

SAN JUAN COUNTY



PO Box 466, Silverton CO 81433

September 1, 2022

Dear Property Owner:

The Planning Department of San Juan County Colorado has received two applications, and you have been identified as an Adjacent Land Owner. A property you own is located within 1500 feet of the project site indicated below. You are under no obligation to reply to this letter, or take any action.

County Improvement Permit Application, Proposed Cabin & Associated Improvements, **LOG CABIN LODGE** USMS No. 19335, located on County Road 14, near Red Mountain Pass, in San Juan County, Colorado; Owners/Applicants Jordan Hawn, Chris Forrest, Clayton Rundquist of Durango.

County Improvement Permit Application, Proposed Accessory Dwelling Unit (ADU) & Associated Improvements, **TRACT 13 KNOW YOUR NEIGHBOR SUBDIVISION**, located on Spud Circle, near Lime Creek Road (County Road 1 & US Forest Service Road 591), in San Juan County, Colorado; Owner/Applicant Justin Robertson of Know Your Neighbor Subdivision/Durango.

If you are interested in these applications, you may view the application documents on the "San Juan County Colorado" government website. These applications are being posted on the County website under the following tabs: County Government – Building & Planning – Proposed Additions/Applications.

This application will be reviewed by the San Juan Regional Planning Commission on the night of Tuesday September 20, 2022. The meeting is open to the public, occurring in-person at the County Courthouse, and also via free Zoom software (Zoom Meeting ID Number 921 3647 3203).

Adjacent Land Owners and Citizens may submit written and/or verbal comments regarding these applications, before and/or during the meeting. Comments before the meeting can be sent to the Planning Department using the contact information below (emailed or written comments are preferred because those are printed for the Commissioners).

The Planning Commission is an advisory board which makes a recommendation. After the Planning Commission meeting, these applications will be reviewed by the Board of County Commissioners at a later date. The final decision to approve or deny each County application is decided by a vote of the Board of County Commissioners.

Please contact me if you have questions.

Thank you,

Lisa M. Adair PE

Planning Department
San Juan County Colorado

Email address (preferred method of contact): planner@sanjuancolorado.us

Mail comments to: San Juan County, PO Box 466, Silverton, CO 81433.

Hand-deliver comments to: San Juan County Courthouse, 1557 Greene Street, in Silverton.

Personal cell phone number: (970) 946-2217.

Application for Improvement Permit

8/31/22 Lma

		APPROVAL CHECKLIST		Initial	Date
Applicant	Name	Jordan Hawn			
	Address	569 E. 7th Street Durango CO 81301 Phone 303-506-5230			
Owner	Name	Same as above			
	Address	Same as above Phone 303-506-5230			
Contractor	Name	Mark Shenk			
	Address	970 Phone 970-759-0663			
Legal Description of Property:		Road Use Administrator			
Log Cabin, Mineral Survey No. 19335		Ownership of Surface			
Red mtn Mining District		Ownership of Minerals			
Township N, Range W, Section		Vicinity Map			
Nature of Improvement Planned:		Certified Survey Plat			
- 1000' sqft cabin		Monumentation			
- 10x20' shed		Basic Plan Map			
- septic system		Plans and Drawings			
- propane tank		Road System Relationship			
- Solar Panel		Zoning Compatibility			
- Driveway + Parking Area		State Mining Permit			
		Owner Notification			
		Avalanche Hazard			
		Geologic Hazard			
		Floodplain Hazard			
		Wildfire Hazard			
		Mineral Resource Impact			
		Wildlife Impact			
		Historic Site Impact			
		Watershed Clearance			
		County Building Inspector			
		Building Permit			
		State Electrical Inspector			
		Electrical Permit			
		San Juan Basin Health Unit			
		Sewage Disposal: Test			
		Design			
		Central Sewage Collection			
		State Division of Water Resources			
		Adequate Water Source			
		Well Permit			
		Central Water Distribution			
		U.S. Forest Service/BLM			
		Access Approval			
		State Division of Highways			
		Driveway Permit			
		Subdivision Variance			
		Subdivision Approval			
		PUD Approval			
Receipt		FEE PAYMENT		Amount	Date
Application					
Building Permit					
Subdivision/PUD					
Hearing Notice					

RECEIPT

8/31/2022

San Juan County
County Treasurer: Deanna Jaramillo

Date: 8/31/2022 Paid By: CHRISTOPHER FORREST
Station: 1 Description: PLANNING
Cashier: 1 System: Cash Receipting
Receipt: 2407 Reference: IMPROVEMENT PERMIT

Payment Method:

Cash:	\$0.00	Wire No.:	
Checks:	\$840.00	Card Type:	
Credit Card:	\$0.00	Account Number:	
Wire:	\$0.00	Expiration Date:	
Amount Tendered:	\$840.00		
Change Returned:	\$0.00		
Total Paid:	\$840.00		

Check No.	Name	Amount
2093	CHRISTOPHER FORREST	\$840.00

Receipt	Trans. Code	Fund	Ledger	Description	Operator	Amount
2407	GenRct	(010)COUNTY GENERAL FUND	0100010000	CASH ACCOUNT	D	\$840.00
2407	GenRct	(010)COUNTY GENERAL FUND	0100041804	LAND USE FEES - IMPROVEM	C	\$840.00

Signature

Application for Improvement

Sketch Plan Submittal

Proposed "CJC Ski Hut"

Log Cabin Claim USMS #19335

Red Mountain Pass – County Road 14

San Juan County, Colorado

Applicants:

Clayton Rundquist

633 East 3rd Ave

Durango CO 81301

970-946-3453

Chris Forrest

314 Jenkins Ranch Road

Durango CO 81301

970-946-6977

Jordan Hawn

569 East 7th Street

Durango CO 81301

303-506-5230

Date Submittal Date – June 6th 2022

REVISED/RESUBMITTED 8/31/22
ama



Building Permit Application

*Address of Job Site: County Rd 14 TBD - Log Cabin - MS #19335

*Class of Work:

NEW ADDITION ALTERATIONS REPAIR MOVE OTHER

*Property Owner: Jordan Hawn / Chris Forrest / Clayton Ruckert Phone: 303-506-5230

*Mailing Address: PO BOX 25

*City: Durango *State: CO *Zip Code: 81302

*Email Address: jordan-hawn@yahoo.com

Contractor: ~~Mark Schenk~~ Mark Schenk-Alpine Ind. Phone: 979-759-0663

Legal Description:

*LOT NO.(S): 19335 *BLOCK: _____ *ZONE: _____ *(If Applicable) ADDITION: _____

*Hazard: NONE FLOOD AVALANCHE SLOPE

Structural Information:

** Req.if NEW Structure: ** Survey Provided: YES NO ** Plot Plan Provided: YES NO

Designed By: _____ LICENSE PE# _____

SQ.FT.: ~~14777~~ 950 HEIGHT: 26' TOTAL UNITS: 1 TOTAL ROOMS: 2

***Describe All Work To Be Done:**

[Empty box for describing work to be done]

*Printed Name: CLAYTON RUCKERT / JORDAN HAWN / CHRIS FORREST

*Signature: [Signatures] Date: 6-6-2022

(Staff Use ONLY)

Total Estimated Valuation of Work: \$ _____ Estimated Permit Fee: \$ _____
(Including Labor and Materials)

Log Cabin Claim - Summary of proposed improvements

The proposed site is on the Log Cabin claim just up CR 18 and directly across the road from the Flaugh-Wilcox Claim cabin which is currently under construction. The site is a small bench/meadow upslope from the road. A short driveway will cross an area that was previously disturbed when the county road was built.

The cabin site is a small clearing that is protected by tall trees on all sides so it will be all but invisible except for one small location on Bear Creek trail on the West side of Highway 550 due to a small gap in the trees on the West side of the building site.

Because the proposed site is in an existing clearing no large or significant trees will need to be removed in order to construct the building.

The cabin will be at approximately 11,250' elevation and will have an exterior footprint of 25' by 41' and an interior ground level area of 950 SF. The cabin will have 2 bedrooms and one bathroom. The cabin will be built on a basement foundation partially recessed into the hillside to provide utility room and water storage space.

The cabin will be built using timber frame construction. Overall height measured from grade is 26'. Exterior finishes will be weathered barn wood, rusty metal, stone, and timbers and will be patterned after historical mining structures in the area. Roofing will be dark colored metal.

Electricity will be solar with a propane generator as back up. The primary heat source will be a high efficiency wood burning stove with a small propane heater in the basement as back up.

The only exterior lighting will be what is required by building code and will meet dark sky requirements. All interior lighting will be high efficiency LED.

Water source will be a well drilled on site by Valley Pump and Well of Montrose. 1000 gallon storage tanks in basement will provide storage capacity.

Cabin will have an engineered septic system designed by Engineer Mountain, LLC and approved by San Juan Basin Health.

Trash will be stored on a temporary basis in the garage and will leave with us.

The propane tank will be buried and there will be a land line telephone. Parking for two to three vehicles will be provided adjacent to the cabin in the existing clearing.


In summary we feel that this is an ideal site for a backcountry cabin. Due to the nature of the building site tucked into a natural clearing surrounded by tall evergreen trees the cabin will not be visible from CR 14 or Highway 550. As shown in the attached photos the story pole can't be seen except from a small section of the Bear Creek trail. In short, once complete, no one should even be aware there is a cabin at this location unless they are actually on the Log Cabin Claim.

Thank you for your consideration.

