	29-OCT-2002 09:02:21	
Importance:	Tertiary					
Names						
I1:	24			Inserted By:	MAS migration	
Status:	Current			Insert Date:	29-OCT-02	
Site Name:	North Star-Sultan			Updated By:	USGS	
Line:	1			Update Date:	29-OCT-02	

22	1 of 1	ENE	0.44 / 2,335.79	9,274.59 / -99	Silverton Grocery 717 Greene St Silverton CO 81433	LST
Facility ID:	2517			Facility Type (OPS):	Retail	
Event ID (RAP):				Fac Category (OPS):	Retail Gas Station	
Event ID (CST EV):				Facility Name (OPS):	Silverton Grocery	
Facility Type (CDLE):	Retail			Address (OPS):	717 Greene St	
Fac Category (CDLE):	Retail Gas Station			City (OPS):	Silverton	
Facility Name (CDLE):	Silverton Grocery			County (OPS):	San Juan	
Address (CDLE):	717 Greene St			Zip Code (OPS):	81433	
City (CDLE):	Silverton			State (OPS):	Colorado	
County (CDLE):	San Juan			Latitude (OPS):	37.811688	
Zip (CDLE):	81433			Longitude (OPS):	-107.66412	
Latitude (CDLE):	37.811688			Lat Long (OPS):	37.811688, -107.66412	
Longitude (CDLE):	-107.66412			Address (OPS REL):	717 Greene St	
State (CDLE):	Colorado			City (OPS REL):	Silverton	
Fac Name (CDLE EV):				County (OPS REL):	San Juan	
Site Name (CDLE EV):				Zip (OPS REL):	Colorado	
Address (CDLE EV):				State (OPS REL):	81433	
Site Name (CST EV):				Latitude (OPS REL):	37.811688	
Address (CST EV):				Longitude (OPS REL):	-107.66412	
City (CST EV):				Fac Name (COSTIS):	Silverton Grocery	
County (CST EV):				Address (COSTIS):	717 Greene St Silverton 81433	
Fac Name (CST RAP):				County (COSTIS):	San Juan	
Address (CST RAP):						
Original Source:	Colorado Department of Labor and Employment (CDLE) Oil & Public Safety (OPS) Regulated Storage Tanks; Colorado Information Marketplace Oil & Public Safety (OPS) Regulated Storage Tanks; Colorado Storage Tank Information System (COSTIS, as of October 2021); OPS Petroleum Release Events in Colorado - Petroleum Release Events; Colorado Department of Labor and Employment (CDLE) Oil & Public Safety (OPS) Regulated Storage Tanks Events					

Owner Info (COSTIS) (As of October 2021)

Owner ID: 2629
Owner Name:

Events (CDLE)

Event ID:	11166	Proj. Closure Date:	
Alt Event ID:		Category:	
Status:	Closed	Sardonix ID:	
UST Tank Count:	2	Mtbe Classification:	
AST Tank Count:	0	Sum of Reimbur Amt:	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Source of Release:				Reviewer Full Name:	Tina Sandoval
Cause of Release:	Physical Damage			Logged On:	6/3/2010
Confirm Rel Dt:	6/3/2010			Logged By:	
Site Name:	Silverton Grocery				
Loc Addr:					
Loc Addr2:					
Loc Addr3:					
Aka Name:					
Aka Loc Addr:					

Events (CDLE)

Event ID:	12105	Proj. Closure Date:	
Alt Event ID:		Category:	
Status:	Closed	Sardonyx ID:	
UST Tank Count:	2	Mtbe Classification:	
AST Tank Count:	0	Sum of Reimbur Amt:	
Source of Release:		Reviewer Full Name:	Michelle Howard
Cause of Release:	Other	Logged On:	8/25/2014
Confirm Rel Dt:	7/15/2014	Logged By:	
Site Name:	Silverton Grocery		
Loc Addr:			
Loc Addr2:			
Loc Addr3:			
Aka Name:			
Aka Loc Addr:			

Facility (CDLE)

Owner Costis ID:	OWNR-2629	Type:	Retail
No of Active Tanks:	0	Facility Owner:	Silverton Grocery
No of Metred Prod:	0		

Events (COSTIS) (As of October 2021)

Event ID:	12105	Log Date:	8/25/2014 10:40:21 AM
Process Status Name:	Closed		
Site Name:	Silverton Grocery		
Facility Name:			
Address:	717 Greene St Silverton CO 81433		
Loc Address:	717 Greene St Silverton 81433		
Loc City:	Silverton		
Loc County:	San Juan		

Events (COSTIS) (As of October 2021)

Event ID:	11166	Log Date:	6/3/2010 1:00:19 PM
Process Status Name:	Closed		
Site Name:	Silverton Grocery		
Facility Name:			
Address:	717 Greene St Silverton CO 81433		
Loc Address:	717 Greene St Silverton 81433		
Loc City:	Silverton		
Loc County:	San Juan		

OPS Regulated Storage Tanks

No of Tanks:	0
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OPS Petroleum Release Events in Colorado - Petroleum Release Events

Event ID:	12105	Address:	717 Greene St
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Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Release No:	REL-010791			City:	Silverton	
Status:	Closed			Zip:	81433	
Release Date:	7/15/2014			State:	Colorado	
Closure Date:	9/16/2014			County:	San Juan	
NFA Type:	Tier I			Latitude:	37.811688	
Release Cause:	Other			Longitude:	-107.66412	
Reimbursement Total:				Latitude Longitude:	37.811688, -107.66412	
Release Record Type:	Confirmed			Contact:	Michelle Howard	
Release Source:				Phone:	(303) 318-8547	
Site Name:	Silverton Grocery					
Email:	cdle_ops_public_record_center@state.co.us					
Link :	https://socgov18.force.com/s/release/a183h000003KY41					

OPS Petroleum Release Events in Colorado - Petroleum Release Events

Event ID:	11166	Address:	717 Greene St
Release No:	REL-010790	City:	Silverton
Status:	Closed	Zip:	81433
Release Date:	6/3/2010	State:	Colorado
Closure Date:	5/12/2011	County:	San Juan
NFA Type:	Tier I	Latitude:	37.811688
Release Cause:	Physical Damage	Longitude:	-107.66412
Reimbursement Total:		Latitude Longitude:	37.811688, -107.66412
Release Record Type:	Confirmed	Contact:	Tina Sandoval
Release Source:		Phone:	(303) 318-8547
Site Name:	Silverton Grocery		
Email:	cdle_ops_public_record_center@state.co.us		
Link :	https://socgov18.force.com/s/release/a183h000003KY40		

23	1 of 1	SSE	0.59 / 3,118.68	9,314.60 / -59	IDEAL PLACER SAN JUAN COUNTY SILVERTON CO 81433	MRDS
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Dep ID:	10118828	I1:	57
Dev Status:	PAST PRODUCER	Latitude:	37.793274
Code List:	AU	Longitude:	-107.670288
Url:	http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10118828		

Commodity

I1:	19	Line:	1
Code:	AU	Inserted By:	MAS migration
Commodity:	Gold	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Gold	Update Date:	29-OCT-2002 09:01:21
Importance:	Primary		

Names

I1:	34	Inserted By:	MAS migration
Status:	Current	Insert Date:	29-OCT-02
Site Name:	Ideal Placer	Updated By:	USGS
Line:	1	Update Date:	29-OCT-02

24	1 of 1	ESE	0.67 / 3,555.06	9,407.68 / 34	MARCELLA SAN JUAN COUNTY SILVERTON CO 81433	MRDS
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Dep ID:	10289373	I1:	10
Dev Status:	PAST PRODUCER	Latitude:	37.795898
Code List:	MN ZN	Longitude:	-107.664978
Url:	http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10289373		

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Commodity

I1:	36	Line:	1
Code:	MN	Inserted By:	MAS migration
Commodity:	Manganese	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Manganese	Update Date:	29-OCT-2002 09:02:30
Importance:	Primary		

I1:	36	Line:	2
Code:	ZN	Inserted By:	MAS migration
Commodity:	Zinc	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Zinc	Update Date:	29-OCT-2002 09:02:30
Importance:	Tertiary		

Names

I1:	35	Inserted By:	MAS migration
Status:	Current	Insert Date:	29-OCT-02
Site Name:	Marcella	Updated By:	USGS
Line:	2	Update Date:	29-OCT-02

Names

I1:	35	Inserted By:	MAS migration
Status:	Previous	Insert Date:	29-OCT-02
Site Name:	Marcello	Updated By:	USGS
Line:	3	Update Date:	29-OCT-02

25	1 of 3	SSW	0.68 / 3,599.11	10,951.93 / 1,578	HERCULES SAN JUAN COUNTY SILVERTON CO 81433	MRDS
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Dep ID:	10018493	I1:	26
Dev Status:	OCCURRENCE	Latitude:	37.791077
Code List:	W	Longitude:	-107.678711
Url:	http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10018493		

Commodity

I1:	10	Line:	1
Code:	W	Inserted By:	MRDS migration
Commodity:	Tungsten	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Tungsten	Update Date:	29-OCT-2002 09:00:34
Importance:	Primary		

Materials

I1:	12	Inserted B:	MRDS migration
Material:	Huebnerite	Insert Dat:	29-OCT-2002 09:44:3
Ore or Gangue:	Ore	Updated By:	
Rec:	1	Update Dat:	

Names

I1:	91	Inserted By:	MRDS migration
Status:	Current	Insert Date:	29-OCT-02
Site Name:	Hercules	Updated By:	USGS
Line:	1	Update Date:	29-OCT-02

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
25	2 of 3	SSW	0.68 / 3,599.11	10,951.93 / 1,578	NORTH STAR SAN JUAN COUNTY SILVERTON CO 81433	MRDS

Dep ID: 10108411
Dev Status: PRODUCER
Code List: ZN
Url: http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10108411

I1: 20
Latitude: 37.791077
Longitude: -107.678711

Commodity

I1: 32	Line: 1
Code: ZN	Inserted By: MRDS migration
Commodity: Zinc	Insert Date: 29-OCT-2002 09:00:24
Commodity Type: Metallic	Updated By: USGS
Commodity Group: Zinc	Update Date: 29-OCT-2002 09:01:16
Importance: Primary	

I1: 31	Line: 3
Code: CU	Inserted By: MRDS migration
Commodity: Copper	Insert Date: 29-OCT-2002 09:00:24
Commodity Type: Metallic	Updated By: USGS
Commodity Group: Copper	Update Date: 29-OCT-2002 09:01:16
Importance: Primary	

I1: 31	Line: 5
Code: AG	Inserted By: MRDS migration
Commodity: Silver	Insert Date: 29-OCT-2002 09:00:24
Commodity Type: Metallic	Updated By: USGS
Commodity Group: Silver	Update Date: 29-OCT-2002 09:01:16
Importance: Primary	

I1: 31	Line: 4
Code: AU	Inserted By: MRDS migration
Commodity: Gold	Insert Date: 29-OCT-2002 09:00:24
Commodity Type: Metallic	Updated By: USGS
Commodity Group: Gold	Update Date: 29-OCT-2002 09:01:16
Importance: Primary	

I1: 32	Line: 2
Code: PB	Inserted By: MRDS migration
Commodity: Lead	Insert Date: 29-OCT-2002 09:00:24
Commodity Type: Metallic	Updated By: USGS
Commodity Group: Lead	Update Date: 29-OCT-2002 09:01:16
Importance: Primary	

Materials

I1: 83	Inserted B: MRDS migration
Material: Tetrahedrite	Insert Dat: 29-OCT-2002 09:44:3
Ore or Gangue: Ore	Updated By:
Rec: 3	Update Dat:

I1: 83	Inserted B: MRDS migration
Material: Galena	Insert Dat: 29-OCT-2002 09:44:3
Ore or Gangue: Ore	Updated By:
Rec: 1	Update Dat:

I1: 83	Inserted B: MRDS migration
Material: Specularite	Insert Dat: 29-OCT-2002 09:44:3
Ore or Gangue: Ore	Updated By:
Rec: 2	Update Dat:

Names

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
I1: Status: Site Name: Line:	12 Previous Sultan Mine 2				Inserted By: Insert Date: Updated By: Update Date:	MRDS migration 29-OCT-02 USGS 29-OCT-02
<u>Names</u>						
I1: Status: Site Name: Line:	12 Current North Star 1				Inserted By: Insert Date: Updated By: Update Date:	MRDS migration 29-OCT-02 USGS 29-OCT-02
25	3 of 3	SSW	0.68 / 3,599.11	10,951.93 / 1,578	DORA SAN JUAN COUNTY SILVERTON CO 81433	MRDS
Dep ID: Dev Status: Code List: Url:	10018496 OCCURRENCE W http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10018496			I1: Latitude: Longitude:	66 37.791077 -107.678711	
<u>Commodity</u>						
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	11 W Tungsten Metallic Tungsten Primary			Line: Inserted By: Insert Date: Updated By: Update Date:	1 MRDS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:00:34	
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	35 PB Lead Metallic Lead Primary			Line: Inserted By: Insert Date: Updated By: Update Date:	2 MRDS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:00:34	
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	11 CU Copper Metallic Copper Primary			Line: Inserted By: Insert Date: Updated By: Update Date:	3 MRDS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:00:34	
<u>Names</u>						
I1: Status: Site Name: Line:	91 Current Dora 1				Inserted By: Insert Date: Updated By: Update Date:	MRDS migration 29-OCT-02 USGS 29-OCT-02

26	1 of 1	NW	0.70 / 3,673.52	9,415.32 / 42	ANVIL MOUNTAIN SOUTH SAN JUAN COUNTY SILVERTON CO 81433	MRDS
Dep ID: Dev Status: Code List: Url:	10143549 UNKNOWN AU http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10143549			I1: Latitude: Longitude:	11 37.811523 -107.686401	

Commodity

I1: 56 **Line:** 1

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
<hr/>						
Code:	AU			Inserted By:	MAS migration	
Commodity:	Gold			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Gold			Update Date:	29-OCT-2002 09:01:30	
Importance:	Primary					
 <u>Names</u>						
I1:	24			Inserted By:	MAS migration	
Status:	Current			Insert Date:	29-OCT-02	
Site Name:	Anvil Mountain South			Updated By:	USGS	
Line:	1			Update Date:	29-OCT-02	
 <u>Names</u>						
I1:	18			Inserted By:	MAS migration	
Status:	Previous			Insert Date:	29-OCT-02	
Site Name:	Unknown			Updated By:	USGS	
Line:	3			Update Date:	29-OCT-02	
<hr/>						
27	1 of 1	N	0.73 / 3,845.52	10,249.32 / 876	COMING WONDER EMERALD MINE SAN JUAN COUNTY SILVERTON CO 81433	MRDS
Dep ID:	10167506			I1:	10	
Dev Status:	UNKNOWN			Latitude:	37.815308	
Code List:	PB CU			Longitude:	-107.675903	
Url:	http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10167506					
 <u>Commodity</u>						
I1:	37			Line:	4	
Code:	AG			Inserted By:	MAS migration	
Commodity:	Silver			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Silver			Update Date:	29-OCT-2002 09:01:39	
Importance:	Tertiary					
I1:	35			Line:	5	
Code:	ZN			Inserted By:	MAS migration	
Commodity:	Zinc			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Zinc			Update Date:	29-OCT-2002 09:01:39	
Importance:	Tertiary					
I1:	35			Line:	3	
Code:	PB			Inserted By:	MAS migration	
Commodity:	Lead			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Lead			Update Date:	29-OCT-2002 09:01:39	
Importance:	Primary					
I1:	34			Line:	1	
Code:	CU			Inserted By:	MAS migration	
Commodity:	Copper			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Copper			Update Date:	29-OCT-2002 09:01:39	
Importance:	Tertiary					
I1:	34			Line:	2	
Code:	AU			Inserted By:	MAS migration	
Commodity:	Gold			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Gold			Update Date:	29-OCT-2002 09:01:39	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Importance:	Tertiary
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Names

I1:	34	Inserted By:	MAS migration
Status:	Current	Insert Date:	29-OCT-02
Site Name:	Coming Wonder Emerald Mine	Updated By:	USGS
Line:	1	Update Date:	29-OCT-02

28	1 of 1	NE	0.75 / 3,977.50	9,301.86 / -72	DORA SAN JUAN COUNTY SILVERTON CO 81433	MRDS
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Dep ID:	10143211	I1:	12
Dev Status:	PAST PRODUCER	Latitude:	37.811096
Code List:	PB CU	Longitude:	-107.66449
Url:	http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10143211		

Commodity

I1:	22	Line:	1
Code:	CU	Inserted By:	MAS migration
Commodity:	Copper	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Copper	Update Date:	29-OCT-2002 09:01:30
Importance:	Tertiary		

I1:	25	Line:	4
Code:	AG	Inserted By:	MAS migration
Commodity:	Silver	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Silver	Update Date:	29-OCT-2002 09:01:30
Importance:	Tertiary		

I1:	25	Line:	5
Code:	ZN	Inserted By:	MAS migration
Commodity:	Zinc	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Zinc	Update Date:	29-OCT-2002 09:01:30
Importance:	Tertiary		

I1:	24	Line:	2
Code:	AU	Inserted By:	MAS migration
Commodity:	Gold	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Gold	Update Date:	29-OCT-2002 09:01:30
Importance:	Tertiary		

I1:	24	Line:	3
Code:	PB	Inserted By:	MAS migration
Commodity:	Lead	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Lead	Update Date:	29-OCT-2002 09:01:30
Importance:	Primary		

Names

I1:	34	Inserted By:	MAS migration
Status:	Previous	Insert Date:	29-OCT-02
Site Name:	Little Dora, Hercules, Empire Group	Updated By:	USGS
Line:	3	Update Date:	29-OCT-02

Names

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
I1: Status: Site Name: Line:	34 Current Dora 1				Inserted By: Insert Date: Updated By: Update Date: MAS migration 29-OCT-02 USGS 29-OCT-02	

29	1 of 1	E	0.76 / 4,026.06	9,916.17 / 543	IDAHO SAN JUAN COUNTY SILVERTON CO 81433	MRDS
Dep ID: Dev Status: Code List: Url:	10118736 PAST PRODUCER CU AU http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10118736			I1: Latitude: Longitude:	11 37.80249 -107.659912	

Commodity

I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	39 AG Silver Metallic Silver Tertiary	Line: Inserted By: Insert Date: Updated By: Update Date:	4 MAS migration 29-OCT-02 USGS 29-OCT-02
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	39 PB Lead Metallic Lead Tertiary	Line: Inserted By: Insert Date: Updated By: Update Date:	3 MAS migration 29-OCT-02 USGS 29-OCT-02
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	39 AU Gold Metallic Gold Tertiary	Line: Inserted By: Insert Date: Updated By: Update Date:	2 MAS migration 29-OCT-02 USGS 29-OCT-02
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	39 CU Copper Metallic Copper Primary	Line: Inserted By: Insert Date: Updated By: Update Date:	1 MAS migration 29-OCT-02 USGS 29-OCT-02