Sincerely,

 - Jordan Hawn

 CHRIS FORZETTI

 CLAYTON RUNDQUIST

State Documentary Fee
\$14.25 01-19-2022

154089
Page 1 of 1
SAN JUAN COUNTY, COLORADO
LADONNA L. JARAMILLO, RECORDER
01-19-2022 11:48 AM Recording Fee \$13.00

State Documentary Fee

SPECIAL WARRANTY DEED

Date: January 19, 2022

\$ 14.25

THIS DEED, Made this 19TH Day of January, 2022

Between RENAISSANCE HANDYMAN LLC, A COLORADO LIMITED LIABILITY COMPANY

of the County of Santa Fe and State of New Mexico, grantor

and JORDAN HAWN and CLAYTON RUNDQUIST and CHRISTOPHER FORREST

whose legal address is 569 East 7th Street
Durango, CO 81301

of the County of La Plata and State of Colorado, grantee

WITNESSETH, That the grantor for and in consideration of the sum of
-----TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION-----
the receipt and sufficiency of which is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents
does grant, bargain, sell, convey and confirm, unto the grantee, their heirs and assigns forever, not in tenancy in common but in
joint tenancy, all the real property together with improvements, if any, situate, lying and being in the County of San Juan and
State of Colorado described as follows:

Log Cabin, Mineral Survey No. 19335, Red Mountain Mining District, excluding any overlap with
Wilcox, Mineral Survey No. 19335, County of San Juan, State of Colorado.

LESS AND EXCEPT that portion of the above named mining claim(s), if any, within overlapping senior
mining claims, including but not limited to the Ben Butler Lode Mining Claim, Mineral Survey No.
13733.

As known by street and number as: TBD County Road 14
Silverton, CO 81433

TOGETHER with all and singular the hereditaments and appurtenances thereunto belonging, or in anywise appertaining,
and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right,
title, interest, claim and demand whatsoever of the grantor, either in law or equity, of, in and to the above bargained
premises, with the hereditaments and appurtenances

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the
grantee, their heirs and assigns forever. The grantor, for itself, its successors does covenant, and agree that the grantor shall
and will WARRANT AND FOREVER DEFEND the above bargained premises in the quiet and peaceable possession of the grantee,
their heirs and assigns, against all and every person or persons lawfully claiming the whole or any part thereof, by, through or
under the grantor, except: 2022 taxes due and payable in the year 2023. Subject to Statutory Exceptions as
defined in CRS § 38-30-113(5).

The singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all
genders.

IN WITNESS WHEREOF, the grantor has executed this deed on the date set forth above.

RENAISSANCE HANDYMAN LLC, A COLORADO LIMITED LIABILITY COMPANY

BY: [Signature]
ERIK R. KILL, MEMBER

STATE OF COLORADO
COUNTY OF LA PLATA



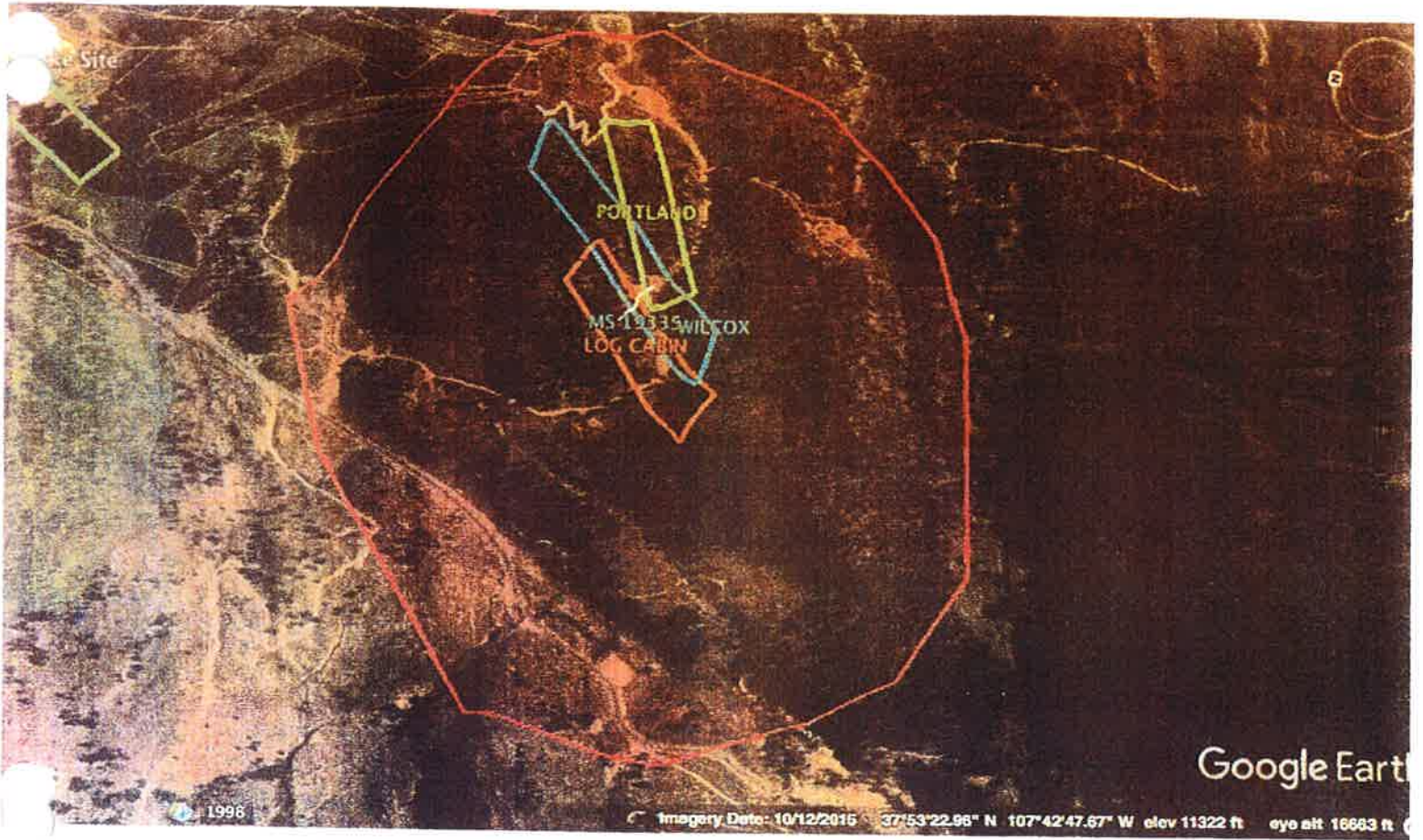
The foregoing instrument was acknowledged before me this 19TH Day of January, 2022

By: ERIK R. KILL, MEMBER OF RENAISSANCE HANDYMAN LLC, A COLORADO LIMITED LIABILITY
COMPANY

My commission expires: July 21, 2025

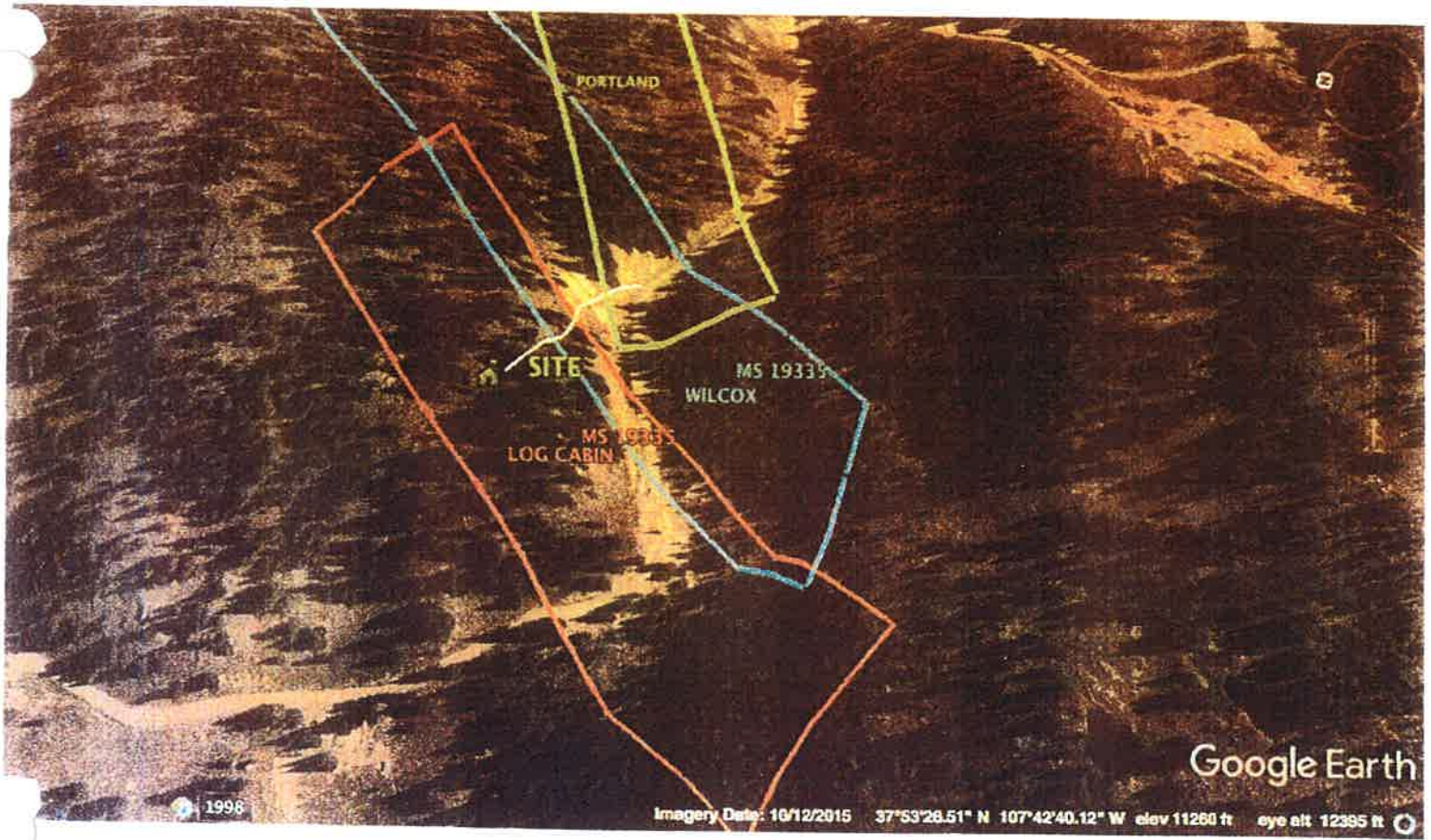
RENEE JO FRIEDENBERG
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20174030807
MY COMMISSION EXPIRES 07/21/2025

Witness my hand and official seal
[Signature]
Notary Public

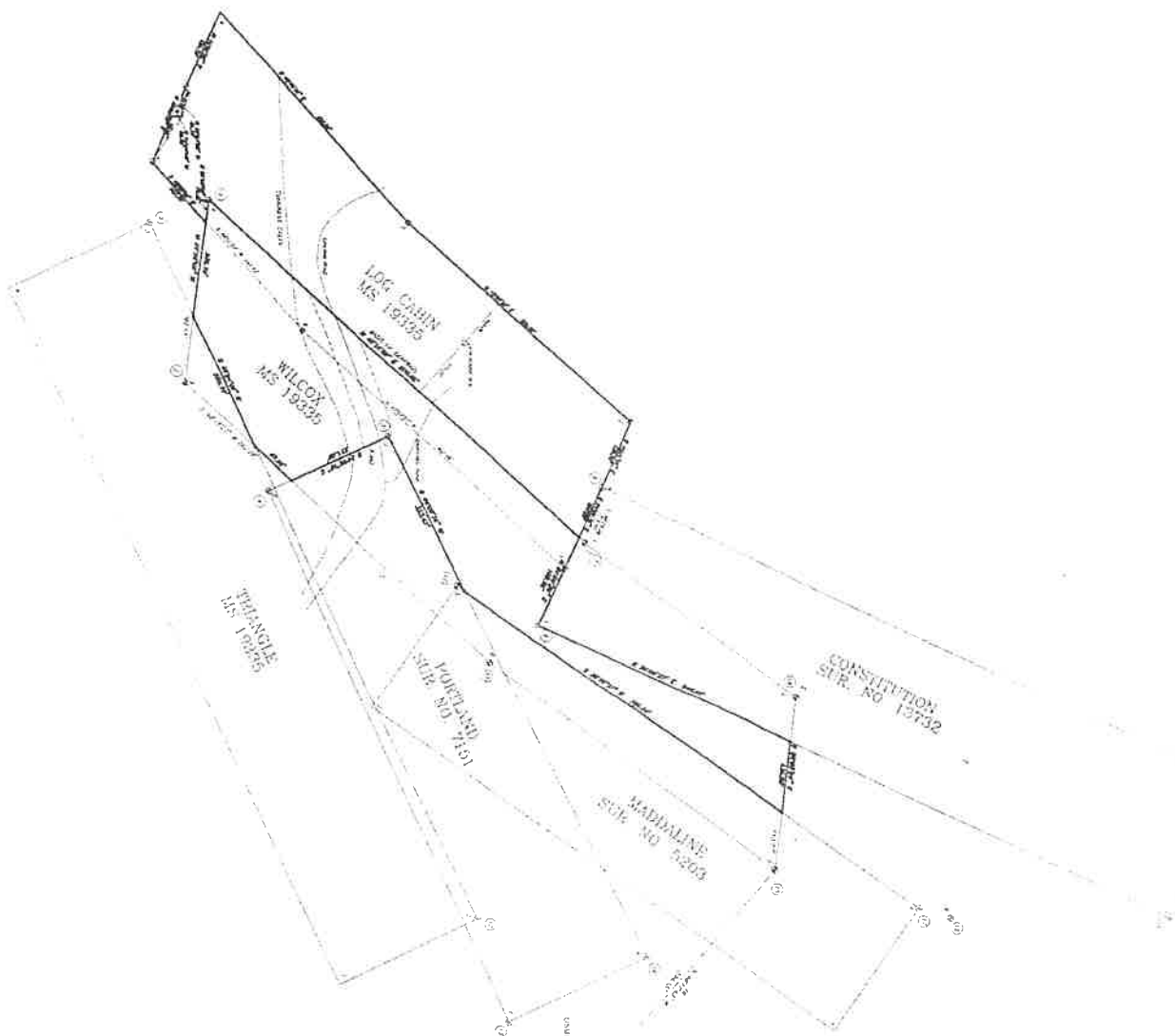


Map showing 1500' from the Log Cabin Claim

Log Cabin Site Location



- white line is ~~Proposed~~ ^{Installed} Driveway
- Cabin Site is indicated



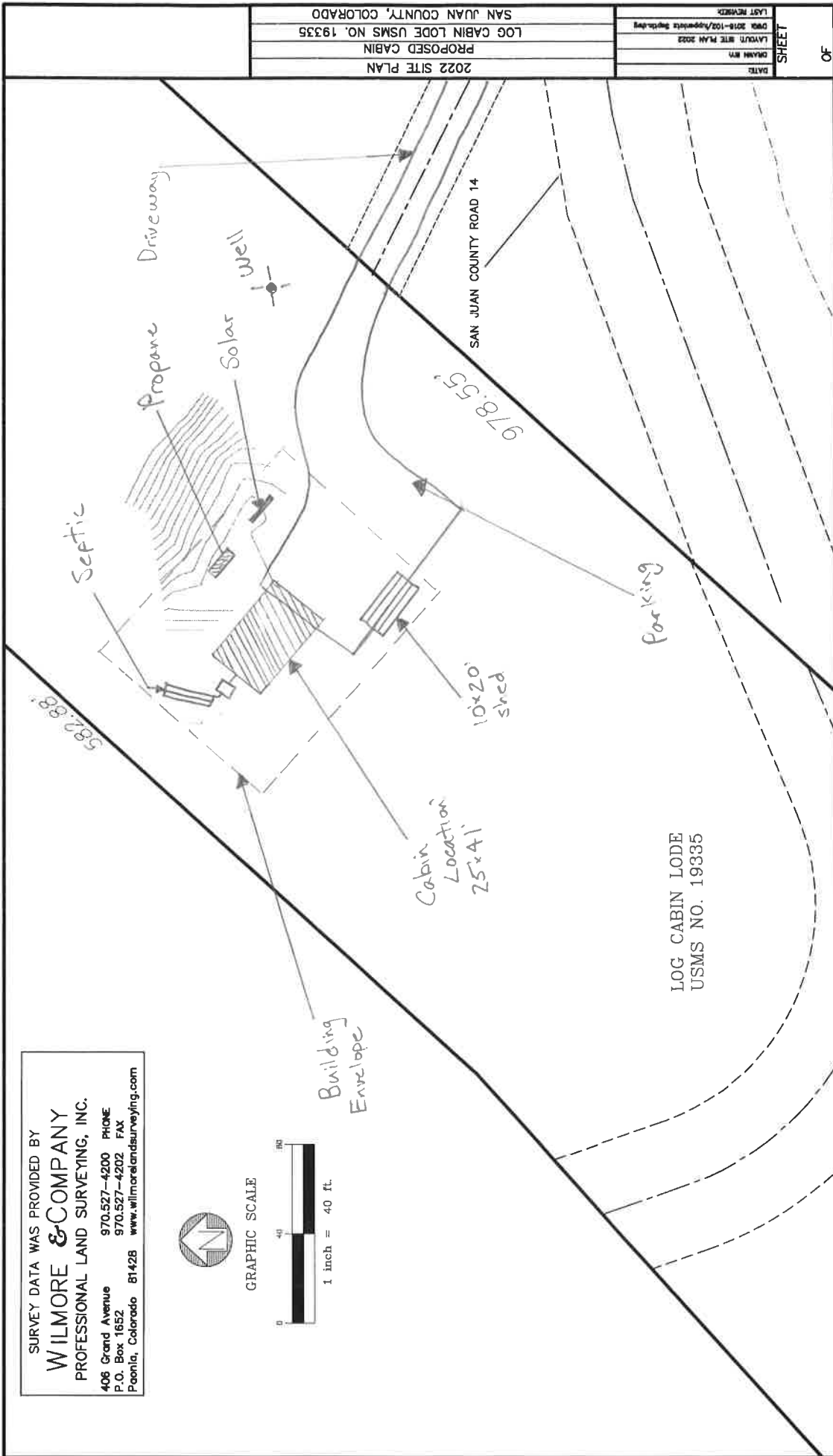
SOURCE OF DATA
 FROM A SURVEY MADE BY JOHN H. HARRIS
 AND A. L. HARRIS, JUNIOR, IN 1911
 AND A SURVEY MADE BY JOHN H. HARRIS
 AND A. L. HARRIS, JUNIOR, IN 1911

NO.	DESCRIPTION	REMARKS
1	1/2 AC. 1/4 SEC. 10, T. 10 N., R. 10 W., S. 10 E.	...
2	1/2 AC. 1/4 SEC. 10, T. 10 N., R. 10 W., S. 10 E.	...
3	1/2 AC. 1/4 SEC. 10, T. 10 N., R. 10 W., S. 10 E.	...
4	1/2 AC. 1/4 SEC. 10, T. 10 N., R. 10 W., S. 10 E.	...
5	1/2 AC. 1/4 SEC. 10, T. 10 N., R. 10 W., S. 10 E.	...
6	1/2 AC. 1/4 SEC. 10, T. 10 N., R. 10 W., S. 10 E.	...
7	1/2 AC. 1/4 SEC. 10, T. 10 N., R. 10 W., S. 10 E.	...
8	1/2 AC. 1/4 SEC. 10, T. 10 N., R. 10 W., S. 10 E.	...
9	1/2 AC. 1/4 SEC. 10, T. 10 N., R. 10 W., S. 10 E.	...
10	1/2 AC. 1/4 SEC. 10, T. 10 N., R. 10 W., S. 10 E.	...
11	1/2 AC. 1/4 SEC. 10, T. 10 N., R. 10 W., S. 10 E.	...
12	1/2 AC. 1/4 SEC. 10, T. 10 N., R. 10 W., S. 10 E.	...
13	1/2 AC. 1/4 SEC. 10, T. 10 N., R. 10 W., S. 10 E.	...
14	1/2 AC. 1/4 SEC. 10, T. 10 N., R. 10 W., S. 10 E.	...
15	1/2 AC. 1/4 SEC. 10, T. 10 N., R. 10 W., S. 10 E.	...