Names

I1: Status: Site Name: Line:	34 Current Idaho 1	Inserted By: Insert Date: Updated By: Update Date:	MAS migration 29-OCT-02 USGS 29-OCT-02
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30	1 of 2	E	0.76 / 4,037.90	9,384.76 / 11	LITTLE DORA SAN JUAN COUNTY SILVERTON CO 81433	MRDS
Dep ID: Dev Status: Code List: Url:	10018497 PRODUCER W http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10018497			I1: Latitude: Longitude:	15 37.805481 -107.660278	

Commodity

I1:	10	Line:	1
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Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Code:	W				Inserted By:	MRDS migration
Commodity:	Tungsten				Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic				Updated By:	USGS
Commodity Group:	Tungsten				Update Date:	29-OCT-2002 09:00:34
Importance:	Primary					
<u>Materials</u>						
I1:	57				Inserted B:	MRDS migration
Material:	Huebnerite				Insert Dat:	29-OCT-2002 09:44:3
Ore or Gangue:	Ore				Updated By:	
Rec:	1				Update Dat:	
<u>Names</u>						
I1:	91				Inserted By:	MRDS migration
Status:	Current				Insert Date:	29-OCT-02
Site Name:	Little Dora				Updated By:	USGS
Line:	1				Update Date:	29-OCT-02

30	2 of 2	E	0.76 / 4,037.90	9,384.76 / 11	CORNING WONDER MINE SAN JUAN COUNTY SILVERTON CO 81433	MRDS
Dep ID:	10108413				I1:	99
Dev Status:	PRODUCER				Latitude:	37.805481
Code List:	PB				Longitude:	-107.660278
Url:	http://mrddata.usgs.gov/mrds/show-mrds.php?dep_id=10108413					

<u>Commodity</u>						
I1:	29				Line:	4
Code:	AG				Inserted By:	MRDS migration
Commodity:	Silver				Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic				Updated By:	USGS
Commodity Group:	Silver				Update Date:	29-OCT-2002 09:01:16
Importance:	Primary					
I1:	29				Line:	2
Code:	CU				Inserted By:	MRDS migration
Commodity:	Copper				Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic				Updated By:	USGS
Commodity Group:	Copper				Update Date:	29-OCT-2002 09:01:16
Importance:	Primary					
I1:	29				Line:	3
Code:	AU				Inserted By:	MRDS migration
Commodity:	Gold				Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic				Updated By:	USGS
Commodity Group:	Gold				Update Date:	29-OCT-2002 09:01:16
Importance:	Primary					
I1:	29				Line:	1
Code:	PB				Inserted By:	MRDS migration
Commodity:	Lead				Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic				Updated By:	USGS
Commodity Group:	Lead				Update Date:	29-OCT-2002 09:01:16
Importance:	Primary					
<u>Materials</u>						
I1:	12				Inserted B:	MRDS migration
Material:	Galena				Insert Dat:	29-OCT-2002 09:44:3

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Ore or Gangue: Rec:	Ore 2				Updated By: Update Dat:	
I1: Material: Ore or Gangue: Rec:	17 Chalcopyrite Ore 1				Inserted B: Insert Dat: Updated By: Update Dat:	MRDS migration 29-OCT-2002 09:44:3
I1: Material: Ore or Gangue: Rec:	83 Pyrite Ore 3				Inserted B: Insert Dat: Updated By: Update Dat:	MRDS migration 29-OCT-2002 09:44:3
<u>Names</u>						
I1: Status: Site Name: Line:	40 Previous Emerald Mine 2				Inserted By: Insert Date: Updated By: Update Date:	MRDS migration 29-OCT-02 USGS 29-OCT-02
<u>Names</u>						
I1: Status: Site Name: Line:	17 Current Corning Wonder Mine 1				Inserted By: Insert Date: Updated By: Update Date:	MRDS migration 29-OCT-02 USGS 29-OCT-02

31	1 of 1	SE	0.77 / 4,079.13	9,228.58 / -145	MIGHTY MONARCH ET AL SAN JUAN COUNTY SILVERTON CO 81433	MRDS
Dep ID: Dev Status: Code List: Url:	10009469 OCCURRENCE AG http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10009469			I1: Latitude: Longitude:	22 37.791687 -107.667297	
<u>Commodity</u>						
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	32 AU Gold Metallic Gold Primary			Line: Inserted By: Insert Date: Updated By: Update Date:	3 MRDS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:00:29	
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	32 PB Lead Metallic Lead Primary			Line: Inserted By: Insert Date: Updated By: Update Date:	2 MRDS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:00:29	
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	32 ZN Zinc Metallic Zinc Primary			Line: Inserted By: Insert Date: Updated By: Update Date:	4 MRDS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:00:29	
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	32 AG Silver Metallic Silver Primary			Line: Inserted By: Insert Date: Updated By: Update Date:	1 MRDS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:00:29	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
<hr/>						
<u>Materials</u>						
I1:	23			Inserted B:	MRDS migration	
Material:	Sphalerite			Insert Dat:	29-OCT-2002 09:44:3	
Ore or Gangue:	Ore			Updated By:		
Rec:	1			Update Dat:		
<u>Names</u>						
I1:	13			Inserted By:	MRDS migration	
Status:	Current			Insert Date:	29-OCT-02	
Site Name:	Mighty Monarch Et Al			Updated By:	USGS	
Line:	1			Update Date:	29-OCT-02	
<hr/>						
32	1 of 1	SSE	0.82 / 4,335.71	9,249.85 / -124	MYSTERY GROUP, FAIRVIEW SAN JUAN COUNTY SILVERTON CO 81433	MRDS
Dep ID:	10265022			I1:	72	
Dev Status:	PAST PRODUCER			Latitude:	37.789673	
Code List:	PB CU			Longitude:	-107.669983	
Url:	http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10265022					
<u>Commodity</u>						
I1:	35			Line:	5	
Code:	ZN			Inserted By:	MAS migration	
Commodity:	Zinc			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Zinc			Update Date:	29-OCT-2002 09:02:21	
Importance:	Tertiary					
I1:	35			Line:	3	
Code:	PB			Inserted By:	MAS migration	
Commodity:	Lead			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Lead			Update Date:	29-OCT-2002 09:02:21	
Importance:	Primary					
I1:	10			Line:	4	
Code:	AG			Inserted By:	MAS migration	
Commodity:	Silver			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Silver			Update Date:	29-OCT-2002 09:02:41	
Importance:	Tertiary					
I1:	36			Line:	2	
Code:	AU			Inserted By:	MAS migration	
Commodity:	Gold			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Gold			Update Date:	29-OCT-2002 09:02:21	
Importance:	Tertiary					
I1:	36			Line:	1	
Code:	CU			Inserted By:	MAS migration	
Commodity:	Copper			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Copper			Update Date:	29-OCT-2002 09:02:21	
Importance:	Tertiary					

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
I1: Status: Site Name: Line:	34 Current Mystery Group, Fairview 1				Inserted By: Insert Date: Updated By: Update Date:	MAS migration 29-OCT-02 USGS 29-OCT-02
<u>Names</u>						
I1: Status: Site Name: Line:	34 Previous Champion Mine 2				Inserted By: Insert Date: Updated By: Update Date:	MAS migration 29-OCT-02 USGS 29-OCT-02
33	1 of 1	SSE	0.84 / 4,427.81	9,687.21 / 314	ALETHEA GROUP SAN JUAN COUNTY SILVERTON CO 81433	MRDS
Dep ID: Dev Status: Code List: Url:	10119358 PAST PRODUCER AU CU http://mrddata.usgs.gov/mrds/show-mrds.php?dep_id=10119358			I1: Latitude: Longitude:	10 37.788879 -107.671997	
<u>Commodity</u>						
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	13 PB Lead Metallic Lead Tertiary			Line: Inserted By: Insert Date: Updated By: Update Date:	3 MAS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:01:21	
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	13 AU Gold Metallic Gold Primary			Line: Inserted By: Insert Date: Updated By: Update Date:	2 MAS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:01:21	
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	13 CU Copper Metallic Copper Tertiary			Line: Inserted By: Insert Date: Updated By: Update Date:	1 MAS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:01:21	
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	13 AG Silver Metallic Silver Tertiary			Line: Inserted By: Insert Date: Updated By: Update Date:	4 MAS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:01:21	
<u>Names</u>						
I1: Status: Site Name: Line:	24 Current Alethea Group 1				Inserted By: Insert Date: Updated By: Update Date:	MAS migration 29-OCT-02 USGS 29-OCT-02

34	1 of 1	E	0.85 / 4,469.15	10,165.15 / 791	MIGHTY MONARCH SAN JUAN COUNTY SILVERTON CO 81433	MRDS
Dep ID: Dev Status:	10143379 PAST PRODUCER			I1: Latitude:	20 37.802307	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Code List: Url:	PB CU			Longitude: http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10143379	-107.658386	
<u>Commodity</u>						
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	37 AG Silver Metallic Silver Tertiary			Line: Inserted By: Insert Date: Updated By: Update Date:	4 MAS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:01:30	
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	37 CU Copper Metallic Copper Tertiary			Line: Inserted By: Insert Date: Updated By: Update Date:	1 MAS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:01:30	
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	37 AU Gold Metallic Gold Tertiary			Line: Inserted By: Insert Date: Updated By: Update Date:	2 MAS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:01:30	
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	37 PB Lead Metallic Lead Primary			Line: Inserted By: Insert Date: Updated By: Update Date:	3 MAS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:01:30	
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	37 ZN Zinc Metallic Zinc Tertiary			Line: Inserted By: Insert Date: Updated By: Update Date:	5 MAS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:01:30	
<u>Names</u>						
I1: Status: Site Name: Line:	35 Current Mighty Monarch 1			Inserted By: Insert Date: Updated By: Update Date:	MAS migration 29-OCT-02 USGS 29-OCT-02	

35	1 of 2	SSE	0.85 / 4,473.99	9,614.50 / 241	FAIRVIEW SAN JUAN COUNTY SILVERTON CO 81433	MRDS
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Dep ID:	10018491	I1:	23
Dev Status:	PRODUCER	Latitude:	37.788879
Code List:	MN	Longitude:	-107.671387
Url:	http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10018491		

Commodity

I1:	10	Line:	1
Code:	MN	Inserted By:	MRDS migration
Commodity:	Manganese	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Manganese	Update Date:	29-OCT-2002 09:00:34
Importance:	Primary		

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
<u>Names</u>						
I1:	90			Inserted By:	MRDS migration	
Status:	Current			Insert Date:	29-OCT-02	
Site Name:	Fairview			Updated By:	USGS	
Line:	1			Update Date:	29-OCT-02	
35	2 of 2	SSE	0.85 / 4,473.99	9,614.50 / 241	FAIRVIEW SAN JUAN COUNTY SILVERTON CO 81433	MRDS
Dep ID:	10289116			I1:	26	
Dev Status:	PAST PRODUCER			Latitude:	37.788879	
Code List:	MN			Longitude:	-107.671387	
Url:	http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10289116					
<u>Commodity</u>						
I1:	36			Line:	1	
Code:	MN			Inserted By:	MAS migration	
Commodity:	Manganese			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Manganese			Update Date:	29-OCT-2002 09:02:30	
Importance:	Primary					
<u>Names</u>						
I1:	35			Inserted By:	MAS migration	
Status:	Current			Insert Date:	29-OCT-02	
Site Name:	Fairview			Updated By:	USGS	
Line:	2			Update Date:	29-OCT-02	
<u>Names</u>						
I1:	35			Inserted By:	MAS migration	
Status:	Previous			Insert Date:	29-OCT-02	
Site Name:	Harmon Manganese			Updated By:	USGS	
Line:	1			Update Date:	29-OCT-02	

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1 of 1

NNE

0.86 /
4,517.48

9,917.68 /
544

UNKNOWN GROUP
SAN JUAN COUNTY
SILVERTON CO 81433

MRDS

Dep ID:

10289156

I1:

21

Dev Status:

UNKNOWN

Latitude:

37.816528

Code List:

ZN CU

Longitude:

-107.671387

Url:

http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10289156

Commodity

I1:

35

Line:

2

Code:

AU

Inserted By:

MAS migration

Commodity:

Gold

Insert Date:

29-OCT-2002 09:00:24

Commodity Type:

Metallic

Updated By:

USGS

Commodity Group:

Gold

Update Date:

29-OCT-2002 09:02:30

Importance:

Tertiary

I1:

34

Line:

4

Code:

AG

Inserted By:

MAS migration

Commodity:

Silver

Insert Date:

29-OCT-2002 09:00:24

Commodity Type:

Metallic

Updated By:

USGS

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Commodity Group:	Silver			Update Date:	29-OCT-2002 09:02:30	
Importance:	Tertiary					
I1:	34			Line:	5	
Code:	ZN			Inserted By:	MAS migration	
Commodity:	Zinc			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Zinc			Update Date:	29-OCT-2002 09:02:30	
Importance:	Primary					
I1:	34			Line:	3	
Code:	PB			Inserted By:	MAS migration	
Commodity:	Lead			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Lead			Update Date:	29-OCT-2002 09:02:30	
Importance:	Tertiary					
I1:	35			Line:	1	
Code:	CU			Inserted By:	MAS migration	
Commodity:	Copper			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Copper			Update Date:	29-OCT-2002 09:02:30	
Importance:	Tertiary					
Names						
I1:	24			Inserted By:	MAS migration	
Status:	Current			Insert Date:	29-OCT-02	
Site Name:	Unknown Group			Updated By:	USGS	
Line:	1			Update Date:	29-OCT-02	

37	1 of 1	S	0.86 / 4,525.90	10,033.05 / 659	MYSTERY GOLD GROUP SAN JUAN COUNTY SILVERTON CO 81433	MRDS
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Dep ID:	10167731	I1:	23
Dev Status:	PAST PRODUCER	Latitude:	37.78833
Code List:	AU CU	Longitude:	-107.673889
Url:	http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10167731		

Commodity

I1:	63	Line:	3
Code:	PB	Inserted By:	MAS migration
Commodity:	Lead	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Lead	Update Date:	29-OCT-2002 09:01:39
Importance:	Tertiary		
I1:	63	Line:	5
Code:	ZN	Inserted By:	MAS migration
Commodity:	Zinc	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Zinc	Update Date:	29-OCT-2002 09:01:39
Importance:	Tertiary		
I1:	63	Line:	1
Code:	CU	Inserted By:	MAS migration
Commodity:	Copper	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Copper	Update Date:	29-OCT-2002 09:01:39
Importance:	Tertiary		
I1:	63	Line:	4
Code:	AG	Inserted By:	MAS migration
Commodity:	Silver	Insert Date:	29-OCT-2002 09:00:24

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Commodity Type:	Metallic				Updated By:	USGS
Commodity Group:	Silver				Update Date:	29-OCT-2002 09:01:39
Importance:	Tertiary					
I1:	63				Line:	2
Code:	AU				Inserted By:	MAS migration
Commodity:	Gold				Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic				Updated By:	USGS
Commodity Group:	Gold				Update Date:	29-OCT-2002 09:01:39
Importance:	Primary					
<u>Names</u>						
I1:	35				Inserted By:	MAS migration
Status:	Current				Insert Date:	29-OCT-02
Site Name:	Mystery Gold Group				Updated By:	USGS
Line:	1				Update Date:	29-OCT-02

38	1 of 1	WNW	0.87 / 4,608.35	9,681.31 / 308	UNKNOWN SAN JUAN COUNTY SILVERTON CO 81433	MRDS
Dep ID:	10216008			I1:	22	
Dev Status:	UNKNOWN			Latitude:	37.808105	
Code List:	ZN CU			Longitude:	-107.692505	
Url:	http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10216008					

Commodity

I1:	14			Line:	2
Code:	AU			Inserted By:	MAS migration
Commodity:	Gold			Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic			Updated By:	USGS
Commodity Group:	Gold			Update Date:	29-OCT-2002 09:01:57
Importance:	Tertiary				
I1:	14			Line:	4
Code:	AG			Inserted By:	MAS migration
Commodity:	Silver			Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic			Updated By:	USGS
Commodity Group:	Silver			Update Date:	29-OCT-2002 09:01:57
Importance:	Tertiary				
I1:	14			Line:	1
Code:	CU			Inserted By:	MAS migration
Commodity:	Copper			Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic			Updated By:	USGS
Commodity Group:	Copper			Update Date:	29-OCT-2002 09:01:57
Importance:	Tertiary				
I1:	14			Line:	5
Code:	ZN			Inserted By:	MAS migration
Commodity:	Zinc			Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic			Updated By:	USGS
Commodity Group:	Zinc			Update Date:	29-OCT-2002 09:01:57
Importance:	Primary				
I1:	15			Line:	3
Code:	PB			Inserted By:	MAS migration
Commodity:	Lead			Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic			Updated By:	USGS
Commodity Group:	Lead			Update Date:	29-OCT-2002 09:02:39
Importance:	Tertiary				

Names

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
I1: Status: Site Name: Line:	24 Current Unknown 1				Inserted By: Insert Date: Updated By: Update Date: MAS migration 29-OCT-02 USGS 29-OCT-02	
39	1 of 1	ESE	0.91 / 4,808.09	10,494.78 / 1,121	CLARA SAN JUAN COUNTY SILVERTON CO 81433	MRDS
Dep ID: Dev Status: Code List: Url:	10192289 PAST PRODUCER PB CU http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10192289			I1: Latitude: Longitude:	19 37.797913 -107.658386	
Commodity						
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	23 CU Copper Metallic Copper Tertiary			Line: Inserted By: Insert Date: Updated By: Update Date:	1 MAS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:01:48	
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	23 PB Lead Metallic Lead Primary			Line: Inserted By: Insert Date: Updated By: Update Date:	3 MAS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:01:48	
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	23 AG Silver Metallic Silver Tertiary			Line: Inserted By: Insert Date: Updated By: Update Date:	4 MAS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:01:48	
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	23 AU Gold Metallic Gold Tertiary			Line: Inserted By: Insert Date: Updated By: Update Date:	2 MAS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:01:48	
I1: Code: Commodity: Commodity Type: Commodity Group: Importance:	23 ZN Zinc Metallic Zinc Tertiary			Line: Inserted By: Insert Date: Updated By: Update Date:	5 MAS migration 29-OCT-2002 09:00:24 USGS 29-OCT-2002 09:01:48	
Names						
I1: Status: Site Name: Line:	35 Current Clara 1			Inserted By: Insert Date: Updated By: Update Date:	MAS migration 29-OCT-02 USGS 29-OCT-02	