SURVEY DATA WAS PROVIDED BY
WILMORE & COMPANY
 PROFESSIONAL LAND SURVEYING, INC.
 406 Grand Avenue 970.527-4200 PHONE
 P.O. Box 1652 970.527-4202 FAX
 Paonia, Colorado 81428 www.wilmorelandsurveying.com



GRAPHIC SCALE



DATE:	
DRAWN BY:	
LAYOUT SITE PLAN 2022	
DATE: 2022-10-10/updates included	
LAST REVISION:	
2022 SITE PLAN PROPOSED CABIN	
LOG CABIN LODGE USMS NO. 19335	
SAN JUAN COUNTY, COLORADO	

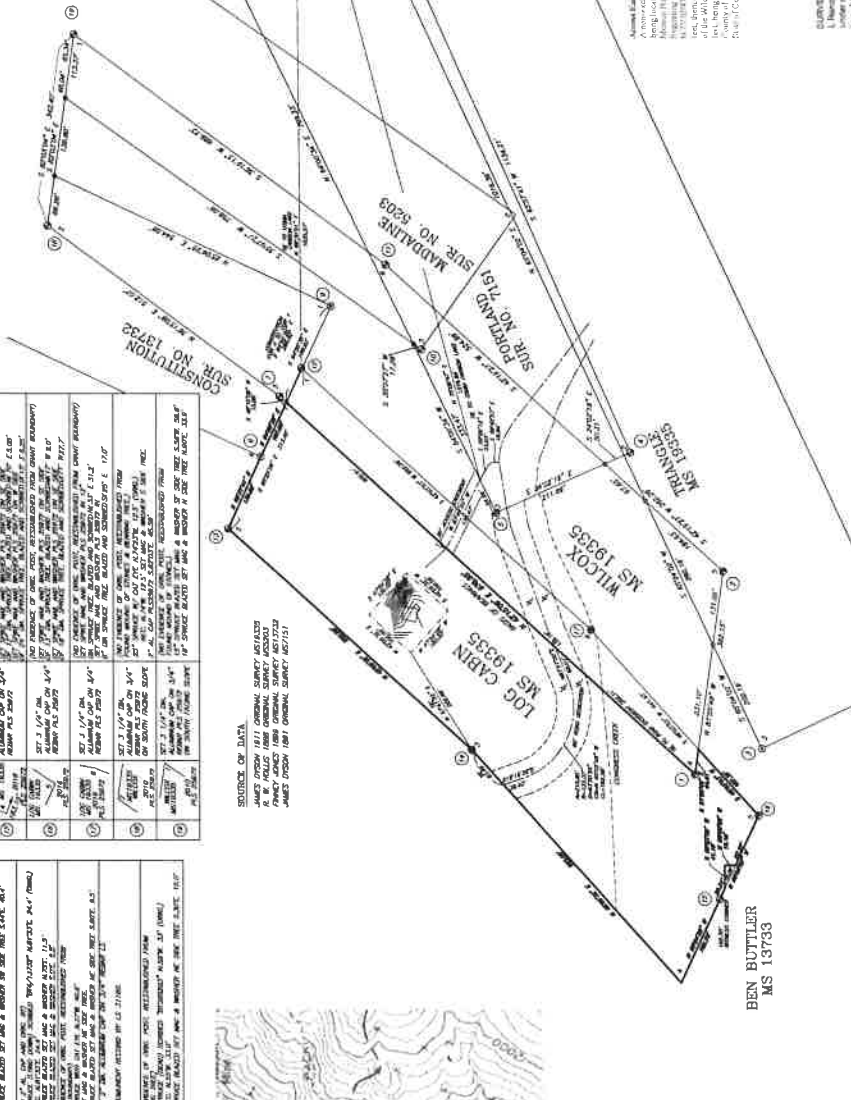
SHEET
OF

RECORD OF SURVEY OF LOG CABIN MINERAL SURVEY NO. 19335 EMBRACING A PORTION OF SECTIONS 14 AND 21, 42N., R.4W. OF THE NEW MEXICO PRINCIPAL MERIDIAN SAN JUAN COUNTY, COLORADO

MARKER	DESCRIPTION
(1)	577.3 1/4" ON ALUMINUM CAP ON 3/4" IRON PIPE DRIVE
(2)	577.3 1/4" ON ALUMINUM CAP ON 3/4" IRON PIPE DRIVE
(3)	577.3 1/4" ON ALUMINUM CAP ON 3/4" IRON PIPE DRIVE
(4)	577.3 1/4" ON ALUMINUM CAP ON 3/4" IRON PIPE DRIVE
(5)	577.3 1/4" ON ALUMINUM CAP ON 3/4" IRON PIPE DRIVE

MARKER	DESCRIPTION
(6)	577.3 1/4" ON ALUMINUM CAP ON 3/4" IRON PIPE DRIVE
(7)	577.3 1/4" ON ALUMINUM CAP ON 3/4" IRON PIPE DRIVE
(8)	577.3 1/4" ON ALUMINUM CAP ON 3/4" IRON PIPE DRIVE
(9)	577.3 1/4" ON ALUMINUM CAP ON 3/4" IRON PIPE DRIVE
(10)	577.3 1/4" ON ALUMINUM CAP ON 3/4" IRON PIPE DRIVE
(11)	577.3 1/4" ON ALUMINUM CAP ON 3/4" IRON PIPE DRIVE

SOURCE OF DATA
 JAMES GYDON 1911 ORIGINAL SURVEY DISTRICT
 PATENT JAMES 1898 ORIGINAL SURVEY DISTRICT
 JAMES GYDON 1891 ORIGINAL SURVEY DISTRICT



STATEMENT OF BOUNDARY SURVEYOR
 I, the undersigned, being duly sworn, depose and say that I am the duly qualified and licensed Surveyor of San Juan County, Colorado, and that I am the author of the above survey, and that the same was made in accordance with the provisions of the laws of this State, and that the same is a true and correct copy of the original survey, and that the same was made on this day of _____ A.D. 1921.

STATE OF COLORADO
 COUNTY OF _____
 I, _____, Clerk of the County of _____, do hereby certify that the above is a true and correct copy of the original survey, and that the same was made on this day of _____ A.D. 1921.

DEED OF COUNTY COMMISSIONERS APPROVED
 The within plat of RECORD OF SURVEY OF LOG CABIN MINERAL SURVEY NO. 19335, in and to San Juan County, Colorado, was approved and recorded on this day of _____ A.D. 1921, by the County Commissioners of said County, to-wit:

 County Commissioner

 County Commissioner

 County Commissioner

SAN JUAN COUNTY CLERK AND REGISTER RECEIVED
 This plat was accepted for filing in the office of the Clerk and Register of San Juan County, Colorado, on this _____ day of _____ A.D. 1921.
 Registration Number _____

 County Clerk

DIRECTOR'S CERTIFICATION
 A true and correct copy of the original survey, as shown on the above plat, has been filed in the office of the Director of the Geological and Mineral Resources of the State of Colorado, and that the same is a true and correct copy of the original survey, and that the same was made in accordance with the provisions of the laws of this State, and that the same is a true and correct copy of the original survey, and that the same was made on this day of _____ A.D. 1921.



RECORD OF SURVEY OF LOG CABIN MINERAL SURVEY NO. 19335
 EMBRACING A PORTION OF SECTIONS 14 AND 21,
 T-42N., R-4W. OF THE NEW MEXICO PRINCIPAL MERIDIAN
 SAN JUAN COUNTY, COLORADO

19 DECEMBER 1921

WILMORE & COMPANY
 PROFESSIONAL LAND SURVEYING, INC.
 1012 14th Street
 Denver, Colorado

BEN BUTLER
 MS 13733

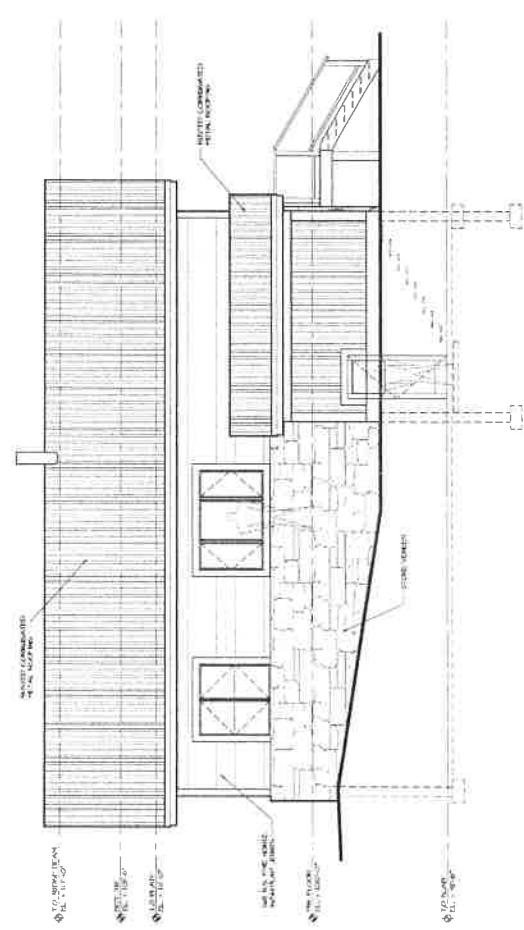
TYPICAL LEGEND

- ① Section 14 and 21
- ② Survey of 1911
- ③ Survey of 1891
- ④ Survey of 1898
- ⑤ Survey of 1911
- ⑥ Survey of 1891
- ⑦ Survey of 1898
- ⑧ Survey of 1911
- ⑨ Survey of 1891
- ⑩ Survey of 1898
- ⑪ Survey of 1911
- ⑫ Survey of 1891
- ⑬ Survey of 1898
- ⑭ Survey of 1911
- ⑮ Survey of 1891
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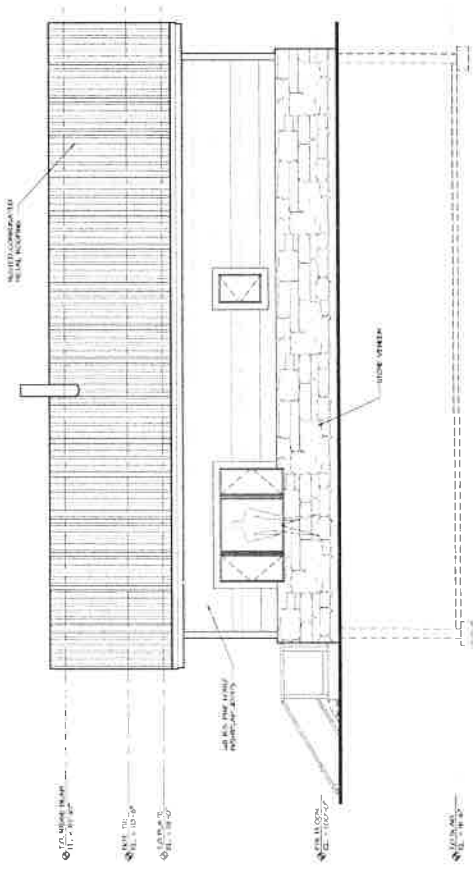
BASIS OF BEARINGS:
 THE BEARINGS AND DISTANCES ON THIS SURVEY ARE BASED UPON THE ASTRONOMICAL MERIDIAN

SCALE 1" = 100 U.S. SURVEY FEET

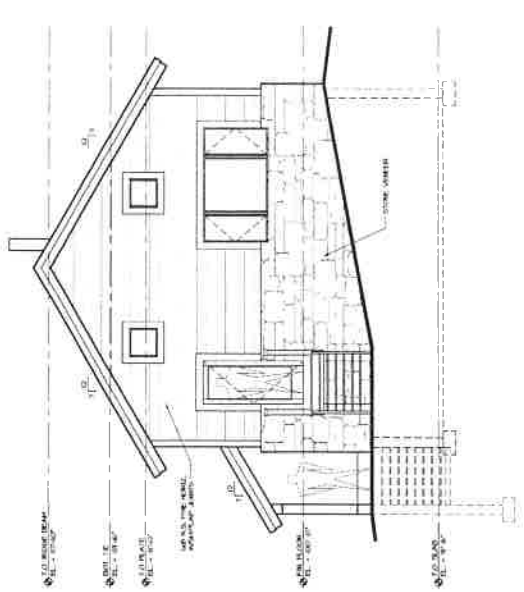
NOT FOR CONSTRUCTION



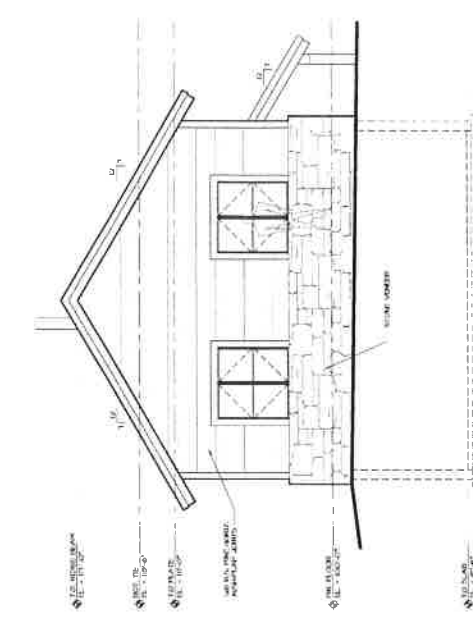
ELEVATION - LEFT
SCALE: 1/4" = 1'-0"



ELEVATION - RIGHT
SCALE: 1/4" = 1'-0"



ELEVATION - FRONT
SCALE: 1/4" = 1'-0"

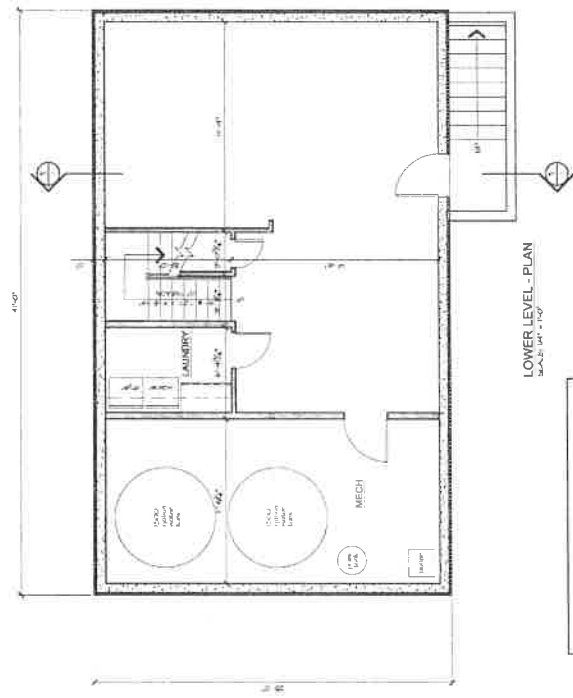
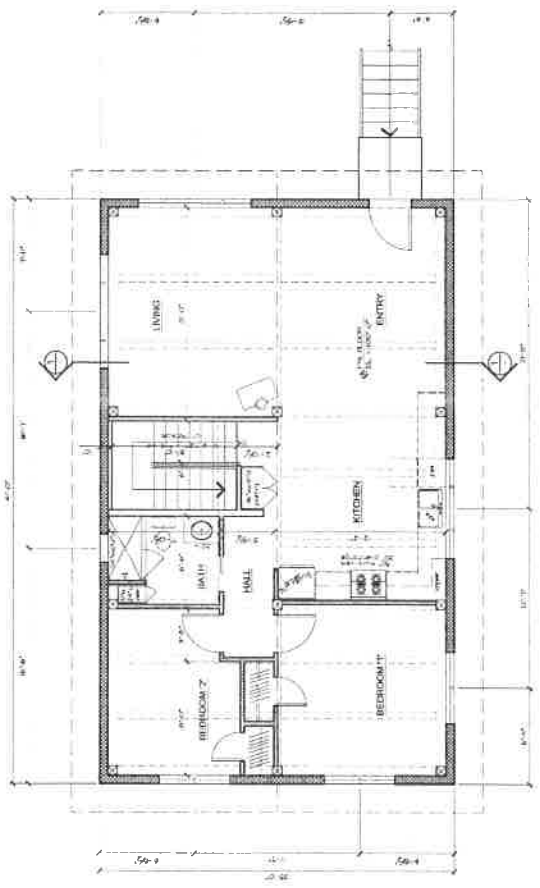


ELEVATION - REAR
SCALE: 1/4" = 1'-0"

THIS SET OF ARCHITECTURAL DRAWINGS IS THE PROPERTY OF LUPPENLATZ DESIGN ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO PART OF THIS SET OF DRAWINGS IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF LUPPENLATZ DESIGN ARCHITECTS. IN THE EVENT OF A DISPUTE OVER THE CONTENTS OF THESE DRAWINGS, THE USER AGREES TO WAIVE ANY AND ALL RIGHTS TO A JURY TRIAL AND TO ACCEPT BINDING ARBITRATION. THE USER AGREES TO WAIVE ANY AND ALL RIGHTS TO A JURY TRIAL AND TO ACCEPT BINDING ARBITRATION.