40	1 of 1	ENE	0.91 / 4,823.12	9,304.14 / -70	SILVERTON RESERVOIR BOG IRON DEPOSIT SAN JUAN COUNTY SILVERTON CO 81433	MRDS
Dep ID:	10018500			I1:	27	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Dev Status:	PRODUCER			Latitude:	37.810913	
Code List:	FE			Longitude:	-107.660583	
Url:	http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10018500					
<u>Commodity</u>						
I1:	39			Line:	1	
Code:	FE			Inserted By:	MRDS migration	
Commodity:	Iron			Insert Date:	29-OCT-02	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Iron			Update Date:	29-OCT-02	
Importance:	Primary					
<u>Materials</u>						
I1:	83			Inserted B:	MRDS migration	
Material:	Limonite			Insert Dat:	29-OCT-02	
Ore or Gangue:	Ore			Updated By:		
Rec:	1			Update Dat:		
<u>Names</u>						
I1:	91			Inserted By:	MRDS migration	
Status:	Current			Insert Date:	29-OCT-02	
Site Name:	Silverton Reservoir Bog Iron Deposi			Updated By:	USGS	
Line:	1			Update Date:	29-OCT-02	

41	1 of 1	WSW	0.93 / 4,888.94	11,129.99 / 1,756	BELCHER SAN JUAN COUNTY SILVERTON CO 81433	MRDS
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Dep ID:	10192191	I1:	12
Dev Status:	PAST PRODUCER	Latitude:	37.796082
Code List:	PB CU	Longitude:	-107.692322
Url:	http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10192191		

Commodity

I1:	25	Line:	2
Code:	PB	Inserted By:	MAS migration
Commodity:	Lead	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Lead	Update Date:	29-OCT-2002 09:01:48
Importance:	Primary		

I1:	25	Line:	3
Code:	AG	Inserted By:	MAS migration
Commodity:	Silver	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Silver	Update Date:	29-OCT-2002 09:01:48
Importance:	Tertiary		

I1:	19	Line:	1
Code:	CU	Inserted By:	MAS migration
Commodity:	Copper	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS
Commodity Group:	Copper	Update Date:	29-OCT-2002 09:01:48
Importance:	Tertiary		

I1:	25	Line:	4
Code:	ZN	Inserted By:	MAS migration
Commodity:	Zinc	Insert Date:	29-OCT-2002 09:00:24
Commodity Type:	Metallic	Updated By:	USGS

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Commodity Group:		Zinc		Update Date:	29-OCT-2002 09:01:48	
Importance:		Tertiary				
<u>Names</u>						
I1:	36			Inserted By:	MAS migration	
Status:	Current			Insert Date:	29-OCT-02	
Site Name:	Belcher			Updated By:	USGS	
Line:	1			Update Date:	29-OCT-02	
42	1 of 1	WNW	0.95 / 5,039.97	9,437.48 / 64	JONES MILL SAN JUAN COUNTY SILVERTON CO 81433	MRDS
Dep ID:	10215875			I1:	28	
Dev Status:	UNKNOWN			Latitude:	37.81073	
Code List:	AU AG			Longitude:	-107.69281	
Url:	http://mrdata.usgs.gov/mrds/show-mrds.php?dep_id=10215875					
<u>Commodity</u>						
I1:	75			Line:	2	
Code:	AG			Inserted By:	MAS migration	
Commodity:	Silver			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Silver			Update Date:	29-OCT-2002 09:01:57	
Importance:	Tertiary					
I1:	75			Line:	1	
Code:	AU			Inserted By:	MAS migration	
Commodity:	Gold			Insert Date:	29-OCT-2002 09:00:24	
Commodity Type:	Metallic			Updated By:	USGS	
Commodity Group:	Gold			Update Date:	29-OCT-2002 09:01:57	
Importance:	Primary					
<u>Names</u>						
I1:	23			Inserted By:	MAS migration	
Status:	Current			Insert Date:	29-OCT-02	
Site Name:	Jones Mill			Updated By:	USGS	
Line:	1			Update Date:	29-OCT-02	

Unplottable Summary

Total: 0 Unplottable sites

DB	Company Name/Site Name	Address	City	Zip	ERIS ID
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No unplottable records were found that may be relevant for the search criteria.

Unplottable Report

No unplottable records were found that may be relevant for the search criteria.

Appendix: Database Descriptions

Environmental Risk Information Services (ERIS) can search the following databases. The extent of historical information varies with each database and current information is determined by what is publicly available to ERIS at the time of update. ERIS updates databases as set out in ASTM Standard E1527-13 and E1527-21, Section 8.1.8 Sources of Standard Source Information:

"Government information from nongovernmental sources may be considered current if the source updates the information at least every 90 days, or, for information that is updated less frequently than quarterly by the government agency, within 90 days of the date the government agency makes the information available to the public."

Standard Environmental Record Sources

Federal

National Priority List:

NPL

Sites on the United States Environmental Protection Agency (EPA)'s National Priorities List of the most serious uncontrolled or abandoned hazardous waste sites identified for possible long-term remedial action under the Superfund program. The NPL, which EPA is required to update at least once a year, is based primarily on the score a site receives from EPA's Hazard Ranking System. A site must be on the NPL to receive money from the Superfund Trust Fund for remedial action. Sites are represented by boundaries where available in the EPA Superfund Site Boundaries maintained by the Shared Enterprise Geodata and Services (SEGS). Site boundaries represent the footprint of a whole site, the sum of all of the Operable Units and the current understanding of the full extent of contamination; for Federal Facility sites, the total site polygon may be the Facility boundary. Where there is no polygon boundary data available for a given site, the site is represented as a point.

Government Publication Date: Apr 22, 2024

National Priority List - Proposed:

PROPOSED NPL

Sites proposed by the United States Environmental Protection Agency (EPA), the state agency, or concerned citizens for addition to the National Priorities List (NPL) due to contamination by hazardous waste and identified by the EPA as a candidate for cleanup because it poses a risk to human health and/or the environment. Sites are represented by boundaries where available in the EPA Superfund Site Boundaries maintained by the Shared Enterprise Geodata and Services (SEGS). Site boundaries represent the footprint of a whole site, the sum of all of the Operable Units and the current understanding of the full extent of contamination; for Federal Facility sites, the total site polygon may be the Facility boundary. Where there is no polygon boundary data available for a given site, the site is represented as a point.

Government Publication Date: Apr 22, 2024

Deleted NPL:

DELETED NPL

Sites deleted from the United States Environmental Protection Agency (EPA)'s National Priorities List. The National Oil and Hazardous Substances Pollution Contingency Plan (NCP) establishes the criteria that the EPA uses to delete sites from the NPL. In accordance with 40 CFR 300.425.(e), sites may be deleted from the NPL where no further response is appropriate. Sites are represented by boundaries where available in the EPA Superfund Site Boundaries maintained by the Shared Enterprise Geodata and Services (SEGS). Site boundaries represent the footprint of a whole site, the sum of all of the Operable Units and the current understanding of the full extent of contamination; for Federal Facility sites, the total site polygon may be the Facility boundary. Where there is no polygon boundary data available for a given site, the site is represented as a point.

Government Publication Date: Apr 22, 2024

SEMS List 8R Active Site Inventory:

SEMS

The U.S. Environmental Protection Agency's (EPA) Superfund Program has deployed the Superfund Enterprise Management System (SEMS), which integrates multiple legacy systems into a comprehensive tracking and reporting tool. This inventory contains active sites evaluated by the Superfund program that are either proposed to be or are on the National Priorities List (NPL) as well as sites that are in the screening and assessment phase for possible inclusion on the NPL. The Active Site Inventory Report displays site and location information at active SEMS sites. An active site is one at which site assessment, removal, remedial, enforcement, cost recovery, or oversight activities are being planned or conducted. This data includes SEMS sites from the List 8R Active file as well as applicable sites from the EPA's Facility Registry Service map tool.

Government Publication Date: Mar 27, 2024

SEMS List 8R Archive Sites:[SEMS ARCHIVE](#)

The U.S. Environmental Protection Agency's (EPA) Superfund Enterprise Management System (SEMS) Archived Site Inventory displays site and location information at sites archived from SEMS. An archived site is one at which EPA has determined that assessment has been completed and no further remedial action is planned under the Superfund program at this time. This data includes sites from the List 8R Archived site file.

Government Publication Date: Mar 27, 2024

Inventory of Open Dumps, June 1985:[ODI](#)

The Resource Conservation and Recovery Act (RCRA) provides for publication of an inventory of open dumps. The Act defines "open dumps" as facilities which do not comply with EPA's "Criteria for Classification of Solid Waste Disposal Facilities and Practices" (40 CFR 257).

Government Publication Date: Jun 1985

Comprehensive Environmental Response, Compensation and Liability Information System - CERCLIS:[CERCLIS](#)

Superfund is a program administered by the United States Environmental Protection Agency (EPA) to locate, investigate, and clean up the worst hazardous waste sites throughout the United States. CERCLIS is a database of potential and confirmed hazardous waste sites at which the EPA Superfund program has some involvement. It contains sites that are either proposed to be or are on the National Priorities List (NPL) as well as sites that are in the screening and assessment phase for possible inclusion on the NPL. The EPA administers the Superfund program in cooperation with individual states and tribal governments; this database is made available by the EPA.

Government Publication Date: Oct 25, 2013

EPA Report on the Status of Open Dumps on Indian Lands:[IODI](#)

Public Law 103-399, The Indian Lands Open Dump Cleanup Act of 1994, enacted October 22, 1994, identified congressional concerns that solid waste open dump sites located on American Indian or Alaska Native (AI/AN) lands threaten the health and safety of residents of those lands and contiguous areas. The purpose of the Act is to identify the location of open dumps on Indian lands, assess the relative health and environment hazards posed by those sites, and provide financial and technical assistance to Indian tribal governments to close such dumps in compliance with Federal standards and regulations or standards promulgated by Indian Tribal governments or Alaska Native entities.

Government Publication Date: Dec 31, 1998

CERCLIS - No Further Remedial Action Planned:[CERCLIS NFRAP](#)

An archived site is one at which EPA has determined that assessment has been completed and no further remedial action is planned under the Superfund program at this time. The Archive designation means that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list this site on the National Priorities List (NPL). This decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be a potential NPL site.

Government Publication Date: Oct 25, 2013

CERCLIS Liens:[CERCLIS LIENS](#)

A Federal Superfund lien exists at any property where EPA has incurred Superfund costs to address contamination ("Superfund site") and has provided notice of liability to the property owner. A Federal CERCLA ("Superfund") lien can exist by operation of law at any site or property at which EPA has spent Superfund monies. This database is made available by the United States Environmental Protection Agency (EPA). This database was provided by the United States Environmental Protection Agency (EPA). Refer to SEMS LIEN as the current data source for Superfund Liens.

Government Publication Date: Jan 30, 2014

RCRA CORRACTS-Corrective Action:[RCRA CORRACTS](#)

RCRA Info is the U.S. Environmental Protection Agency's (EPA) comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. At these sites, the Corrective Action Program ensures that cleanups occur. EPA and state regulators work with facilities and communities to design remedies based on the contamination, geology, and anticipated use unique to each site.

Government Publication Date: Apr 8, 2024

RCRA non-CORRACTS TSD Facilities:[RCRA TSD](#)

RCRA Info is the U.S. Environmental Protection Agency's (EPA) comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. This database includes Non-Corrective Action sites that have indicated engagement in the treatment, storage, or disposal of hazardous waste which requires a RCRA hazardous waste permit.

Government Publication Date: Apr 8, 2024

RCRA Generator List:[RCRA LQG](#)

RCRA Info is the U.S. Environmental Protection Agency's (EPA) comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. RCRA Info replaces the data recording and reporting abilities of the Resource Conservation and Recovery Information System (RCRIS) and the Biennial Reporting System (BRS). A hazardous waste generator is any person or site whose processes and actions create hazardous waste (see 40 CFR 260.10). Large Quantity Generators (LQGs) generate 1,000 kilograms per month or more of hazardous waste or more than one kilogram per month of acutely hazardous waste.

Government Publication Date: Apr 8, 2024

RCRA Small Quantity Generators List:[RCRA SQG](#)

RCRA Info is the U.S. Environmental Protection Agency's (EPA) comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. RCRA Info replaces the data recording and reporting abilities of the Resource Conservation and Recovery Information System (RCRIS) and the Biennial Reporting System (BRS). A hazardous waste generator is any person or site whose processes and actions create hazardous waste (see 40 CFR 260.10). Small Quantity Generators (SQGs) generate more than 100 kilograms, but less than 1,000 kilograms, of hazardous waste per month.

Government Publication Date: Apr 8, 2024

RCRA Very Small Quantity Generators List:[RCRA VSQG](#)

RCRA Info is the U.S. Environmental Protection Agency's (EPA) comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. A hazardous waste generator is any person or site whose processes and actions create hazardous waste (see 40 CFR 260.10). Very Small Quantity Generators (VSQG) generate 100 kilograms or less per month of hazardous waste, or one kilogram or less per month of acutely hazardous waste. Additionally, VSQG may not accumulate more than 1,000 kilograms of hazardous waste at any time.

Government Publication Date: Jan 1, 2024

RCRA Non-Generators:[RCRA NON GEN](#)

RCRA Info is the U.S. Environmental Protection Agency's (EPA) comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. RCRA Info replaces the data recording and reporting abilities of the Resource Conservation and Recovery Information System (RCRIS) and the Biennial Reporting System (BRS). A hazardous waste generator is any person or site whose processes and actions create hazardous waste (see 40 CFR 260.10). Non-Generators do not presently generate hazardous waste.

Government Publication Date: Jan 1, 2024

RCRA Sites with Controls:[RCRA CONTROLS](#)

List of Resource Conservation and Recovery Act (RCRA) facilities with institutional controls in place. RCRA gives the U.S. Environmental Protection Agency (EPA) the authority to control hazardous waste from the "cradle-to-grave." This includes the generation, transportation, treatment, storage, and disposal of hazardous waste. RCRA also set forth a framework for the management of non-hazardous solid wastes. The 1986 amendments to RCRA enabled EPA to address environmental problems that could result from underground tanks storing petroleum and other hazardous substances.

Government Publication Date: Apr 8, 2024

Federal Engineering Controls-ECs:[FED ENG](#)

List of Engineering controls (ECs) made available by the United States Environmental Protection Agency (EPA). ECs encompass a variety of engineered and constructed physical barriers (e.g., soil capping, sub-surface venting systems, mitigation barriers, fences) to contain and/or prevent exposure to contamination on a property. The EC listing includes remedy component data from Superfund decision documents for applicable sites on the final or deleted on the National Priorities List (NPL); and sites with a Superfund Alternative Approach (SAA) Agreement in place. The only sites included that are not on the NPL; proposed for NPL; or removed from proposed NPL, are those with an SAA Agreement in place.

Government Publication Date: Feb 29, 2024

Federal Institutional Controls-ICs:[FED INST](#)

List of Institutional controls (ICs) made available by the United States Environmental Protection Agency (EPA). ICs are non-engineered instruments, such as administrative and legal controls, that help minimize the potential for human exposure to contamination and/or protect the integrity of the remedy. Although it is EPA's expectation that treatment or engineering controls will be used to address principal threat wastes and that groundwater will be returned to its beneficial use whenever practicable, ICs play an important role in site remedies because they reduce exposure to contamination by limiting land or resource use and guide human behavior at a site. The IC listing includes remedy component data from Superfund decision documents for applicable sites on the final or deleted on the National Priorities List (NPL); and sites with a Superfund Alternative Approach (SAA) Agreement in place. The only sites included that are not on the NPL; proposed for NPL; or removed from proposed NPL, are those with an SAA Agreement in place.

Government Publication Date: Feb 29, 2024

Land Use Control Information System:

LUCIS

The LUCIS database is maintained by the U.S. Department of the Navy and contains information for former Base Realignment and Closure (BRAC) properties across the United States.

Government Publication Date: Sep 1, 2006

Institutional Control Boundaries at NPL sites:

NPL IC

Boundaries of Institutional Control areas at sites on the United States Environmental Protection Agency (EPA)'s National Priorities List, or Proposed or Deleted, made available by the EPA's Shared Enterprise Geodata and Services (SEGS). United States Environmental Protection Agency (EPA)'s National Priorities List of the most serious uncontrolled or abandoned hazardous waste sites identified for possible long-term remedial action under the Superfund program. Institutional controls are non-engineered instruments such as administrative and legal controls that help minimize the potential for human exposure to contamination and/or protect the integrity of the remedy.

Government Publication Date: Apr 22, 2024

Emergency Response Notification System:

ERNS 1982 TO 1986

Database of oil and hazardous substances spill reports controlled by the National Response Center. The primary function of the National Response Center is to serve as the sole national point of contact for reporting oil, chemical, radiological, biological, and etiological discharges into the environment anywhere in the United States and its territories.

Government Publication Date: 1982-1986

Emergency Response Notification System:

ERNS 1987 TO 1989

Database of oil and hazardous substances spill reports controlled by the National Response Center. The primary function of the National Response Center is to serve as the sole national point of contact for reporting oil, chemical, radiological, biological, and etiological discharges into the environment anywhere in the United States and its territories.

Government Publication Date: 1987-1989

Emergency Response Notification System:

ERNS

Database of oil and hazardous substances spill reports made available by the United States Coast Guard National Response Center (NRC). The NRC fields initial reports for pollution and railroad incidents and forwards that information to appropriate federal/state agencies for response. These data contain initial incident data that has not been validated or investigated by a federal/state response agency.

Government Publication Date: Feb 20, 2024

The Assessment, Cleanup and Redevelopment Exchange System (ACRES) Brownfield Database:

FED BROWNFIELDS

Brownfields are real property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant. Cleaning up and reinvesting in these properties protects the environment, reduces blight, and takes development pressures off greenspaces and working lands. This data is provided by the United States Environmental Protection Agency (EPA) and includes Brownfield sites from the Cleanups in My Community (CIMC) web application.

Government Publication Date: Feb 7, 2024

FEMA Underground Storage Tank Listing:

FEMA UST

The Federal Emergency Management Agency (FEMA) of the Department of Homeland Security maintains a list of FEMA owned underground storage tanks.

Government Publication Date: Dec 31, 2017

Facility Response Plan:

FRP

This listing contains facilities that have submitted Facility Response Plans (FRPs) to the U.S. Environmental Protection Agency (EPA). Facilities that could reasonably be expected to cause "substantial harm" to the environment by discharging oil into or on navigable waters are required to prepare and submit FRPs. Harm is determined based on total oil storage capacity, secondary containment and age of tanks, oil transfer activities, history of discharges, proximity to a public drinking water intake or sensitive environments. This listing includes FRP facilities from an applicable EPA FOIA file and Homeland Infrastructure Foundation-Level Data (HIFLD) data file.

Government Publication Date: May 2, 2023

Delisted Facility Response Plans:

DELISTED FRP

Facilities that once appeared in - and have since been removed from - the list of facilities that have submitted Facility Response Plans (FRP) to EPA. Facilities that could reasonably be expected to cause "substantial harm" to the environment by discharging oil into or on navigable waters are required to prepare and submit Facility Response Plans (FRPs). Harm is determined based on total oil storage capacity, secondary containment and age of tanks, oil transfer activities, history of discharges, proximity to a public drinking water intake or sensitive environments.