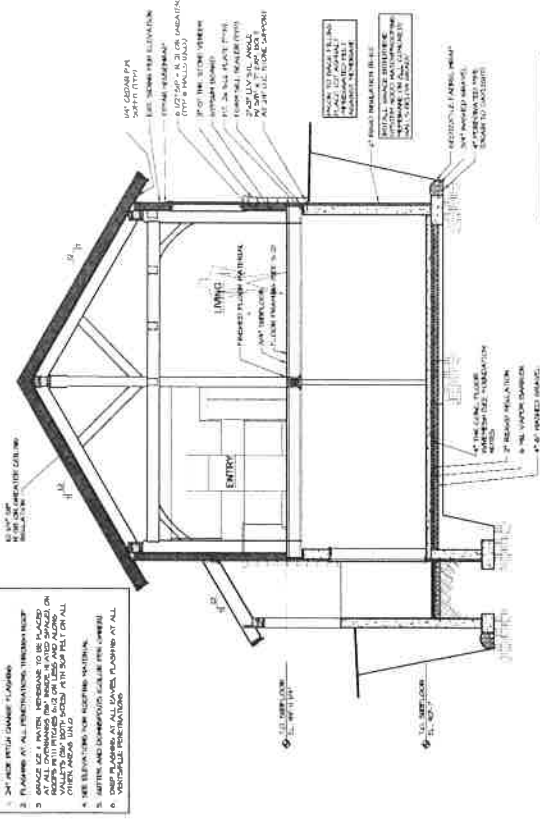
PRELIMINARY ONLY

NOT FOR CONSTRUCTION

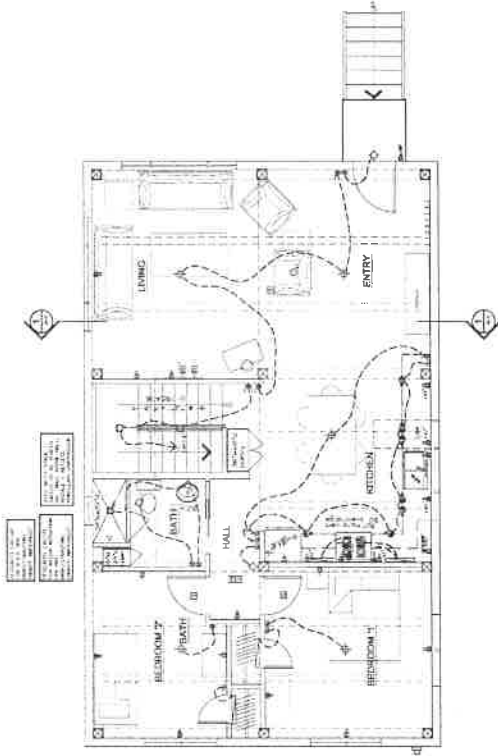


SQ. FOOTAGE CALCULATIONS

MAIN LEVEL	2,412.00
LOWER LEVEL	1,012.00
TOTAL	3,424.00



NOT FOR CONSTRUCTION

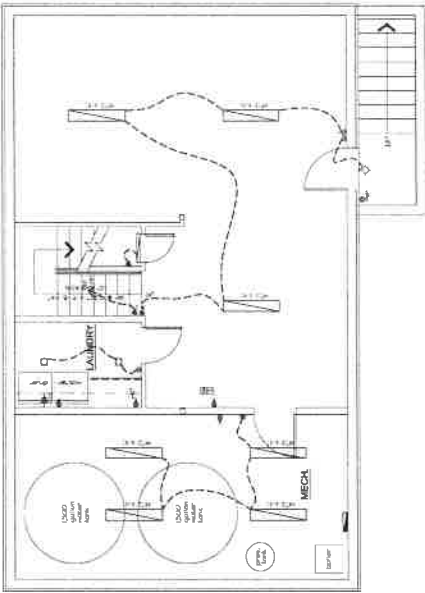


MAIN LEVEL - ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"

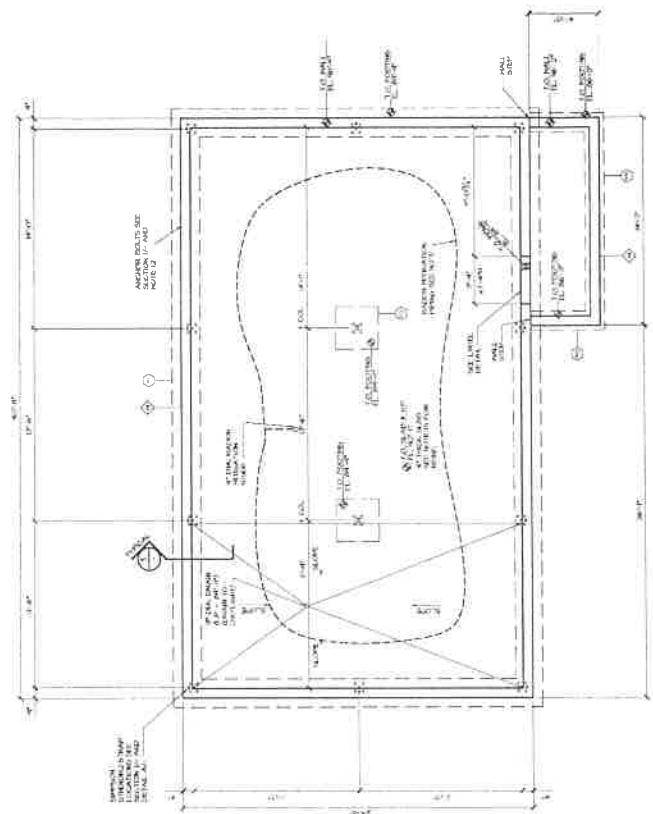
- ELECTRICAL NOTES:**
- REFER TO ANY NOTES ON THE ARCHITECTURAL DRAWINGS FOR INFORMATION CONCERNING DIMENSIONS, MATERIALS, AND SPECIFICATIONS AND ALL DIMENSIONS AND SPECIFICATIONS REFER TO CENTERLINE UNLESS NOTED OTHERWISE.
 - ELECTRICAL SYMBOLS SHALL CORRESPOND TO THE ELECTRICAL SYMBOLS LISTED IN THE LEGEND.
 - CONTRACTOR TO COORDINATE WITH MECHANICAL CONTRACTORS AND MECHANICAL CONTRACTORS TO PROVIDE SUPPORT FOR ALL MECHANICAL EQUIPMENT.
 - FIRE RATED SHALL BE APPLIED AT ALL PENETRATIONS THROUGH EXISTING AND NEW WALLS AND CEILING.
 - ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL AND LOCAL ELECTRICAL CODES AND REGULATIONS.
 - ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL AND LOCAL ELECTRICAL CODES AND REGULATIONS.
 - CONTRACTOR TO PROVIDE ALL NECESSARY ELECTRICAL MATERIALS AND LABOR.
 - CONTRACTOR TO PROVIDE ALL NECESSARY ELECTRICAL MATERIALS AND LABOR.
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 - CONTRACTOR TO PROVIDE ALL NECESSARY ELECTRICAL MATERIALS AND LABOR.
 - CONTRACTOR TO PROVIDE ALL NECESSARY ELECTRICAL MATERIALS AND LABOR.

LEGEND

(Symbol)	120V, 15AMP RECEPTACLE	(Symbol)	20AMP, 120V RECEPTACLE
(Symbol)	120V, 20AMP RECEPTACLE	(Symbol)	30AMP, 120V RECEPTACLE
(Symbol)	120V, 30AMP RECEPTACLE	(Symbol)	40AMP, 120V RECEPTACLE
(Symbol)	120V, 40AMP RECEPTACLE	(Symbol)	50AMP, 120V RECEPTACLE
(Symbol)	120V, 50AMP RECEPTACLE	(Symbol)	60AMP, 120V RECEPTACLE
(Symbol)	120V, 60AMP RECEPTACLE	(Symbol)	70AMP, 120V RECEPTACLE
(Symbol)	120V, 70AMP RECEPTACLE	(Symbol)	80AMP, 120V RECEPTACLE
(Symbol)	120V, 80AMP RECEPTACLE	(Symbol)	90AMP, 120V RECEPTACLE
(Symbol)	120V, 90AMP RECEPTACLE	(Symbol)	100AMP, 120V RECEPTACLE
(Symbol)	120V, 100AMP RECEPTACLE	(Symbol)	110AMP, 120V RECEPTACLE
(Symbol)	120V, 110AMP RECEPTACLE	(Symbol)	120AMP, 120V RECEPTACLE
(Symbol)	120V, 120AMP RECEPTACLE	(Symbol)	130AMP, 120V RECEPTACLE
(Symbol)	120V, 130AMP RECEPTACLE	(Symbol)	140AMP, 120V RECEPTACLE
(Symbol)	120V, 140AMP RECEPTACLE	(Symbol)	150AMP, 120V RECEPTACLE
(Symbol)	120V, 150AMP RECEPTACLE	(Symbol)	160AMP, 120V RECEPTACLE
(Symbol)	120V, 160AMP RECEPTACLE	(Symbol)	170AMP, 120V RECEPTACLE
(Symbol)	120V, 170AMP RECEPTACLE	(Symbol)	180AMP, 120V RECEPTACLE
(Symbol)	120V, 180AMP RECEPTACLE	(Symbol)	190AMP, 120V RECEPTACLE
(Symbol)	120V, 190AMP RECEPTACLE	(Symbol)	200AMP, 120V RECEPTACLE
(Symbol)	120V, 200AMP RECEPTACLE	(Symbol)	210AMP, 120V RECEPTACLE
(Symbol)	120V, 210AMP RECEPTACLE	(Symbol)	220AMP, 120V RECEPTACLE
(Symbol)	120V, 220AMP RECEPTACLE	(Symbol)	230AMP, 120V RECEPTACLE
(Symbol)	120V, 230AMP RECEPTACLE	(Symbol)	240AMP, 120V RECEPTACLE
(Symbol)	120V, 240AMP RECEPTACLE	(Symbol)	250AMP, 120V RECEPTACLE
(Symbol)	120V, 250AMP RECEPTACLE	(Symbol)	260AMP, 120V RECEPTACLE
(Symbol)	120V, 260AMP RECEPTACLE	(Symbol)	270AMP, 120V RECEPTACLE
(Symbol)	120V, 270AMP RECEPTACLE	(Symbol)	280AMP, 120V RECEPTACLE
(Symbol)	120V, 280AMP RECEPTACLE	(Symbol)	290AMP, 120V RECEPTACLE
(Symbol)	120V, 290AMP RECEPTACLE	(Symbol)	300AMP, 120V RECEPTACLE
(Symbol)	120V, 300AMP RECEPTACLE	(Symbol)	310AMP, 120V RECEPTACLE
(Symbol)	120V, 310AMP RECEPTACLE	(Symbol)	320AMP, 120V RECEPTACLE
(Symbol)	120V, 320AMP RECEPTACLE	(Symbol)	330AMP, 120V RECEPTACLE
(Symbol)	120V, 330AMP RECEPTACLE	(Symbol)	340AMP, 120V RECEPTACLE
(Symbol)	120V, 340AMP RECEPTACLE	(Symbol)	350AMP, 120V RECEPTACLE
(Symbol)	120V, 350AMP RECEPTACLE	(Symbol)	360AMP, 120V RECEPTACLE
(Symbol)	120V, 360AMP RECEPTACLE	(Symbol)	370AMP, 120V RECEPTACLE
(Symbol)	120V, 370AMP RECEPTACLE	(Symbol)	380AMP, 120V RECEPTACLE
(Symbol)	120V, 380AMP RECEPTACLE	(Symbol)	390AMP, 120V RECEPTACLE
(Symbol)	120V, 390AMP RECEPTACLE	(Symbol)	400AMP, 120V RECEPTACLE
(Symbol)	120V, 400AMP RECEPTACLE	(Symbol)	410AMP, 120V RECEPTACLE
(Symbol)	120V, 410AMP RECEPTACLE	(Symbol)	420AMP, 120V RECEPTACLE
(Symbol)	120V, 420AMP RECEPTACLE	(Symbol)	430AMP, 120V RECEPTACLE
(Symbol)	120V, 430AMP RECEPTACLE	(Symbol)	440AMP, 120V RECEPTACLE
(Symbol)	120V, 440AMP RECEPTACLE	(Symbol)	450AMP, 120V RECEPTACLE
(Symbol)	120V, 450AMP RECEPTACLE	(Symbol)	460AMP, 120V RECEPTACLE
(Symbol)	120V, 460AMP RECEPTACLE	(Symbol)	470AMP, 120V RECEPTACLE
(Symbol)	120V, 470AMP RECEPTACLE	(Symbol)	480AMP, 120V RECEPTACLE
(Symbol)	120V, 480AMP RECEPTACLE	(Symbol)	490AMP, 120V RECEPTACLE
(Symbol)	120V, 490AMP RECEPTACLE	(Symbol)	500AMP, 120V RECEPTACLE



LOWER LEVEL - ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"



FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

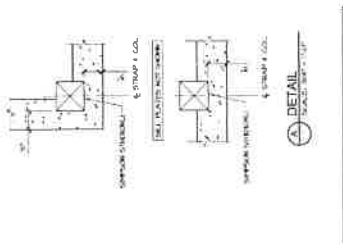
FOOTING SCHEDULE	
SIZE	CONCRETE
1	24" x 12"
2	36" x 24" x 12"
3	48" x 24" x 12"
4	60" x 24" x 12"

WALL SCHEDULE	
SIZE	CONCRETE
1	8" x 8" x 16"
2	12" x 8" x 16"
3	16" x 8" x 16"
4	20" x 8" x 16"

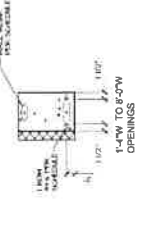
DESIGN CRITERIA: 2008 INTERNATIONAL RESIDENTIAL CODE (IRC)
LOADING CRITERIA: 2008 INTERNATIONAL RESIDENTIAL CODE (IRC)
CONCRETE: 4000 PSI STRENGTH, 28 DAY CURE, TYPE I/II PORTLAND CEMENT, 3% AIR ENTRAINMENT, 4% SLUMP, 4" MAX. AGGREGATE SIZE, 1" MAX. SAND, 1" MAX. GRAVEL, 1" MAX. CRACK WIDTH, 0.0015 INCHES PER INCH, 1" MAX. CRACK WIDTH, 0.0015 INCHES PER INCH, 1" MAX. CRACK WIDTH, 0.0015 INCHES PER INCH.

FOUNDATION CRITERIA: 2008 INTERNATIONAL RESIDENTIAL CODE (IRC)
LOADING CRITERIA: 2008 INTERNATIONAL RESIDENTIAL CODE (IRC)
CONCRETE: 4000 PSI STRENGTH, 28 DAY CURE, TYPE I/II PORTLAND CEMENT, 3% AIR ENTRAINMENT, 4% SLUMP, 4" MAX. AGGREGATE SIZE, 1" MAX. SAND, 1" MAX. GRAVEL, 1" MAX. CRACK WIDTH, 0.0015 INCHES PER INCH, 1" MAX. CRACK WIDTH, 0.0015 INCHES PER INCH, 1" MAX. CRACK WIDTH, 0.0015 INCHES PER INCH.

MADE-IN-AMERICA SYSTEM:
 ALL CONCRETE SHALL BE MADE IN AMERICA.
 ALL REINFORCING STEEL SHALL BE MADE IN AMERICA.
 ALL WOOD SHALL BE MADE IN AMERICA.
 ALL METALS SHALL BE MADE IN AMERICA.
 ALL GLASS SHALL BE MADE IN AMERICA.
 ALL INSULATION SHALL BE MADE IN AMERICA.
 ALL PAINTS SHALL BE MADE IN AMERICA.
 ALL FINISHES SHALL BE MADE IN AMERICA.
 ALL LIGHTING SHALL BE MADE IN AMERICA.
 ALL APPLIANCES SHALL BE MADE IN AMERICA.
 ALL FURNITURE SHALL BE MADE IN AMERICA.
 ALL DECORATIVE ELEMENTS SHALL BE MADE IN AMERICA.



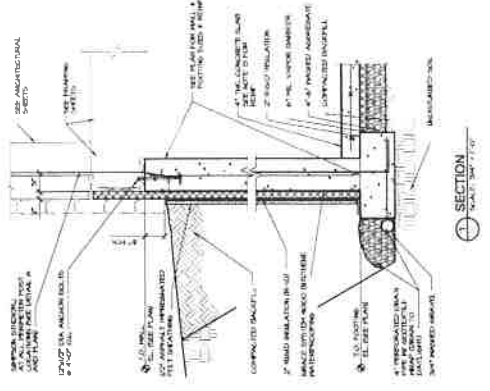
NOTE: STRUCTURAL FRAMING MEMBERS AND ARCHITECTURAL ELEMENTS ARE SHOWN FOR INFORMATION ONLY. REFER TO FRAMING AND ARCHITECTURAL SHEETS FOR MORE INFORMATION.



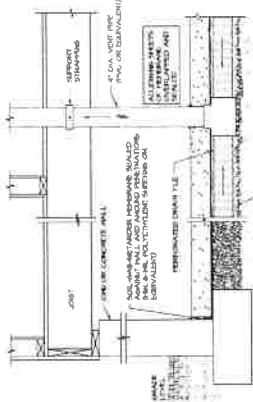
LINTEL SCHEDULE	
SIZE	CONCRETE
1	12" x 12" x 12"
2	16" x 12" x 12"
3	20" x 12" x 12"
4	24" x 12" x 12"

CONCRETE NOTES:

- ALL CONCRETE SHALL BE MADE IN AMERICA.
- ALL REINFORCING STEEL SHALL BE MADE IN AMERICA.
- ALL WOOD SHALL BE MADE IN AMERICA.
- ALL METALS SHALL BE MADE IN AMERICA.
- ALL GLASS SHALL BE MADE IN AMERICA.
- ALL INSULATION SHALL BE MADE IN AMERICA.
- ALL PAINTS SHALL BE MADE IN AMERICA.
- ALL FINISHES SHALL BE MADE IN AMERICA.
- ALL LIGHTING SHALL BE MADE IN AMERICA.
- ALL APPLIANCES SHALL BE MADE IN AMERICA.
- ALL FURNITURE SHALL BE MADE IN AMERICA.
- ALL DECORATIVE ELEMENTS SHALL BE MADE IN AMERICA.



SECTION
SCALE: 1/8" = 1'-0"



SUB-SLAB DEPRESSURIZATION CONTROL SYSTEM

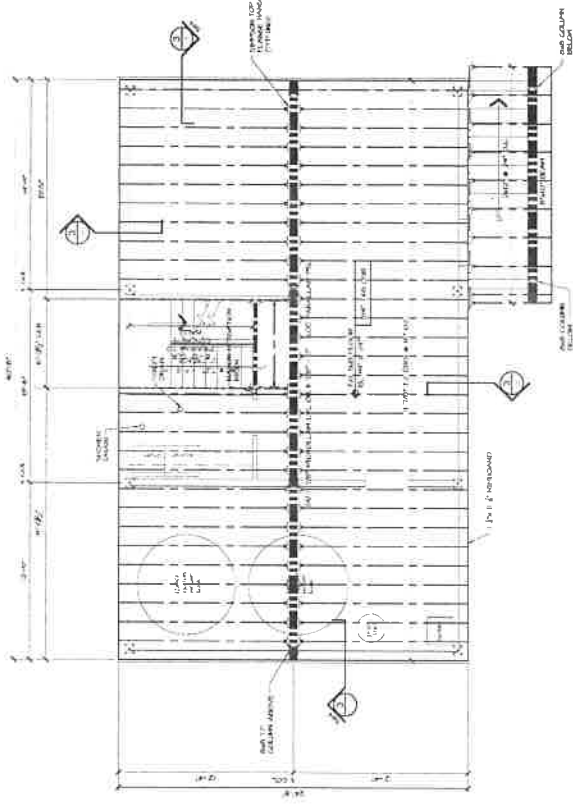
DETAIL
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

- CONCRETE SHALL BE MADE IN AMERICA.
- ALL REINFORCING STEEL SHALL BE MADE IN AMERICA.
- ALL WOOD SHALL BE MADE IN AMERICA.
- ALL METALS SHALL BE MADE IN AMERICA.
- ALL GLASS SHALL BE MADE IN AMERICA.
- ALL INSULATION SHALL BE MADE IN AMERICA.
- ALL PAINTS SHALL BE MADE IN AMERICA.
- ALL FINISHES SHALL BE MADE IN AMERICA.
- ALL LIGHTING SHALL BE MADE IN AMERICA.
- ALL APPLIANCES SHALL BE MADE IN AMERICA.
- ALL FURNITURE SHALL BE MADE IN AMERICA.
- ALL DECORATIVE ELEMENTS SHALL BE MADE IN AMERICA.

PRELIMINARY ONLY

NOT FOR CONSTRUCTION



FRAMING PLAN - MAIN LEVEL FLOOR
SCALE: 1/4" = 1'-0"

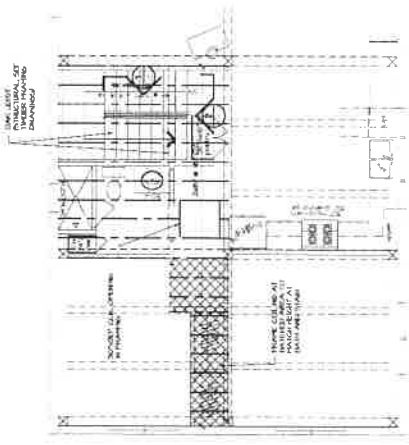
NOTES:
1. JOIST AND TRUSS JOISTS SHALL BE SPACED AS SHOWN.
2. ALL JOIST AND TRUSS JOISTS SHALL BE SPACED AS SHOWN.