Government Publication Date: May 2, 2023

Historical Gas Stations:[HIST GAS STATIONS](#)

This historic directory of service stations is provided by the Cities Service Company. The directory includes Cities Service filling stations that were located throughout the United States in 1930.

Government Publication Date: Jul 1, 1930

Petroleum Refineries:[REFN](#)

List of petroleum refineries from the U.S. Energy Information Administration (EIA) Refinery Capacity Report. Includes operating and idle petroleum refineries (including new refineries under construction) and refineries shut down during the previous year located in the 50 States, the District of Columbia, Puerto Rico, the Virgin Islands, Guam, and other U.S. possessions. Survey locations adjusted using public data.

Government Publication Date: Feb 28, 2024

Petroleum Product and Crude Oil Rail Terminals:[BULK TERMINAL](#)

A list of petroleum product and crude oil rail terminals from the U.S. Energy Information Administration (EIA), as well as petroleum terminals sourced from the Federal Communications Commission Data hosted by the Homeland Infrastructure Foundation-Level Database. Data includes operable bulk petroleum product terminals with a total bulk shell storage capacity of 50,000 barrels or more, and/or the ability to receive volumes from tanker, barge, or pipeline; also rail terminals handling the loading and unloading of crude oil with activity between 2017 and 2018. EIA petroleum product terminal data comes from the EIA-815 Bulk Terminal and Blender Report, which includes working, shell in operation, and shell idle for several major product groupings.

Government Publication Date: Sep 22, 2023

LIEN on Property:[SEMS LIEN](#)

The U.S. Environmental Protection Agency's (EPA) Superfund Enterprise Management System (SEMS) provides Lien details on applicable properties, such as the Superfund lien on property activity, the lien property information, and the parties associated with the lien.

Government Publication Date: Mar 27, 2024

Superfund Decision Documents:[SUPERFUND ROD](#)

This database contains a list of decision documents for Superfund sites. Decision documents serve to provide the reasoning for the choice of (or) changes to a Superfund Site cleanup plan. The decision documents include completed Records of Decision (ROD), ROD Amendments, Explanations of Significant Differences (ESD) for active and archived sites stored in the Superfund Enterprise Management System (SEMS), along with other associated memos and files. This information is maintained and made available by the U.S. Environmental Protection Agency.

Government Publication Date: Mar 27, 2024

Formerly Utilized Sites Remedial Action Program:[DOE FUSRAP](#)

The U.S. Department of Energy (DOE) established the Formerly Utilized Sites Remedial Action Program (FUSRAP) in 1974 to remediate sites where radioactive contamination remained from the Manhattan Project and early U.S. Atomic Energy Commission (AEC) operations. The DOE Office of Legacy Management (LM) established long-term surveillance and maintenance (LTS&M) requirements for remediated FUSRAP sites. DOE evaluates the final site conditions of a remediated site on the basis of risk for different future uses. DOE then confirms that LTS&M requirements will maintain protectiveness.

Government Publication Date: Mar 4, 2017

State**Environmental Covenants and Use Restrictions:**[COVENANTS](#)

Boundaries of environmental covenant/environmental use restriction sites made available by the Colorado Department of Public Health & Environment (CDPHE). CDPHE has the authority to approve requests to restrict the future use of a property using an enforceable agreement called an environmental covenant. Land use restrictions may be used to ensure the cleanup remedy adequately protects human health and the environment when a contaminated site isn't cleaned up completely.

Government Publication Date: Oct 19, 2023

Superfund National Priorities List and Natural Resource Damages sites:[SUPERFUND NRD](#)

Boundaries of Superfund National Priorities List sites and Natural Resource Damages sites in Colorado made available by the Colorado Department of Public Health and Environment (CDPHE).

Government Publication Date: Apr 16, 2024

Methane Gas Study Sites:[LANDFILL METHANE](#)

This Investigation of Methane Gas Hazards report was prepared by the Denver Office of Emergency Preparedness in 1981. The purpose of this study was to assess the actual and potential generation, migration, explosive and related problems associated with specified landfills, and to identify existing and potential problems, suggested strategies to prevent, abate, and control such problems and recommend investigative and monitoring functions as may be deemed necessary. The Colorado Department of Health selected eight landfills as priorities due to population density and potential hazards to population and property.

Government Publication Date: Jan 2, 1981

Superfund Sites:

SHWS

A list of Superfund sites in Colorado made available by the Colorado Department of Public Health and Environment (CDPHE). In Colorado, the cleanup of Superfund sites is overseen by the CDPHE or the Environmental Protection Agency (EPA). This list includes active Superfund sites, deleted sites, proposed sites, and natural resource damage sites.

Government Publication Date: Jan 17, 2024

Delisted Superfund Sites:

DELISTED SHWS

Sites which once appeared on - but have since been removed from - the list of Superfund sites in Colorado made available by the Colorado Department of Public Health and Environment (CDPHE). In Colorado, the cleanup of Superfund sites is overseen by the CDPHE or the Environmental Protection Agency (EPA).

Government Publication Date: Jan 17, 2024

Solid Waste Facilities and Landfills:

SWF/LF

The Colorado Department of Public Health and Environment (CDPHE) regulates the management and disposal of solid waste, landfill facilities, waste tire registrants, and waste tire haulers. Solid waste and landfills data is provided by the CDPHE's Hazardous Materials and Waste Management Division's Solid Waste Report and the Environmental Sites Search Map Application. Waste tire data is made available by the CDPHE.

Government Publication Date: May 2, 2024

Historical Solid Waste (Closed or Abandoned Landfills):

HIST LF

In the early 1980s the Hazardous Materials Waste Management Division of the Colorado Department of Public Health and Environment (CDPHE) conducted a survey of staff members and local agencies. The information gathered was compiled in 1984 for sites that were known or thought to have waste issues. The information is not complete and generally not very definitive or verifiable. This data became the Solid Waste Historical Data. The data is not maintained and has not been since the late 1980s.

Government Publication Date: 1984

Tri-County Historic Landfills:

HIST LANDFILLS

The Tri-County Health Department (TCHD) formally dissolved in December of 2022, leaving Adams, Arapahoe and Douglas counties to operate their own public health departments starting in 2023. This list of historical TCHD landfills for Adams, Arapahoe and Douglas counties is currently made available by the Arapahoe County Environmental Health Department. Former versions of this historical database were provided directly from TCHD.

Government Publication Date: Jan 19, 2023

Registered Recycling Facilities:

RECYCLING

This list of registered recycling facilities in Colorado is maintained by the Colorado Department of Public Health & Environment (CDPHE). This list includes primarily processing facilities for recyclable materials, such as material recovery facilities, industrial recycling operations, and recyclable material end user sites. Collection centers/drop-off locations are not included unless the site is also processing recyclable materials (separating, sorting, dismantling, grinding, baling, etc.).

Government Publication Date: Mar 19, 2024

Leaking Storage Tanks:

LST

A list of leaking storage tank locations from the Colorado Storage Tank Information System (COSTIS) database, including those which have applied for reimbursement from the Petroleum Storage Tank Fund. This list is made available by the Division of Oil and Public Safety (OPS) of the Colorado Department of Labor and Employment (CDLE) and includes data compiled from applicable FOIA files, COSTIS files and other OPS datasets. Classified military tanks are excluded from this data.

Government Publication Date: Mar 18, 2024

LUST Trust Sites:

LUST TRUST

The Division of Oil and Public Safety of the Colorado Department of Labor and Employment (CDLE) manages a Petroleum Storage Tank Fund (The Fund) that receives and processes applications to the Fund for reimbursement of costs related to assessment and cleanup of petroleum contaminated sites. Classified military tanks are excluded from this data.

Government Publication Date: Mar 18, 2024

Delisted Leaking Storage Tanks:

DELISTED LST

This database contains a list of leaking storage tank sites and their Funds for reimbursement of costs related to assessment and cleanup that were removed from the Colorado Department of Labor and Employment (CDLE) database.

Government Publication Date: Mar 18, 2024

Underground Storage Tanks:

UST

A list of underground storage tanks from the Colorado Storage Tank Information System (COSTIS) database. This database is made available by the Division of Oil and Public Safety (OPS) of the Colorado Department of Labor and Employment (CDLE). Data is compiled from applicable FOIA files, COSTIS files and other OPS datasets. Classified military tanks are excluded from this data.

Government Publication Date: Mar 18, 2024

Aboveground Storage Tanks:

AST

A list of aboveground storage tanks from the Colorado Storage Tank Information System (COSTIS) database. This list is made available by the Division of Oil and Public Safety (OPS) of the Colorado Department of Labor and Employment (CDLE). Data is compiled from applicable FOIA files, COSTIS files and other OPS datasets. Classified military tanks are excluded from this data.

Government Publication Date: Mar 18, 2024

Storage Tank Information System (COSTIS):

TANKS

This storage tank listing is provided by the Colorado Department of Labor and Employment, Division of Oil and Public Safety (OPS). The OPS manages the Colorado Storage Tank Information System (COSTIS) database which stores information on these facilities. This tank data includes facilities with liquefied petroleum gas, liquefied natural gas, and compressed natural gas tanks which are not classified as either underground storage tanks or aboveground storage tanks. Data is compiled from applicable FOIA files, COSTIS files and other OPS datasets. Classified military tanks are excluded from this data.

Government Publication Date: Mar 18, 2024

Delisted Storage Tanks:

DTNK

This database contains a list of closed storage tank sites that were removed from the Division of Oil and Public Safety of the Colorado Department of Labor and Employment (CDLE) Tank Information System.

Government Publication Date: Mar 18, 2024

Environmental Covenants and Environmental Use Restrictions List:

AUL

The Colorado Department of Public Health and Environment (CDPHE) maintains a list of sites that have environmental covenants and use restrictions in place. Land use restrictions may be used to ensure the cleanup remedy adequately protects human health and the environment when a contaminated site is not cleaned up completely.

Government Publication Date: Oct 19, 2023

Voluntary Cleanup and Redevelopment Program Sites:

VCP

The Voluntary Cleanup and Redevelopment Program (VCUP) of the Colorado Department of Public Health and Environment (CDPHE) was created in 1994 with the objective to facilitate the redevelopment and transfer of contaminated properties. This VCUP site listing includes applicable active and inactive sites from the CDPHE Voluntary Cleanup Open Records data file and map layer.

Government Publication Date: May 21, 2024

Brownfield Sites:

BROWNFIELDS

A list of Brownfields Program sites from the Hazardous Materials and Waste Management Division and the Colorado Environmental Records Search Interactive Map made available by the Colorado Department of Public Health and Environment (CDPHE). Sites which go untouched because of their real or perceived contamination can be rehabilitated using the CDPHE Brownfields Program.

Government Publication Date: Apr 3, 2023

Tribal**Leaking Underground Storage Tanks on Tribal/Indian Lands:**

INDIAN LUST

This list of leaking underground storage tanks (LUSTs) on Tribal/Indian Lands in Region 8, which includes Colorado, is made available by the United States Environmental Protection Agency (EPA).

Government Publication Date: Oct 25, 2023

Underground Storage Tanks on Tribal/Indian Lands:

INDIAN UST

This list of underground storage tanks (USTs) on Tribal/Indian Lands in Region 8, which includes Colorado, is made available by the United States Environmental Protection Agency (EPA).

Government Publication Date: Oct 25, 2023

Delisted Tribal Leaking Storage Tanks:

[DELISTED INDIAN LST](#)

Leaking Underground Storage Tank (LUST) facilities which once appeared on - and have since been removed from - the Regional Tribal/Indian LUST lists made available by the United States Environmental Protection Agency (EPA).

Government Publication Date: Oct 25, 2023

Delisted Tribal Underground Storage Tanks:

[DELISTED INDIAN UST](#)

Underground Storage Tank (UST) facilities which once appeared on - and have since been removed from - the Regional Tribal/Indian UST lists made available by the United States Environmental Protection Agency (EPA).

Government Publication Date: Oct 25, 2023

County

No County databases were selected to be included in the search.

Additional Environmental Record Sources

Federal

PFAS Greenhouse Gas Emissions Data:

[PFAS GHG](#)

The U.S. Environmental Protection Agency's Greenhouse Gas Reporting Program (GHGRP) collects Greenhouse Gas (GHG) data from large emitting facilities (25,000 metric tons of carbon dioxide equivalent (CO₂e) per year), and suppliers of fossil fuels and industrial gases that results in GHG emissions when used. Includes GHG emissions data for facilities that emit or have emitted since 2010 chemicals identified in EPA's CompTox Chemicals Dashboard list of PFAS without explicit structures and list of PFAS structures by DSSTox. PFAS emissions data has been identified for facilities engaged in the following industrial processes: Aluminum Production (GHGRP Subpart F), HCFC-22 Production and HFC-23 Destruction (Subpart O), Electronics Manufacturing (Subpart I), Fluorinated Gas Production (Subpart L), Magnesium Production (Subpart T), Electrical Transmission and Distribution Equipment Use (Subpart DD), and Manufacture of Electric Transmission and Distribution Equipment (Subpart SS). Over time, other industrial processes with required GHGRP reporting may include PFAS emissions data and the list of reportable gases may change over time.

Government Publication Date: May 9, 2024

On-Scene Coordinator Response Sites:

[OSC RESPONSE](#)

This list of On-Scene Coordinator (OSC) Response Sites is provided by the U.S. Environmental Protection Agency (EPA). OSCs are the federal officials responsible for monitoring or directing responses to all oil spills and hazardous substance releases reported to the federal government. OSCs coordinate all federal efforts with, and provide support and information to local, state, and regional response communities. An OSC is an agent of either EPA or the U.S. Coast Guard (USCG), depending on where the incident occurs. EPA's OSCs have primary responsibility for spills and releases to inland areas and waters. USCG OSCs have responsibility for coastal waters and the Great Lakes. In general, an OSC has the following key responsibilities during and after a response: Assessment, Monitoring, Response Assistance, and Evaluation.

Government Publication Date: Apr 4, 2024

Facility Registry Service/Facility Index:

[FINDS/FRS](#)

The Facility Registry Service (FRS) is a centrally managed database that identifies facilities, sites, or places subject to environmental regulations or of environmental interest. FRS creates high-quality, accurate, and authoritative facility identification records through rigorous verification and management procedures that incorporate information from program national systems, state master facility records, and data collected from EPA's Central Data Exchange registrations and data management personnel. This list is made available by the U.S. Environmental Protection Agency (EPA).

Government Publication Date: Feb 9, 2024

Toxics Release Inventory (TRI) Program:

[TRIS](#)

The U.S. Environmental Protection Agency's Toxics Release Inventory (TRI) is a database containing data on disposal or other releases of toxic chemicals from U.S. facilities and information about how facilities manage those chemicals through recycling, energy recovery, and treatment. There are currently 770 individually listed chemicals and 33 chemical categories covered by the TRI Program. Facilities that manufacture, process or otherwise use these chemicals in amounts above established levels must submit annual reporting forms for each chemical. Note that the TRI chemical list does not include all toxic chemicals used in the U.S. One of TRI's primary purposes is to inform communities about toxic chemical releases to the environment. This database includes TRI Reporting Data for calendar years 1987 through 2021 and Preliminary Data for 2022.

Government Publication Date: Sep 20, 2023

PFOA/PFOS Contaminated Sites:

PFAS NPL

This list of Superfund Sites with Per- and Polyfluoroalkyl Substances (PFAS) detections is made available by the U.S. Environmental Protection Agency (EPA) in their PFAS Analytic Tools data, previously the list was obtained by EPA FOIA requests. EPA's Office of Land and Emergency Management and EPA Regional Offices maintain what is known about site investigations, contamination, and remedial actions under the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA) where PFAS is present in the environment. Limitations: Detections of PFAS at National Priorities List (NPL) sites do not mean that people are at risk from PFAS, are exposed to PFAS, or that the site is the source of the PFAS. The information in the Superfund NPL and Superfund Alternative Agreement (SAA) PFAS detection site list is years old and may not be accurate today. Site information such as site name, site ID, and location has been confirmed for accuracy; however, PFAS-related information such as media sampled, drinking water being above the health advisory, or mitigation efforts has not been verified. For Federal Facilities data, the other Federal agencies (OFA) are the lead agency for their data and provided them to EPA.

Government Publication Date: Mar 19, 2024

Federal Agency Locations with Known or Suspected PFAS Detections:

PFAS FED SITES

List of Federal agency locations with known or suspected detections of Per- and Polyfluoroalkyl Substances (PFAS), made available by the U.S. Environmental Protection Agency (EPA) in their PFAS Analytic Tools data. EPA outlines that these data are gathered from several federal entities, such as the Federal Superfund program, Department of Defense (DOD), National Aeronautics and Space Administration, Department of Transportation, and Department of Energy. The dates this data was extracted for the PFAS Analytic Tools range from March 2022 to September 2023. Sites on this list do not necessarily reflect the source/s of PFAS contamination and detections do not indicate level of risk or human exposure at the site. Agricultural notifications in this data are limited to DOD sites only. At this time, the EPA is aware that this list is not comprehensive of all Federal agencies.

Government Publication Date: Sep 5, 2023

SSEHRI PFAS Contamination Sites:

PFAS SSEHRI

This PFAS Contamination Site Tracker database is compiled by the Social Science Environmental Health Research Institute (SSEHRI) at Northeastern University. According to the SSEHRI, the database records qualitative and quantitative data from each known site of PFAS contamination, including timeline of discovery, sources, levels, health impacts, community response, and government response. The goal of this database is to compile information and support public understanding of the rapidly unfolding issue of PFAS contamination. All data presented was extracted from government websites, news articles, or publicly available documents, and this is cited in the tracker. Locations for the Known PFAS Contamination Sites are sourced from the PFAS Sites and Community Resources Map, credited to the Northeastern University's PFAS Project Lab, Silent Spring Institute, and the PFAS-REACH team. Disclaimer: The source conveys the data undergoes regular updates as new information becomes available, some sites may be missing and/or contain information that is incorrect or outdated, as well as their information represents all contamination sites SSEHRI is aware of, not all possible contamination sites. This data is not intended to be used for legal purposes. Access the following source link for the most current information: <https://pfasproject.com/pfas-sites-and-community-resources/>

Government Publication Date: May 19, 2023

National Response Center PFAS Spills:

ERNS PFAS

This Per- and Poly-Fluoroalkyl Substances (PFAS) Spills dataset is made available via the U.S. Environmental Protection Agency's (EPA) PFAS Analytic Tools. The National Response Center (NRC), operated by the U.S. Coast Guard, is the designated federal point of contact for reporting all oil, chemical, and other discharges into the environment, for the United States and its territories. This dataset contains NRC spill information from 1990 to the present that is restricted to records associated with PFAS and PFAS-containing materials. Incidents are filtered to include only records with a "Material Involved" or "Incident Description" related to Aqueous Film Forming Foam (AFFF). The keywords used to filter the data included "AFFF," "Fire Fighting Foam," "Aqueous Film Forming Foam," "Fire Suppressant Foam," "PFAS," "PERFL," "PFOA," "PFOS," and "Genx." Limitations: The data from the NRC website contains initial incident data that has not been validated or investigated by a federal/state response agency. Keyword searches may misidentify some incident reports that do not contain PFAS. This dataset should also not be considered to be exhaustive of all PFAS spills/release incidents.

Government Publication Date: Apr 17, 2024

PFAS NPDES Discharge Monitoring:

PFAS NPDES

This list of National Pollutant Discharge Elimination System (NPDES) permitted facilities with required monitoring for Per- and Polyfluoroalkyl (PFAS) Substances is made available via the U.S. Environmental Protection Agency (EPA)'s PFAS Analytic Tools. Any point-source wastewater discharger to waters of the United States must have a NPDES permit, which defines a set of parameters for pollutants and monitoring to ensure that the discharge does not degrade water quality or impair human health. This list includes NPDES permitted facilities associated with permits that monitor for Per- and Polyfluoroalkyl Substances (PFAS), limited to the years 2007 - present. EPA further advises the following regarding these data: currently, fewer than half of states have required PFAS monitoring for at least one of their permittees, and fewer states have established PFAS effluent limits for permittees. For states that may have required monitoring, some reporting and data transfer issues may exist on a state-by-state basis.

Government Publication Date: May 6, 2024

Perfluorinated Alkyl Substances (PFAS) from Toxic Release Inventory:

PFAS TRI

List of Toxics Release Inventory (TRI) facilities at which the reported chemical is a per- or polyfluoroalkyl (PFAS) substance included in the U.S. Environmental Protection Agency's (EPA) consolidated PFAS Master List of PFAS Substances. Encompasses Toxics Release Inventory records included in the EPA PFAS Analytic Tools. The EPA's TRI database currently tracks information on disposal or releases of 770 individually listed toxic chemicals and 33 chemical categories from thousands of U.S. facilities and details about how facilities manage those chemicals through recycling, energy recovery, and treatment. This listing includes TRI Reporting Data for calendar years 1987 through 2021 and Preliminary Data for 2022.

Government Publication Date: Sep 20, 2023

Perfluorinated Alkyl Substances (PFAS) Water Quality:

PFAS WATER

The Water Quality Portal (WQP) is a cooperative service sponsored by the United States Geological Survey (USGS), the Environmental Protection Agency (EPA), and the National Water Quality Monitoring Council (NWQMC). This listing includes records from the Water Quality Portal where the characteristic (environmental measurement) is in the Environmental Protection Agency (EPA)'s consolidated Master List of PFAS Substances.

Government Publication Date: Jul 20, 2020

PFAS TSCA Manufacture and Import Facilities:

PFAS TSCA

The U.S. Environmental Protection Agency (EPA) issued the Chemical Data Reporting (CDR) Rule under the Toxic Substances Control Act (TSCA) and requires chemical manufacturers and facilities that manufacture or import chemical substances to report data to EPA. This list is specific only to TSCA Manufacture and Import Facilities with reported per- and poly-fluoroalkyl (PFAS) substances. Data file is sourced from EPA's PFAS Analytic Tools TSCA dataset which includes CDR/Inventory Update Reporting data from 1998 up to 2020. Disclaimer: This data file includes production and importation data for chemicals identified in EPA's CompTox Chemicals Dashboard list of PFAS without explicit structures and list of PFAS structures in DSSTox. Note that some regulations have specific chemical structure requirements that define PFAS differently than the lists in EPA's CompTox Chemicals Dashboard. Reporting information on manufactured or imported chemical substance amounts should not be compared between facilities, as some companies claim Chemical Data Reporting Rule data fields for PFAS information as Confidential Business Information.

Government Publication Date: Jan 5, 2023

PFAS Waste Transfers from RCRA e-Manifest :

PFAS E-MANIFEST

This Per- and Poly-Fluoroalkyl Substances (PFAS) Waste Transfers dataset is made available via the U.S. Environmental Protection Agency's (EPA) PFAS Analytic Tools. Every shipment of hazardous waste in the U.S. must be accompanied by a shipment manifest, which is a critical component of the cradle-to-grave tracking of wastes mandated by the Resource Conservation and Recovery Act (RCRA). According to the EPA, currently no Federal Waste Code exists for any PFAS compounds. To work around the lack of PFAS waste codes in the RCRA database, EPA developed the PFAS Transfers dataset by mining e-Manifest records containing at least one of these common PFAS keywords: • PFAS • PFOA • PFOS • PERFL • AFFF • GENX • GEN-X (plus the Vermont state-specific waste codes). Limitations: Amount or concentration of PFAS being transferred cannot be determined from the manifest information. Keyword searches may misidentify some manifest records that do not contain PFAS. This dataset should also not be considered to be exhaustive of all PFAS waste transfers.

Government Publication Date: Apr 29, 2024

PFAS Industry Sectors:

PFAS IND

This Per- and Poly-Fluoroalkyl Substances (PFAS) Industry Sectors dataset is made available via the U.S. Environmental Protection Agency's (EPA) PFAS Analytic Tools. The EPA developed the dataset from various sources that show which industries may be handling PFAS including: EPA's Enforcement and Compliance History Online (ECHO) records restricted to potential PFAS-handling industry sectors; ECHO records for Fire Training Sites identified where fire-fighting foam may have been used in training exercises; and 14 CFR Part 139 Airports compiled from historic and current records from the FAA Airport Data and Information Portal. Since July 2006, all certificated Part 139 Airports are required to have fire-fighting foam onsite that meet certain military specifications, which to date have been fluorinated (Aqueous Film Forming Foam). Limitations: Inclusion in this dataset does not indicate that PFAS are being manufactured, processed, used, or released by the facility. Listed facilities potentially handle PFAS based on their industrial profile, but are unconfirmed by the EPA. Keyword searches in ECHO for Fire Training sites may misidentify some facilities and should not be considered to be an exhaustive list of fire training facilities in the U.S.

Government Publication Date: Apr 15, 2024

Hazardous Materials Information Reporting System:

HMIRS

The Hazardous Materials Incident Reporting System (HMIRS) database contains unintentional hazardous materials release information reported to the U.S. Department of Transportation, Pipeline and Hazardous Materials Safety Administration.

Government Publication Date: Nov 26, 2023

National Clandestine Drug Labs:

NCDL

The U.S. Department of Justice ("the Department"), Drug Enforcement Administration (DEA), provides this data as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy.

Government Publication Date: Nov 30, 2023

Toxic Substances Control Act:[TSCA](#)

The U.S. Environmental Protection Agency (EPA) is amending the Toxic Substances Control Act (TSCA) section 8(a) Inventory Update Reporting (IUR) rule and changing its name to the Chemical Data Reporting (CDR) rule. The CDR enables EPA to collect and publish information on the manufacturing, processing, and use of commercial chemical substances and mixtures (referred to hereafter as chemical substances) on the TSCA Chemical Substance Inventory (TSCA Inventory). This includes current information on chemical substance production volumes, manufacturing sites, and how the chemical substances are used. This information helps the Agency determine whether people or the environment are potentially exposed to reported chemical substances. EPA publishes submitted CDR data that is not Confidential Business Information (CBI). EPA CDR collections occur approximately every four years and reporting requirements change per collection.

Government Publication Date: May 12, 2022

Hist TSCA:[HIST TSCA](#)

The Environmental Protection Agency (EPA) is amending the Toxic Substances Control Act (TSCA) section 8(a) Inventory Update Reporting (IUR) rule and changing its name to the Chemical Data Reporting (CDR) rule.

The 2006 IUR data summary report includes information about chemicals manufactured or imported in quantities of 25,000 pounds or more at a single site during calendar year 2005. In addition to the basic manufacturing information collected in previous reporting cycles, the 2006 cycle is the first time EPA collected information to characterize exposure during manufacturing, processing and use of organic chemicals. The 2006 cycle also is the first time manufacturers of inorganic chemicals were required to report basic manufacturing information.

Government Publication Date: Dec 31, 2006

FTTS Administrative Case Listing:[FTTS ADMIN](#)

An administrative case listing from the Federal Insecticide, Fungicide, & Rodenticide Act (FIFRA) and Toxic Substances Control Act (TSCA), together known as FTTS. This database was obtained from the Environmental Protection Agency's (EPA) National Compliance Database (NCDB). The FTTS and NCDB was shut down in 2006.

Government Publication Date: Jan 19, 2007

FTTS Inspection Case Listing:[FTTS INSP](#)

An inspection case listing from the Federal Insecticide, Fungicide, & Rodenticide Act (FIFRA) and Toxic Substances Control Act (TSCA), together known as FTTS. This database was obtained from the Environmental Protection Agency's (EPA) National Compliance Database (NCDB). The FTTS and NCDB was shut down in 2006.

Government Publication Date: Jan 19, 2007

Potentially Responsible Parties List:[PRP](#)

Early in the site cleanup process, the U.S. Environmental Protection Agency (EPA) conducts a search to find the Potentially Responsible Parties (PRPs). The EPA looks for evidence to determine liability by matching wastes found at the site with parties that may have contributed wastes to the site. This listing contains PRPs, Noticed Parties, at sites in the EPA's Superfund Enterprise Management System (SEMS).

Government Publication Date: Apr 22, 2024

State Coalition for Remediation of Drycleaners Listing:[SCRD DRYCLEANER](#)

The State Coalition for Remediation of Drycleaners (SCRD) was established in 1998, with support from the U.S. Environmental Protection Agency (EPA) Office of Superfund Remediation and Technology Innovation. Coalition members are states with mandated programs and funding for drycleaner site remediation. Current members are Alabama, Connecticut, Florida, Illinois, Kansas, Minnesota, Missouri, North Carolina, Oregon, South Carolina, Tennessee, Texas, and Wisconsin. Since 2017, the SCRD no longer maintains this data, refer to applicable state source data where available.

Government Publication Date: Nov 08, 2017

Integrated Compliance Information System (ICIS):[ICIS](#)

The Integrated Compliance Information System (ICIS) database contains integrated enforcement and compliance information across most of U.S. Environmental Protection Agency's (EPA) programs. The vision for ICIS is to replace EPA's independent databases that contain enforcement data with a single repository for that information. Currently, ICIS contains all Federal Administrative and Judicial enforcement actions and a subset of the Permit Compliance System (PCS), which supports the National Pollutant Discharge Elimination System (NPDES). This information is maintained by the EPA Headquarters and at the Regional offices. A future release of ICIS will completely replace PCS and will integrate that information with Federal actions already in the system. ICIS also has the capability to track other activities that support compliance and enforcement programs, including incident tracking, compliance assistance, and compliance monitoring.

Government Publication Date: Aug 26, 2023

Drycleaner Facilities:[FED DRYCLEANERS](#)

A list of drycleaner facilities from Enforcement and Compliance History Online (ECHO) data as made available by the U.S. Environmental Protection Agency (EPA), sourced from the ECHO Exporter file. The EPA tracks facilities that possess NAIC and SIC codes that classify businesses as drycleaner establishments.

Government Publication Date: Jan 20, 2024

Delisted Drycleaner Facilities:

DELISTED FED DRY

List of sites removed from the list of Drycleaner Facilities (sites in the EPA's Integrated Compliance Information System (ICIS) with NAIC or SIC codes identifying the business as a drycleaner establishment).

Government Publication Date: Jan 20, 2024

Formerly Used Defense Sites:

FUDS

Formerly Used Defense Sites (FUDS) are properties that were formerly owned by, leased to, or otherwise possessed by and under the jurisdiction of the Secretary of Defense prior to October 1986, where the Department of Defense (DOD) is responsible for an environmental restoration. The FUDS Annual Report to Congress (ARC) is published by the U.S. Army Corps of Engineers (USACE). This data is compiled from the USACE's Geospatial FUDS data layers and Homeland Infrastructure Foundation-Level Data (HIFLD) FUDS dataset which applies to the Fiscal Year 2021 FUDS Inventory.

Government Publication Date: May 15, 2023

FUDS Munitions Response Sites:

FUDS MRS

Boundaries of Munitions Response Sites (MRS), published with the Formerly Used Defense Sites (FUDS) Annual Report to Congress (ARC) by the U.S. Army Corps of Engineers (USACE). An MRS is a discrete location within a Munitions response area (MRA) that is known to require a munitions response. An MRA means any area on a defense site that is known or suspected to contain unexploded ordnance (UXO), discarded military munitions (DMM), or munitions constituents (MC). This data is compiled from the USACE's Geospatial MRS data layers and Homeland Infrastructure Foundation-Level Data (HIFLD) MRS dataset.

Government Publication Date: May 15, 2023

Former Military Nike Missile Sites:

FORMER NIKE

This information was taken from report DRXTH-AS-IA-83A016 (Historical Overview of the Nike Missile System, 12/1984) which was performed by Environmental Science and Engineering, Inc. for the U.S. Army Toxic and Hazardous Materials Agency Assessment Division. The Nike system was deployed between 1954 and the mid-1970's. Among the substances used or stored on Nike sites were liquid missile fuel (JP-4); starter fluids (UDKH, aniline, and furfuryl alcohol); oxidizer (IRFNA); hydrocarbons (motor oil, hydraulic fluid, diesel fuel, gasoline, heating oil); solvents (carbon tetrachloride, trichloroethylene, trichloroethane, stoddard solvent); and battery electrolyte. The quantities of material a disposed of and procedures for disposal are not documented in published reports. Virtually all information concerning the potential for contamination at Nike sites is confined to personnel who were assigned to Nike sites. During deactivation most hardware was shipped to depot-level supply points. There were reportedly instances where excess materials were disposed of on or near the site itself at closure. There was reportedly no routine site decontamination.

Government Publication Date: Dec 2, 1984

PHMSA Pipeline Safety Flagged Incidents:

PIPELINE INCIDENT

This list of flagged pipeline incidents is made available by the U.S. Department of Transportation (US DOT) Pipeline and Hazardous Materials Safety Administration (PHMSA). PHMSA regulations require incident and accident reports for five different pipeline system types. Accidents reported on hazardous liquid gravity lines (§195.13) and reporting-regulated-only hazardous liquid gathering lines (§195.15) and incidents reported on Type R gas gathering (§192.8(c)) are not included in the flagged incident file data.

Government Publication Date: Nov 6, 2023

Material Licensing Tracking System (MLTS):

MLTS

A list of sites that store radioactive material subject to the Nuclear Regulatory Commission (NRC) licensing requirements. This list is maintained by the NRC. As of September 2016, the NRC no longer releases location information for sites. Site locations were last received in July 2016.

Government Publication Date: May 11, 2021

Historic Material Licensing Tracking System (MLTS) sites:

HIST MLTS

A historic list of sites that have inactive licenses and/or removed from the Material Licensing Tracking System (MLTS). In some cases, a site is removed from the MLTS when the state becomes an "Agreement State". An Agreement State is a State that has signed an agreement with the Nuclear Regulatory Commission (NRC) authorizing the State to regulate certain uses of radioactive materials within the State.

Government Publication Date: Jan 31, 2010

Mines Master Index File:

MINES

The Master Index File (MIF) is provided by the United States Department of Labor, Mine Safety and Health Administration (MSHA). This file, which was originally created in the 1970's, contained many Mine-IDs that were invalid. MSHA removes invalid IDs from the MIF upon discovery. MSHA applicable data includes the following: all Coal and Metal/Non-Metal mines under MSHA's jurisdiction since 1/1/1970; mine addresses for all mines in the database except for Abandoned mines prior to 1998 from MSHA's legacy system (addresses may or may not correspond with the physical location of the mine itself); violations that have been assessed penalties as a result of MSHA inspections beginning on 1/1/2000; and violations issued as a result of MSHA inspections conducted beginning on 1/1/2000.

Government Publication Date: Feb 5, 2024

Surface Mining Control and Reclamation Act Sites:

SMCRA

An inventory of land and water impacted by past mining (primarily coal mining) is maintained by the Office of Surface Mining Reclamation and Enforcement (OSMRE) to provide information needed to implement the Surface Mining Control and Reclamation Act of 1977 (SMCRA). This inventory contains information on the type and extent of Abandoned Mine Land (AML) impacts, as well as information on the cost associated with the reclamation of those problems. The data is based upon field surveys by State, Tribal, and OSMRE program officials. It is dynamic to the extent that it is modified as new problems are identified and existing problems are reclaimed. Disclaimer: Per the OSMRE, States and tribes who enter their data into eAMLIS (AML Inventory System) may truncate their latitude and longitude so the precise location of usually dangerous AMLs is not revealed in an effort to protect the public from searching for these AMLs, most of which are on private property. If more precise location information is needed, please contact the applicable state/tribe of interest.

Government Publication Date: Jun 13, 2023

Mineral Resource Data System:

MRDS

The Mineral Resource Data System (MRDS) is a collection of reports describing metallic and nonmetallic mineral resources throughout the world. Included are deposit name, location, commodity, deposit description, geologic characteristics, production, reserves, resources, and references. This database contains the records previously provided in the Mineral Resource Data System (MRDS) of USGS and the Mineral Availability System/Mineral Industry Locator System (MAS/MILS) originated in the U.S. Bureau of Mines, which is now part of USGS. The USGS has ceased systematic updates of the MRDS database with their focus more recently on deposits of critical minerals while providing a well-documented baseline of historical mine locations from USGS topographic maps.

Government Publication Date: Mar 15, 2016

DOE Legacy Management Sites:

LM SITES

The U.S. Department of Energy (DOE) Office of Legacy Management (LM) currently manages radioactive and chemical waste, environmental contamination, and hazardous material at over 100 sites across the U.S. The LM manages sites with diverse regulatory drivers (statutes or programs that direct cleanup and management requirements at DOE sites) or as part of internal DOE or congressionally-recognized programs, such as but not limited to: Formerly Utilized Sites Remedial Action Program (FUSRAP), Uranium Mill Tailings Radiation Control Act (UMTRCA Title I, Title II), Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA), Resource Conservation and Recovery Act (RCRA), Decontamination and Decommissioning (D&D), Nuclear Waste Policy Act (NWPA). This site listing includes data exported from the DOE Office of LM's Geospatial Environmental Mapping System (GEMS). GEMS Data disclaimer: The DOE Office of LM makes no representation or warranty, expressed or implied, regarding the use, accuracy, availability, or completeness of the data presented herein.

Government Publication Date: Dec 12, 2023

Alternative Fueling Stations:

ALT FUELS

This list of alternative fueling stations is sourced from the Alternative Fuels Data Center (AFDC). The U.S. Department of Energy's Office of Energy Efficiency & Renewable Energy launched the AFDC in 1991 as a repository for alternative fuel vehicle performance data, which provides a wealth of information and data on alternative and renewable fuels, advanced vehicles, fuel-saving strategies, and emerging transportation technologies. The data includes Biodiesel (B20 and above), Compressed Natural Gas (CNG), Electric, Ethanol (E85), Hydrogen, Liquefied Natural Gas (LNG), Propane (LPG), and Renewable Diesel (R20 and above) fuel type locations.

Government Publication Date: Apr 30, 2024

Superfunds Consent Decrees:

CONSENT DECREES

This list of Superfund consent decrees is provided by the Department of Justice, Environment & Natural Resources Division (ENRD) through a Freedom of Information Act (FOIA) applicable file. This listing includes Cases filed since 2010 limited to the following: Consent Decrees for CERCLA or Superfund Sites filed and/or as proposed within the ENRD's Case Management System (CMS); and applicable ENRD's Environmental Defense Section (EDS) CERCLA Cases with "Consent" in History Note. CMS may not reflect the latest developments in a case, nor can the agency guarantee the accuracy of the data. ENRD Disclaimer: Congress excluded three discrete categories of law enforcement and national security records from the requirements of the FOIA; response is limited to those records that are subject to the requirements of the FOIA; however, this should not be taken as an indication that excluded records do, or do not, exist.

Government Publication Date: Sep 15, 2023

Air Facility System:

AFS

This EPA retired Air Facility System (AFS) dataset contains emissions, compliance, and enforcement data on stationary sources of air pollution. Regulated sources cover a wide spectrum; from large industrial facilities to relatively small operations such as dry cleaners. AFS does not contain data on facilities that are solely asbestos demolition and/or renovation contractors, or landfills. ECHO Clean Air Act data from AFS are frozen and reflect data as of October 17, 2014; the EPA retired this system for Clean Air Act stationary sources and transitioned to ICIS-Air.

Government Publication Date: Oct 17, 2014

Registered Pesticide Establishments:

SSTS

This national list of active EPA-registered foreign and domestic pesticide and/or device-producing establishments is based on data from the Section Seven Tracking System (SSTS). The Federal Insecticide, Fungicide, and Rodenticide Act (FIFRA) Section 7 requires that each producing establishment must place its EPA establishment number on the label or immediate container of each pesticide, active ingredient or device produced. An EPA establishment number on a pesticide product label identifies the EPA registered location where the product was produced. The list of establishments is made available by the U.S. Environmental Protection Agency (EPA).

Government Publication Date: Feb 29, 2024

Polychlorinated Biphenyl (PCB) Transformers:

PCBT

Locations of Transformers Containing Polychlorinated Biphenyls (PCBs) registered with the United States Environmental Protection Agency. PCB transformer owners must register their transformer(s) with EPA. Although not required, PCB transformer owners who have removed and properly disposed of a registered PCB transformer may notify EPA to have their PCB transformer de-registered. Data made available by EPA.

Government Publication Date: Oct 15, 2019

Polychlorinated Biphenyl (PCB) Notifiers:

PCB

Facilities included in the national list of facilities that have notified the United States Environmental Protection Agency (EPA) of Polychlorinated Biphenyl (PCB) activities. Any company or person storing, transporting or disposing of PCBs or conducting PCB research and development must notify the EPA and receive an identification number.

Government Publication Date: Oct 30, 2023

State

Spills:

SPILLS

A list of hazardous material spills and releases (including Meth Labs) that were reported to the Colorado Department of Public Health and Environment (CDPHE).

Government Publication Date: Apr 8, 2022

Colorado Oil and Gas Conservation Commission Spills:

OG SPILLS

A list of spills made available by the Colorado Oil and Gas Conservation Commission (COGCC).

Government Publication Date: Jan 23, 2024

Dry Cleaning Facilities:

DRYCLEANERS

A list of open and closed dry cleaners provided by the Colorado Department of Public Health and Environment (CDPHE) Hazardous Waste Compliance Assurance Unit and Stationary Sources Program.

Government Publication Date: Feb 15, 2024

Delisted Dry Cleaning Facilities:

DELISTED DRYCLEANERS

List of sites removed from the drycleaners database made available by the Department of Public Health & Environment.

Government Publication Date: Feb 15, 2024

Air Pollution Control Division Permitted Facilities:

AIR PERMITS

This list of Air Pollution Control Division Permitted Facilities is maintained by the Colorado Department of Public Health and Environment. The Stationary Sources Program evaluates and develops air permits for stationary sources in Colorado. The program inspects sources to determine compliance with air regulations and permit conditions and maintains an inventory of air pollution emissions throughout the state.

Government Publication Date: Feb 13, 2023

Per- and Polyfluoroalkyl Substances (PFAS):

PFAS

A list of facilities that reported storing or using AFFF or Class B firefighting foam, other PFAS chemicals, have reported PFAS passthrough, or have detectable limits of PFAS in their discharge.

Government Publication Date: Dec 8, 2020

Asbestos Abatement and Demolition Projects:

ASBESTOS

A list of Asbestos Abatement and Demolition Projects made available by the Colorado Department of Public Health and Environment (CDPHE), Air Pollution Control Division.

Government Publication Date: Dec 28, 2017

Hazardous Waste Sites- Generator:

HAZ GEN

A list of hazardous waste generators. This list is made available by the Colorado Department of Public Health and Environment (CDPHE).

Government Publication Date: Jun 30, 2003

Permitted Facilities Listing:

PDES

A list of permitted facilities tracked by the Water Quality Control Division of the Department of Public Health & Environment (DPHE). This list is the state version of the NPDES (National Pollution Discharge Elimination System).

Government Publication Date: Mar 1, 2024

Hazardous Waste Sites- Treatment, Storage & Disposal:

HAZ TSD

A list of facilities that treat, store, dispose, or recycle hazardous waste on-site. This list is made available by the Colorado Department of Public Health and Environment (CDPHE).

Government Publication Date: Jun 30, 2003

Hazardous Waste Sites- Corrective Action:

HAZ CORRACT

A list of hazardous waste generators with corrective actions. This list is made available by the Colorado Department of Public Health and Environment (CDPHE).

Government Publication Date: Jun 30, 2003

Uranium Mill Tailings Sites:

UMTRA

This list of former uranium mill sites in Colorado, with cleanup authorized by the Uranium Mill Tailings Remedial Action (UMTRA) program, was provided by the Colorado Department of Public Health and Environment. Because much of the cleanup is complete, the focus has shifted to primarily "Post-UMTRA issues," or the discovery of new uranium mill tailings material by private citizens, utility companies or local governments.

Government Publication Date: Jan 5, 2023

Tribal

No Tribal additional environmental record sources available for this State.

County

No County additional environmental databases were selected to be included in the search.

Definitions

Database Descriptions: This section provides a detailed explanation for each database including: source, information available, time coverage, and acronyms used. They are listed in alphabetic order.

Detail Report: This is the section of the report which provides the most detail for each individual record. Records are summarized by location, starting with the project property followed by records in closest proximity.

Distance: The distance value is the distance between plotted points, not necessarily the distance between the sites' boundaries. All values are an approximation.

Direction: The direction value is the compass direction of the site in respect to the project property and/or center point of the report.

Elevation: The elevation value is taken from the location at which the records for the site address have been plotted. All values are an approximation. Source: Google Elevation API.

Executive Summary: This portion of the report is divided into 3 sections:

'Report Summary'- Displays a chart indicating how many records fall on the project property and, within the report search radii.

'Site Report Summary'-Project Property'- This section lists all the records which fall on the project property. For more details, see the 'Detail Report' section.

'Site Report Summary-Surrounding Properties'- This section summarizes all records on adjacent properties, listing them in order of proximity from the project property. For more details, see the 'Detail Report' section.

Map Key: The map key number is assigned according to closest proximity from the project property. Map Key numbers always start at #1. The project property will always have a map key of '1' if records are available. If there is a number in brackets beside the main number, this will indicate the number of records on that specific property. If there is no number in brackets, there is only one record for that property.

The symbol and colour used indicates 'elevation': the red inverted triangle will dictate 'ERIS Sites with Lower Elevation', the yellow triangle will dictate 'ERIS Sites with Higher Elevation' and the orange square will dictate 'ERIS Sites with Same Elevation.'

Unplottables: These are records that could not be mapped due to various reasons, including limited geographic information. These records may or may not be in your study area, and are included as reference.

Appendix G: Aerial Photographs



HISTORICAL AERIALS

Project Property: Highway 550 North Silverton,
Colorado Phase I ESA
Highway 550 North
Silverton CO

Project No: 24-08

Requested By: SH Environmental Consulting, LLC

Order No: 24052300616

Date Completed: May 28, 2024

Aerial Maps included in this report are produced by the sources listed above and are to be used for research purposes including a phase I report. Maps are not to be resold as commercial property. ERIS provides no warranty of accuracy or liability. The information contained in this report has been produced using aerial photos listed in above sources by ERIS Information Inc. (in the US) and ERIS Information Limited Partnership (in Canada), both doing business as 'ERIS'. The maps contained in this report do not purport to be and do not constitute a guarantee of the accuracy of the information contained herein. Although ERIS has endeavored to present information that is accurate, ERIS disclaims, any and all liability for any errors, omissions, or inaccuracies in such information and data, whether attributable to inadvertence, negligence or otherwise, and for any consequences arising therefrom. Liability on the part of ERIS is limited to the monetary value paid for this report.

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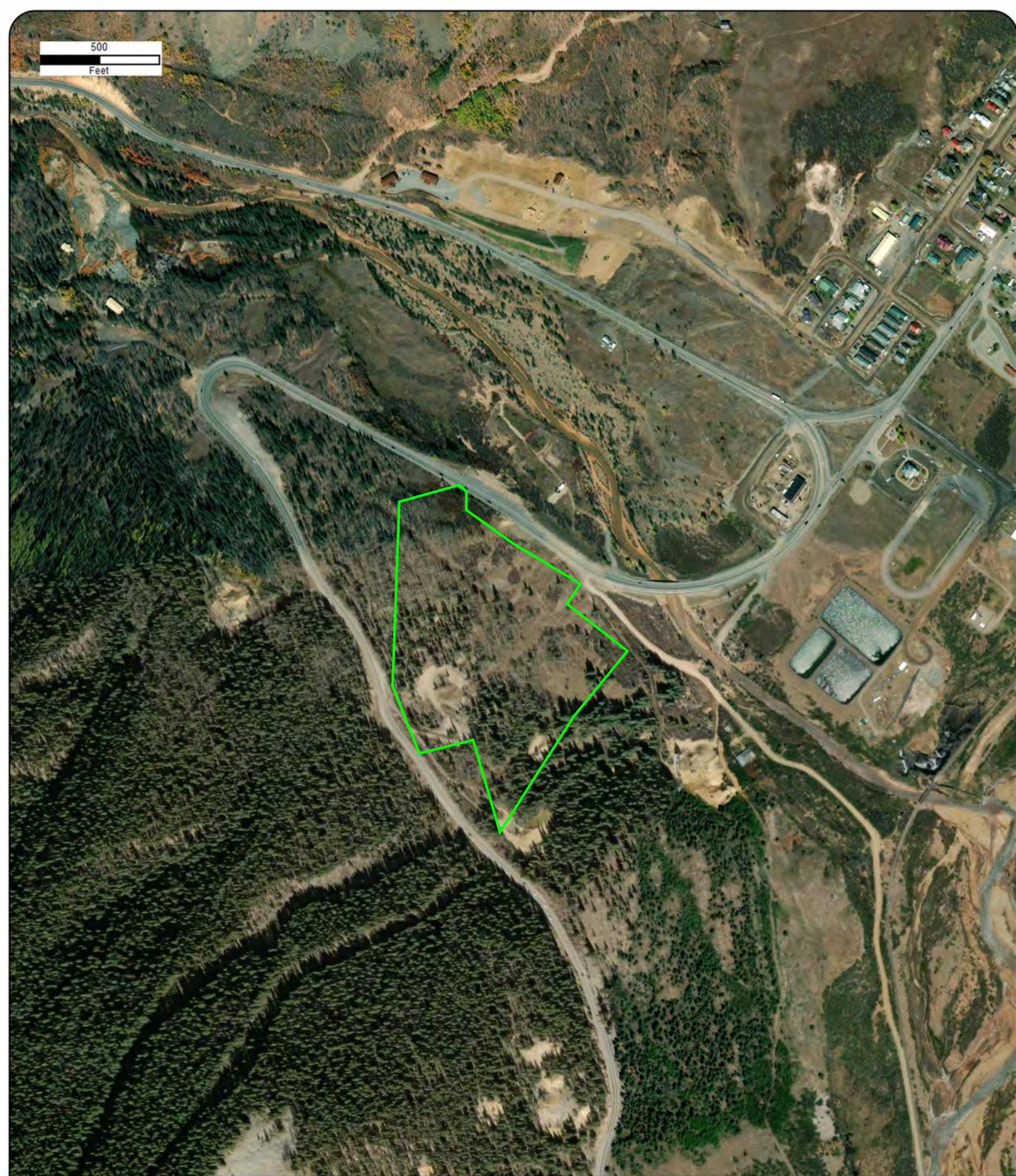
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Date	Source	Scale	Comments
2023	Maxar Technologies	1" = 500'	
2021	United States Department of Agriculture	1" = 500'	
2019	United States Department of Agriculture	1" = 500'	
2017	United States Department of Agriculture	1" = 500'	
2015	United States Department of Agriculture	1" = 500'	
2013	United States Department of Agriculture	1" = 500'	
2011	United States Department of Agriculture	1" = 500'	
2009	United States Department of Agriculture	1" = 500'	
2005	United States Department of Agriculture	1" = 500'	
1998	United States Geological Survey	1" = 500'	
1989	United States Geological Survey	1" = 500'	
1986	United States Geological Survey	1" = 500'	
1978	United States Geological Survey	1" = 500'	
1972	National Aeronautics And Space Admin	1" = 500'	
1963	United States Geological Survey	1" = 500'	
1960	Army Mapping Service	1" = 500'	
1951	United States Geological Survey	1" = 500'	
1945	United States Geological Survey	1" = 500'	

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500
Feet



Year: 2021
Source: USDA
Scale: 1" = 500'
Comment:

Address: Highway 550 North, Silverton, CO
Approx Center: -107.67588078,37.80288322

Order No: 24052300616



500
Feet



Year: 2019
Source: USDA
Scale: 1" = 500'
Comment:

Address: Highway 550 North, Silverton, CO
Approx Center: -107.67588078,37.80288322

Order No: 24052300616



500
Feet



Year: 2017
Source: USDA
Scale: 1" = 500'
Comment:

Address: Highway 550 North, Silverton, CO
Approx Center: -107.67588078,37.80288322

Order No: 24052300616



500
Feet



Year: 2015
Source: USDA
Scale: 1" = 500'
Comment:

Address: Highway 550 North, Silverton, CO
Approx Center: -107.67588078,37.80288322

Order No: 24052300616



500
Feet



Year: 2013
Source: USDA
Scale: 1" = 500'
Comment:

Address: Highway 550 North, Silverton, CO
Approx Center: -107.67588078,37.80288322

Order No: 24052300616



500
Feet

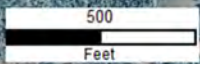


Year: 2011
Source: USDA
Scale: 1" = 500'
Comment:

Address: Highway 550 North, Silverton, CO
Approx Center: -107.67588078,37.80288322

Order No: 24052300616





Year: 2009
Source: USDA
Scale: 1" = 500'
Comment:

Address: Highway 550 North, Silverton, CO
Approx Center: -107.67588078,37.80288322

Order No: 24052300616



500
Feet



Year: 2005
Source: USDA
Scale: 1" = 500'
Comment:

Address: Highway 550 North, Silverton, CO
Approx Center: -107.67588078,37.80288322

Order No: 24052300616



500
Feet



Year: 1998
Source: USGS
Scale: 1" = 500'
Comment:

Address: Highway 550 North, Silverton, CO
Approx Center: -107.67588078,37.80288322

Order No: 24052300616



500
Feet



Year: 1989
Source: USGS
Scale: 1" = 500'
Comment:

Address: Highway 550 North, Silverton, CO
Approx Center: -107.67588078,37.80288322

Order No: 24052300616



500
Feet



Year: 1986
Source: USGS
Scale: 1" = 500'
Comment:

Address: Highway 550 North, Silverton, CO
Approx Center: -107.67588078,37.80288322

Order No: 24052300616



500
Feet



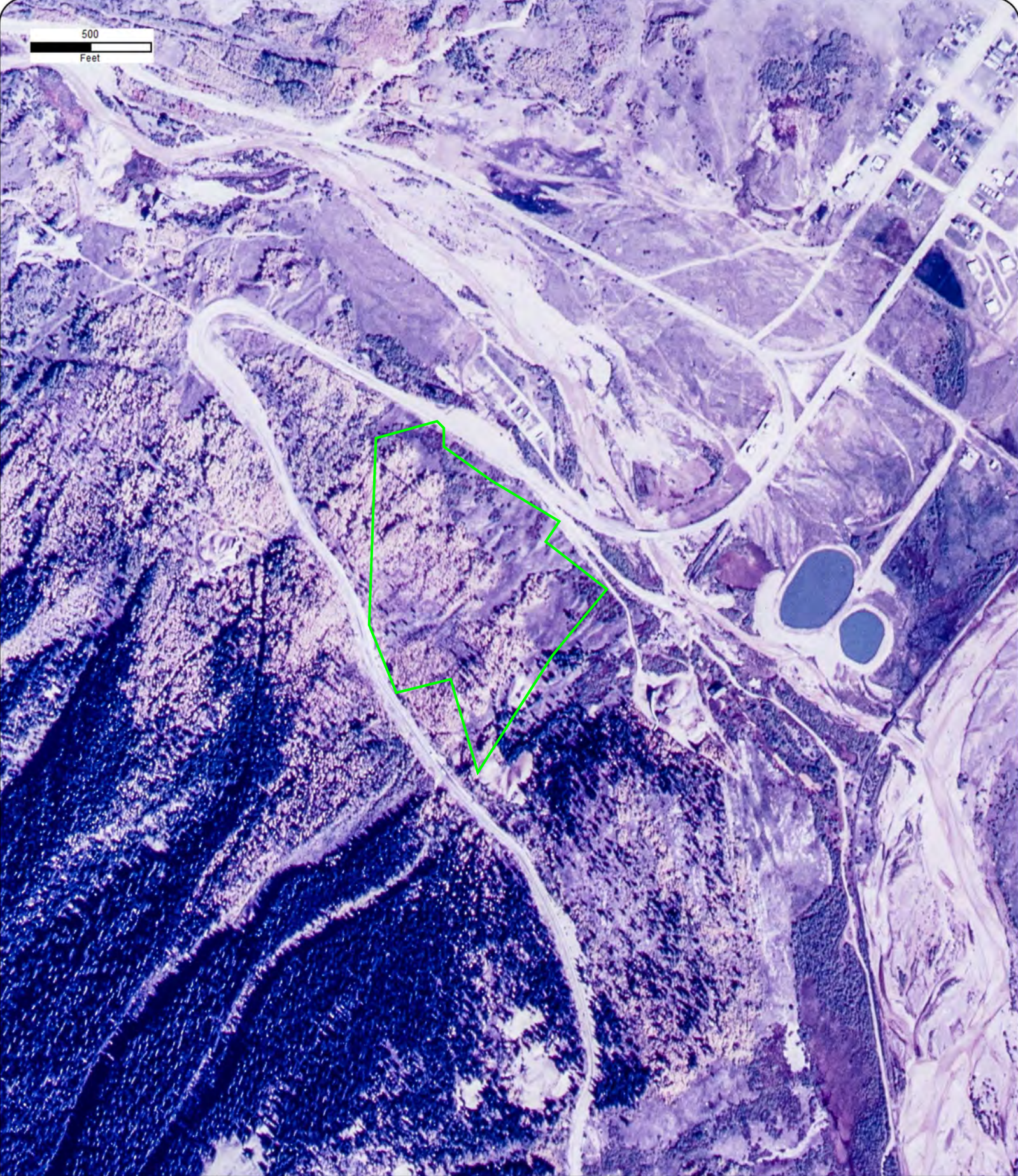
Year: 1978
Source: USGS
Scale: 1" = 500'
Comment:

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Approx Center: -107.67588078,37.80288322

Order No: 24052300616



500
Feet

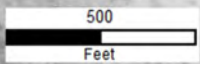


Year: 1972
Source: NASA
Scale: 1" = 500'
Comment:

Address: Highway 550 North, Silverton, CO
Approx Center: -107.67588078,37.80288322

Order No: 24052300616





Year: 1963
Source: USGS
Scale: 1" = 500'
Comment:

Address: Highway 550 North, Silverton, CO
Approx Center: -107.67588078,37.80288322

Order No: 24052300616



500
Feet



Year: 1960
Source: AMS
Scale: 1" = 500'
Comment:

Address: Highway 550 North, Silverton, CO
Approx Center: -107.67588078,37.80288322

Order No: 24052300616



500
Feet



Year: 1951
Source: USGS
Scale: 1" = 500'
Comment:

Address: Highway 550 North, Silverton, CO
Approx Center: -107.67588078,37.80288322

Order No: 24052300616



500
Feet



Year: 1945
Source: USGS
Scale: 1" = 500'
Comment:

Address: Highway 550 North, Silverton, CO
Approx Center: -107.67588078,37.80288322

Order No: 24052300616



Appendix H: Historical Topographic Maps



TOPOGRAPHIC MAPS

Project Property: Highway 550 North Silverton, Colorado Phase I ESA

Highway 550 North
Silverton CO None

Project No: 24-08

Requested By: SH Environmental Consulting, LLC

Order No: 24052300616

Date Completed: May 24, 2024

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We have searched USGS collections of current topographic maps and historical topographic maps for the project property. Below is a list of maps found for the project property and adjacent area. Maps are from 7.5 and 15 minute topographic map series, if available.

Year	Map Series
2019	7.5
2016	7.5
2013	7.5
1955	7.5
1955	15
1902	15
1901	15
1897	15

Topographic Map Symbolology for the maps may be available in the following documents:

Pre-1947

[Page 223 of 1918 Topographic Instructions](#)

[Page 130 of 1928 Topographic Instructions](#)

1947-2009

[Topographic Map Symbols](#)

2009-present

[US Topo Map Symbols](#)

Topographic Maps included in this report are produced by the USGS and are to be used for research purposes including a phase I report. Maps are not to be resold as commercial property.

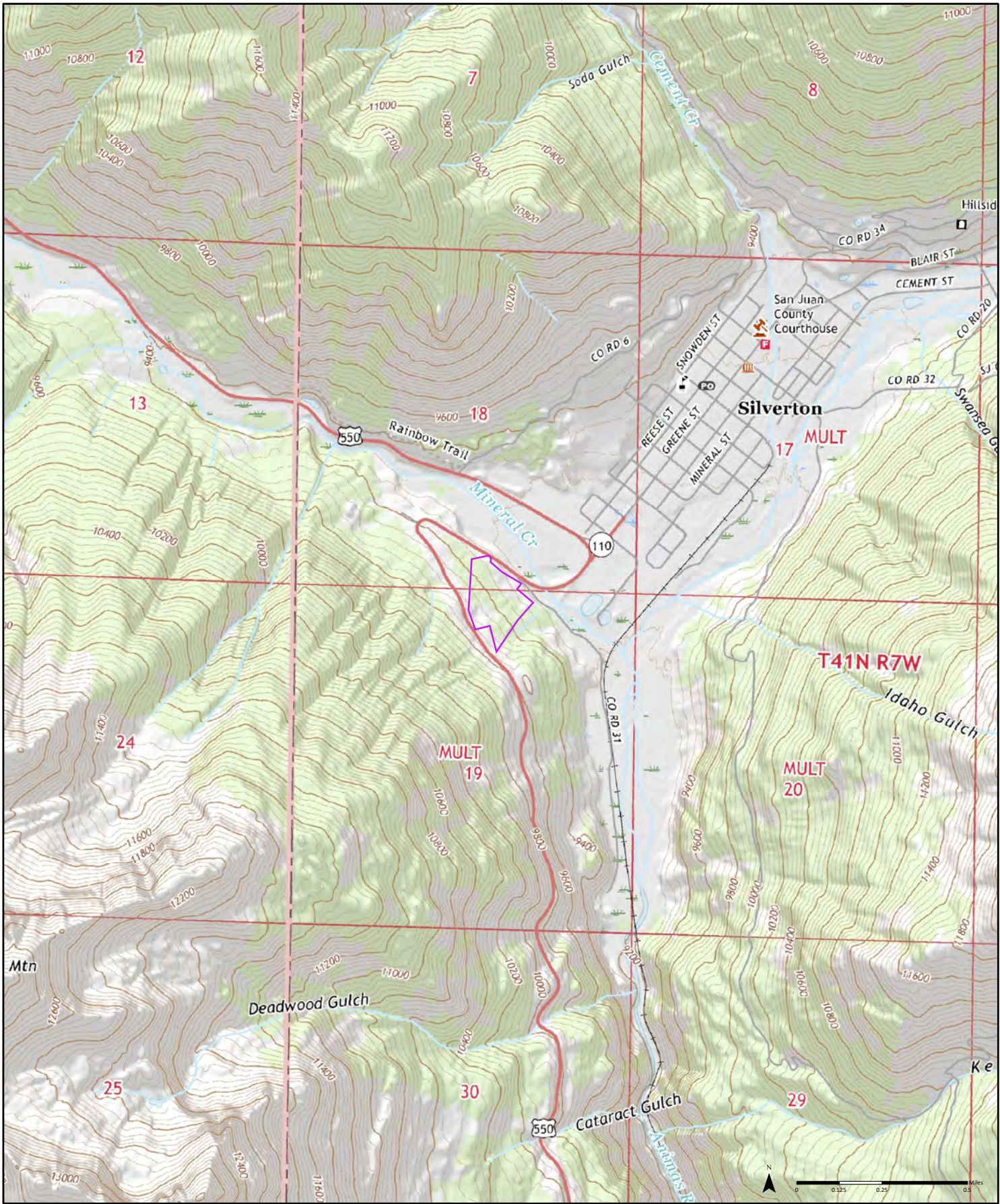
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2019

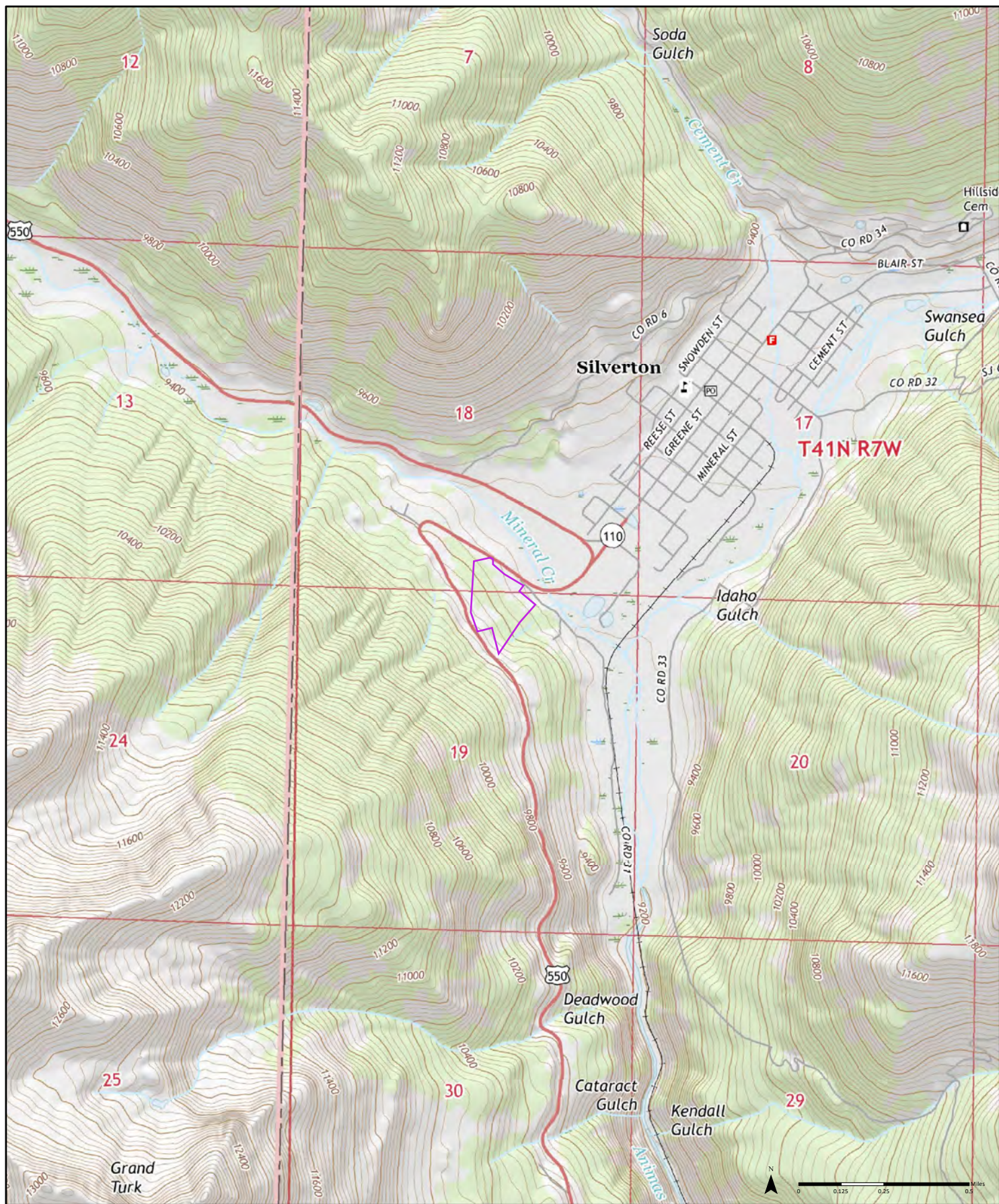
Order No. 24052300616



Available Quadrangle(s): Silverton, CO

Source: USGS 7.5 Minute Topographic Map





2016

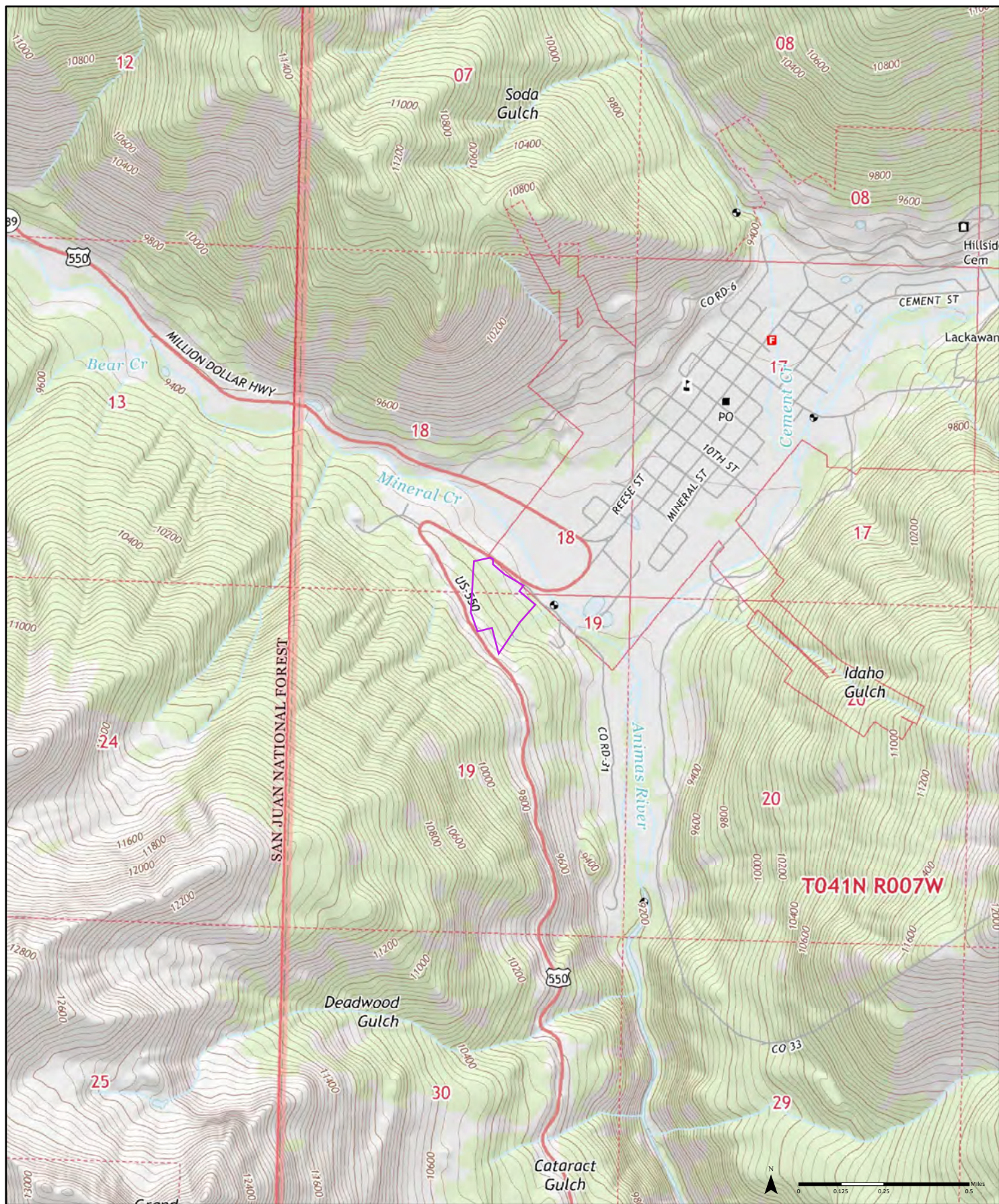
Order No. 24052300616



Available Quadrangle(s): Silverton, CO

Source: USGS 7.5 Minute Topographic Map





2013

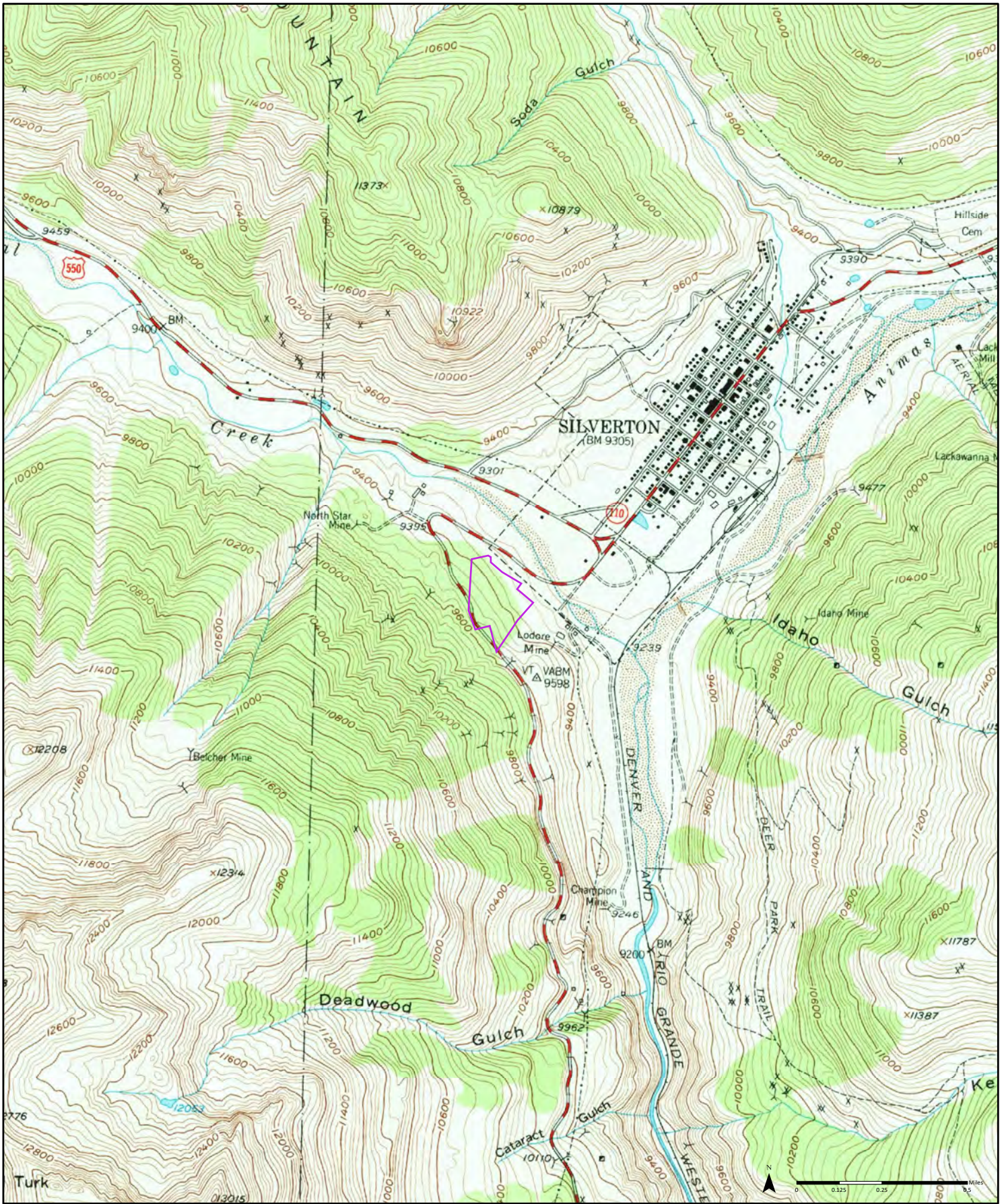
Order No. 24052300616



Available Quadrangle(s): Silverton, CO

Source: USGS 7.5 Minute Topographic Map





1955

(1-1955)
Aerial Photo Year: 1951

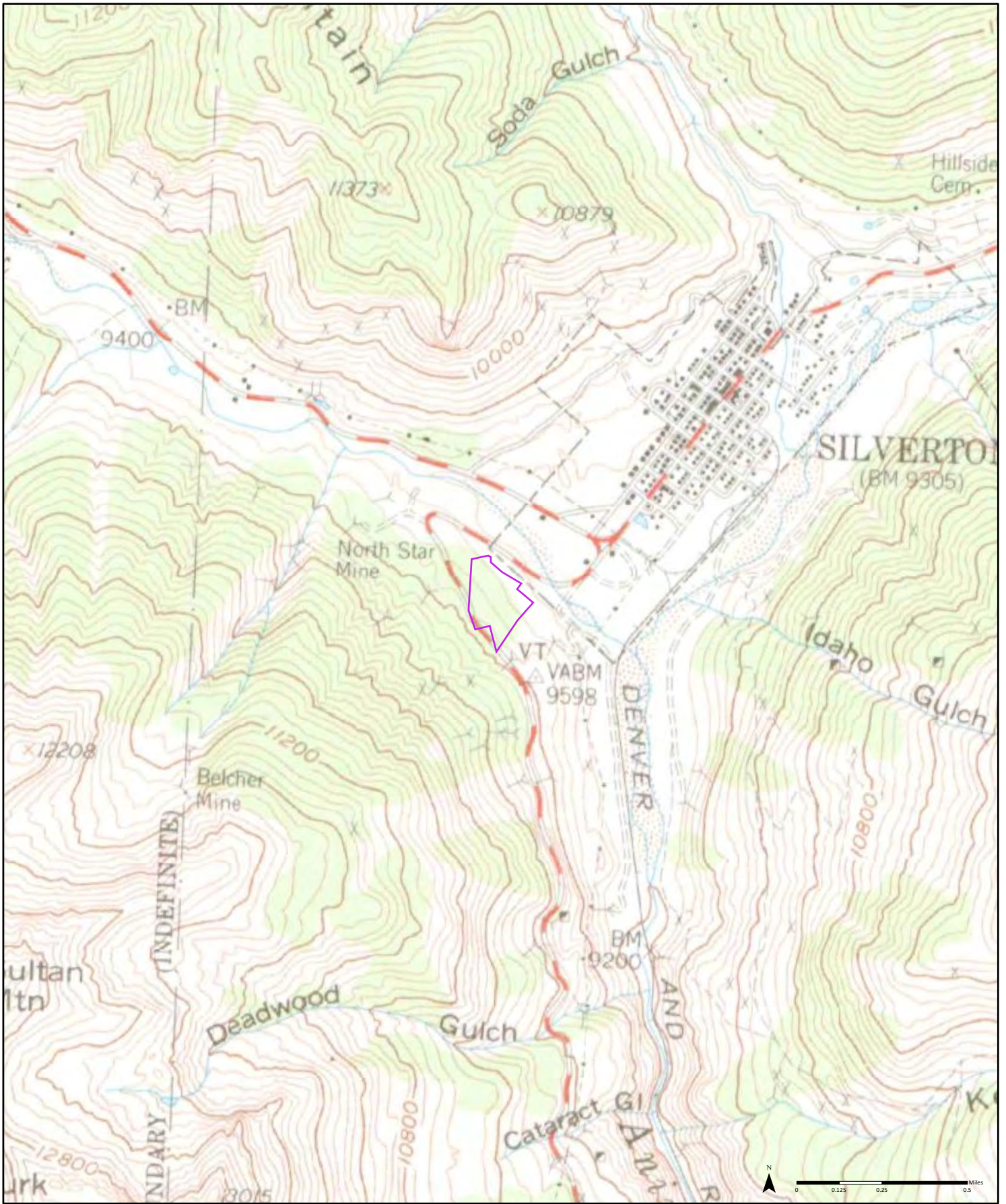
Order No. 24052300616



Available Quadrangle(s): Silverton, CO(1-1955)

Source: USGS 7.5 Minute Topographic Map





1955

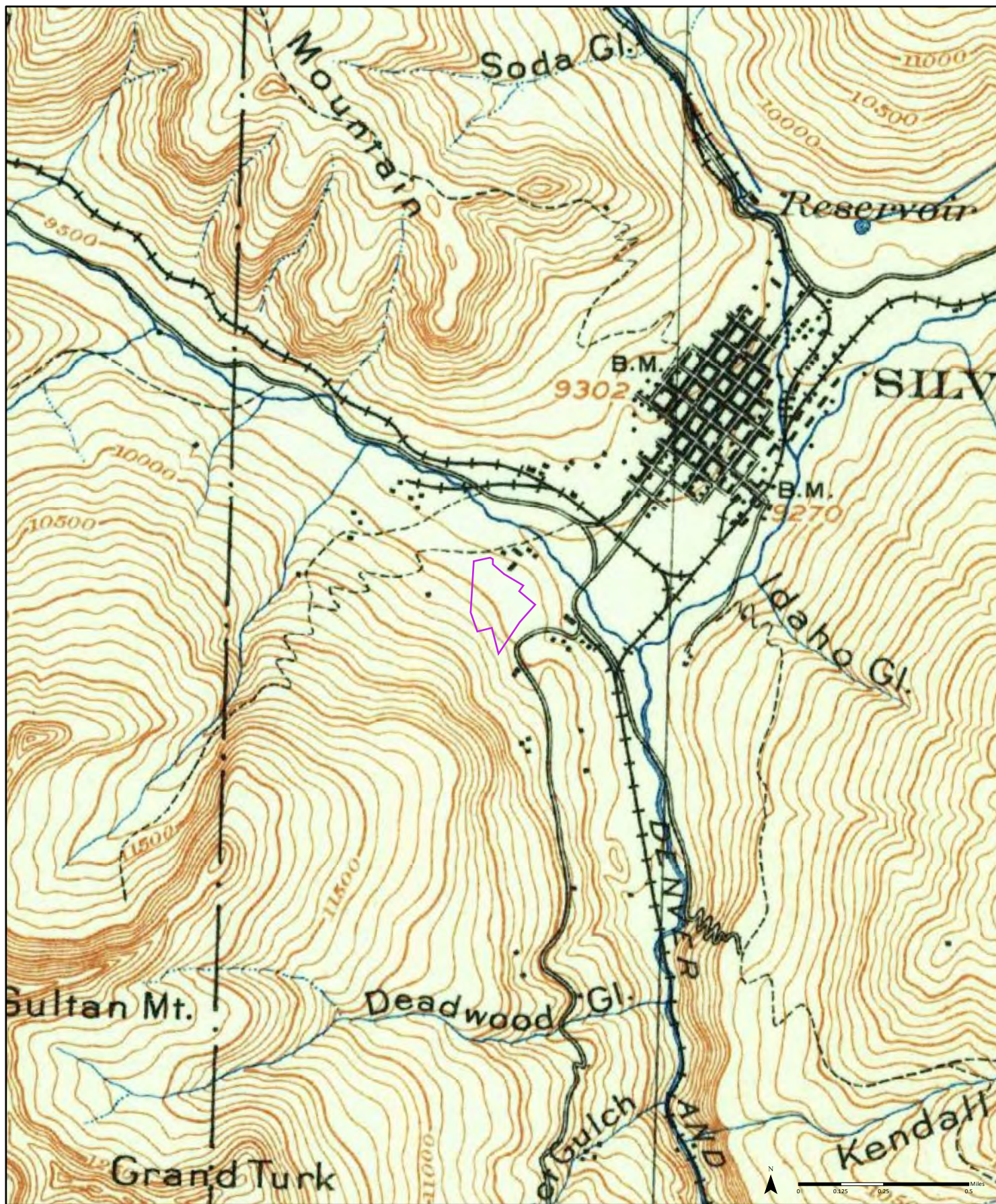
(1-1955)
Aerial Photo Year: 1951

Order No. 24052300616



Available Quadrangle(s): Silverton, CO(1-1955)

Source: USGS 15 Minute Topographic Map



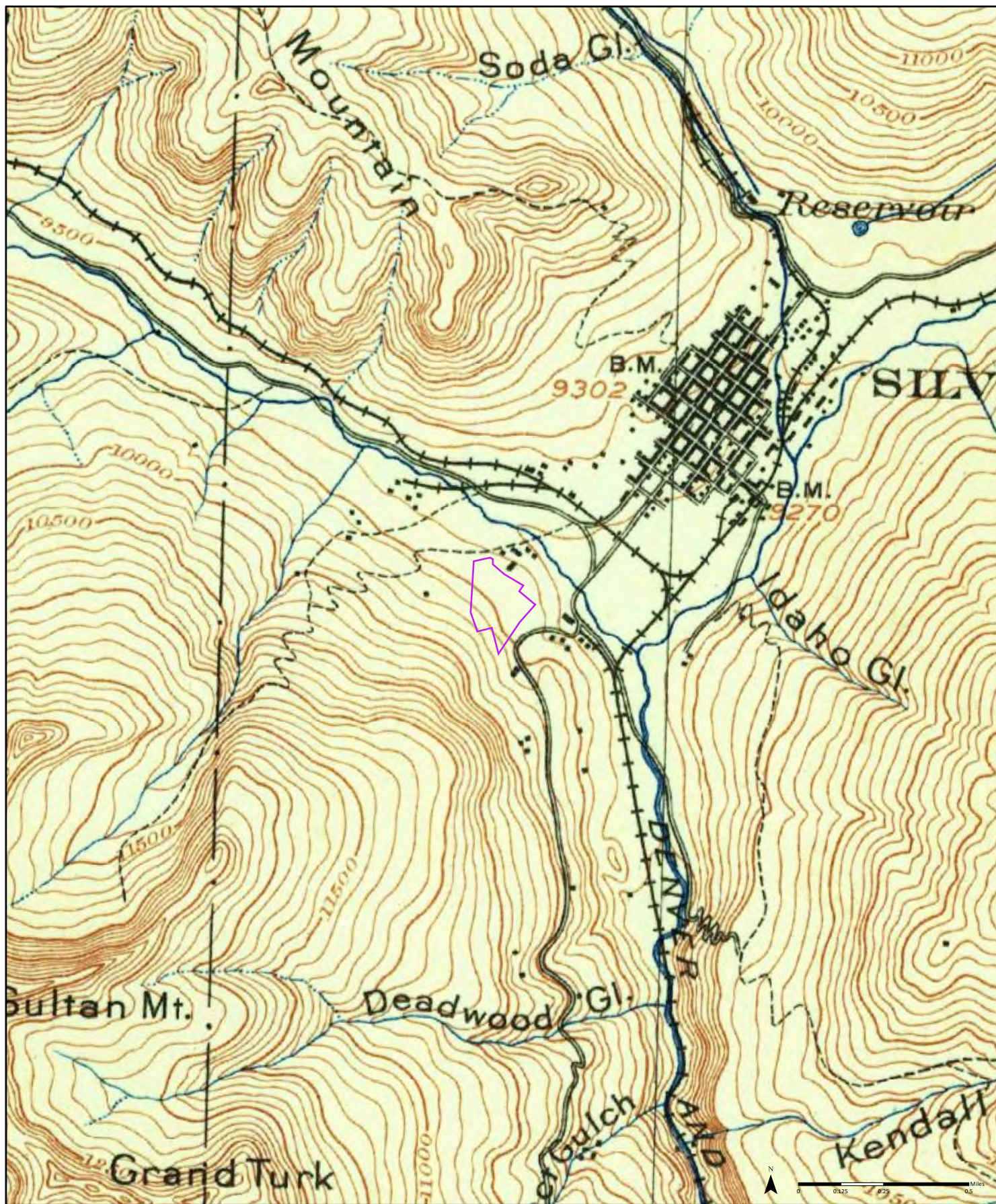
1902

Order No. 24052300616



Available Quadrangle(s): Silverton, CO

Source: USGS 15 Minute Topographic Map



1901

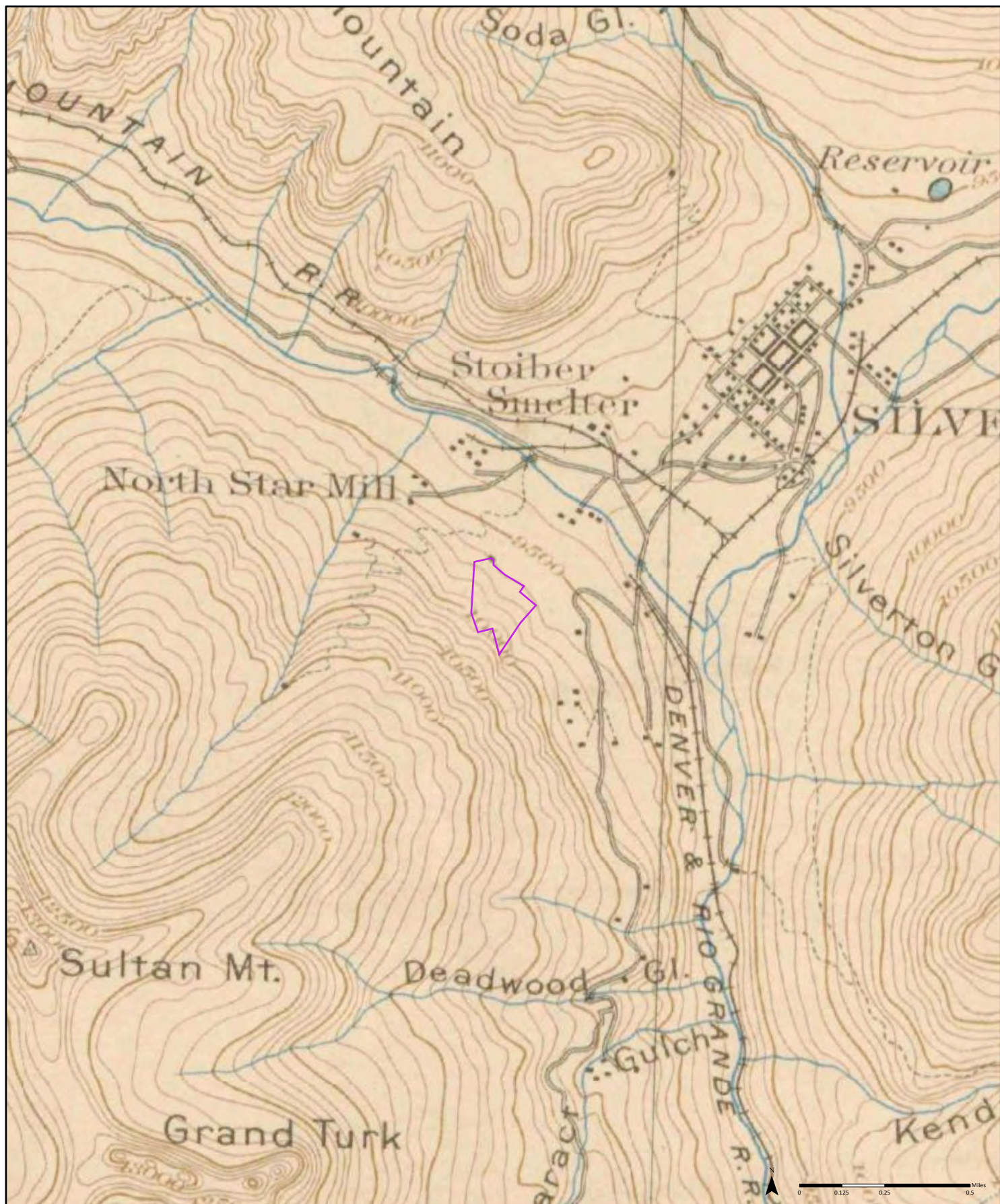
Order No. 24052300616



Available Quadrangle(s): Silverton, CO

Source: USGS 15 Minute Topographic Map





1897

Order No. 24052300616



Available Quadrangle(s): Silverton, CO

Source: USGS 15 Minute Topographic Map

Appendix I: Site Photographs



View looking north of Highway 550.



View looking south of Highway 550 in front of Subject Property



View of road onto Subject Property.



View looking to the northeast across Subject Property.



View of groundwater wellhead on Subject Property.



View of electrical transformer on Subject Property.



View looking south of surface excavation on the Hector Mill Site Parcel.



View of surface mining on the Hector Mill Site parcel.



View looking to the southwest of the electrical transformer and panel.



View looking to the south of the mine tailings pile on the south adjacent property that is encroach



View of mine tailings pile on south adjacent property that is encroaching onto the Subject Property.



Aerial view of the mine tailings pile on the south adjacent property.

Appendix J: Qualifications



Steven Hoffman, P.G.

ENVIRONMENTAL GEOLOGIST

Summary Of Relevant Qualifications

Mr. Hoffman has over 30 years of experience in environmental consulting, public lands management, project management, construction management, and business administration. His extensive background of environmental project management experience has included sites for major oil companies, municipalities, insurance companies, product manufacturers, agriculture sectors, and clients with single-site issues. Mr. Hoffman is knowledgeable in geology, hydrogeology, mined-land reclamation, environmental studies, surface and groundwater contaminant assessment and remediation, and ASTM ESA risk-assessment evaluations.

Mr. Hoffman's experience includes:

Professional Experience

Mr. Hoffman's portfolio of work includes consulting, project and program management, health and safety plan development, and project compliance with regulatory guidelines. He has worked extensively with government agencies, oil and gas industry, insurance companies, legal firms, and other public and private sectors across the United States. His accomplishments include the following:

- Managed and performed environmental investigation, monitoring, and remediation of over 500 retail petroleum sites throughout the western US.
- Provided risk management analysis of various environmental options for compliance and closure with the regulatory agency and affected stakeholders.
- Phase I and II environmental site assessments of commercial properties in accordance with ASTM standards that included the evaluation of petroleum hydrocarbons, chlorinated solvents, coal-based fill, and other potential contaminants of concern in the soil, groundwater, soil vapor, and indoor building air.
- ASTM Phase I environmental site assessments of rural and forested properties. These assessments have included farms, ranches, new development areas, and parcels with gold mining claims.
- Phase III environmental site remediation.
- Developed, installed, operated, and maintained remedial systems for contaminant control and removal.
- Prepared project site health and safety plans, job safety analysis documents, and served as the on-site health and safety officer.
- Developed site assessments for regulatory closures.
- Developed Environmental Operation and Management Plans based upon ISO Standards.
- Litigation support services to environmental attorneys.
- Technical research and report writing.
- Senior technical report reviews and scientific evaluations.

YEARS OF EXPERIENCE *Overall: 30+*

EDUCATION AND CERTIFICATIONS

B.A., Geology, University of
Northern Colorado, 1985

Licensed Geologist:
Wyoming, PG-#699

Certifications:
OSHA HAZWOPER
OSHA 8-HOUR Refresher
DOT HAZMAT Training