DESIGN CRITERIA

- 1. STRUCTURAL DESIGN SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC) AND THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC) AS APPLICABLE TO THIS PROJECT.
- 2. ALL STRUCTURAL MEMBERS SHALL BE DESIGNED FOR DEAD, LIVE, WIND, AND SEISMIC LOADS AS APPLICABLE TO THIS PROJECT.
- 3. ALL STRUCTURAL MEMBERS SHALL BE DESIGNED FOR A DESIGN WIND SPEED OF 115 MPH AS APPLICABLE TO THIS PROJECT.
- 4. ALL STRUCTURAL MEMBERS SHALL BE DESIGNED FOR A DESIGN SEISMIC ZONE OF 0.2 AS APPLICABLE TO THIS PROJECT.
- 5. ALL STRUCTURAL MEMBERS SHALL BE DESIGNED FOR A DESIGN FLOOR LOAD OF 40 PSF AS APPLICABLE TO THIS PROJECT.
- 6. ALL STRUCTURAL MEMBERS SHALL BE DESIGNED FOR A DESIGN ROOF LOAD OF 20 PSF AS APPLICABLE TO THIS PROJECT.
- 7. ALL STRUCTURAL MEMBERS SHALL BE DESIGNED FOR A DESIGN WIND PRESSURE OF 15 PSF AS APPLICABLE TO THIS PROJECT.
- 8. ALL STRUCTURAL MEMBERS SHALL BE DESIGNED FOR A DESIGN WIND SUCTION OF 15 PSF AS APPLICABLE TO THIS PROJECT.
- 9. ALL STRUCTURAL MEMBERS SHALL BE DESIGNED FOR A DESIGN WIND BURNING EFFECT AS APPLICABLE TO THIS PROJECT.
- 10. ALL STRUCTURAL MEMBERS SHALL BE DESIGNED FOR A DESIGN WIND CREEP AS APPLICABLE TO THIS PROJECT.

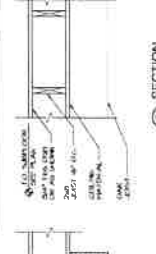
STRUCTURAL WOOD FRAMING

- 1. ALL STRUCTURAL WOOD MEMBERS SHALL BE DESIGNED IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC) AND THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC) AS APPLICABLE TO THIS PROJECT.
- 2. ALL STRUCTURAL WOOD MEMBERS SHALL BE DESIGNED FOR A DESIGN WIND SPEED OF 115 MPH AS APPLICABLE TO THIS PROJECT.
- 3. ALL STRUCTURAL WOOD MEMBERS SHALL BE DESIGNED FOR A DESIGN SEISMIC ZONE OF 0.2 AS APPLICABLE TO THIS PROJECT.
- 4. ALL STRUCTURAL WOOD MEMBERS SHALL BE DESIGNED FOR A DESIGN FLOOR LOAD OF 40 PSF AS APPLICABLE TO THIS PROJECT.
- 5. ALL STRUCTURAL WOOD MEMBERS SHALL BE DESIGNED FOR A DESIGN ROOF LOAD OF 20 PSF AS APPLICABLE TO THIS PROJECT.
- 6. ALL STRUCTURAL WOOD MEMBERS SHALL BE DESIGNED FOR A DESIGN WIND PRESSURE OF 15 PSF AS APPLICABLE TO THIS PROJECT.
- 7. ALL STRUCTURAL WOOD MEMBERS SHALL BE DESIGNED FOR A DESIGN WIND SUCTION OF 15 PSF AS APPLICABLE TO THIS PROJECT.
- 8. ALL STRUCTURAL WOOD MEMBERS SHALL BE DESIGNED FOR A DESIGN WIND BURNING EFFECT AS APPLICABLE TO THIS PROJECT.
- 9. ALL STRUCTURAL WOOD MEMBERS SHALL BE DESIGNED FOR A DESIGN WIND CREEP AS APPLICABLE TO THIS PROJECT.
- 10. ALL STRUCTURAL WOOD MEMBERS SHALL BE DESIGNED FOR A DESIGN WIND DRAINAGE AS APPLICABLE TO THIS PROJECT.

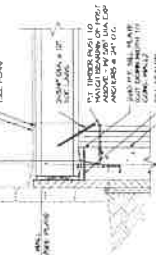


FRAMING PLAN - CEILING
SCALE: 1/4" = 1'-0"

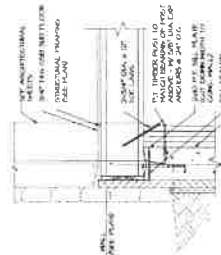
NOTE:
1. ALL DIMENSIONS AND INFORMATION ARE SHOWN FOR INFORMATION ONLY. REFER TO FOUNDATION OR ARCHITECTURAL SHEETS FOR MORE INFORMATION.



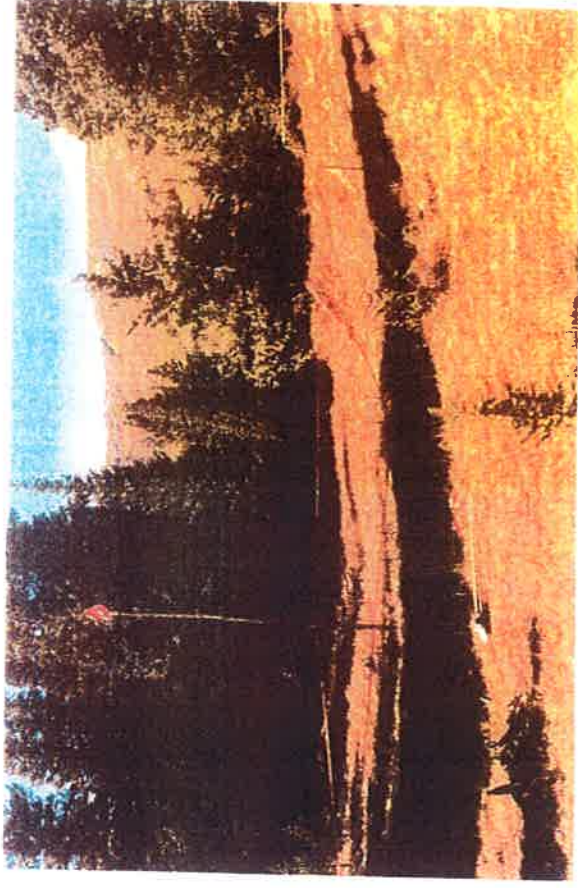
SECTION 1 - TYPICAL FLOOR JOIST
SCALE: 1/4" = 1'-0"



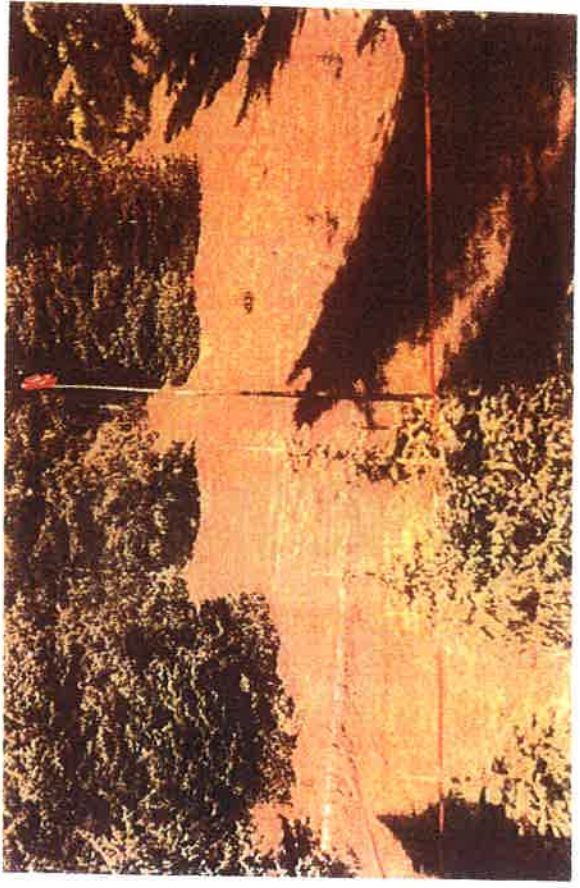
SECTION 2 - TYPICAL TRUSS JOIST
SCALE: 1/4" = 1'-0"



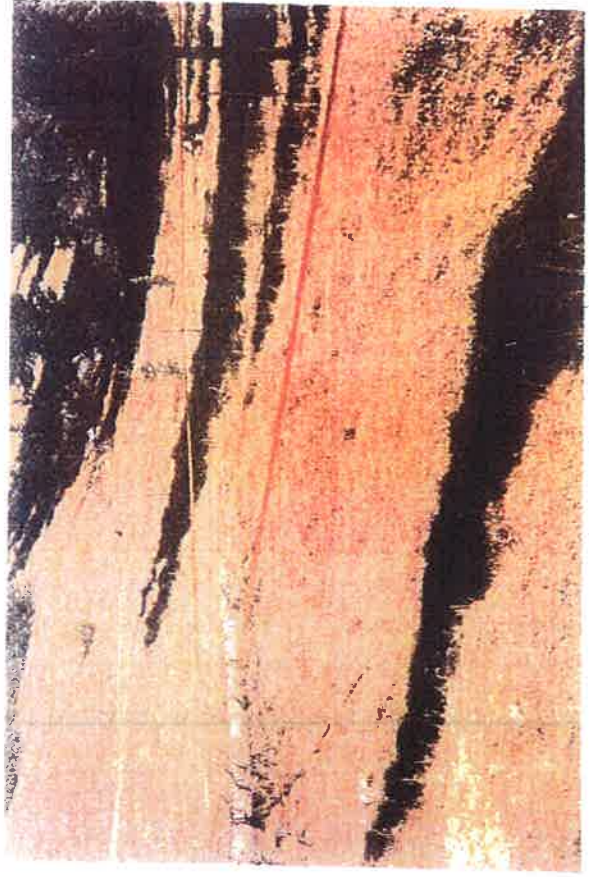
SECTION 3 - TYPICAL WALL JOIST
SCALE: 1/4" = 1'-0"



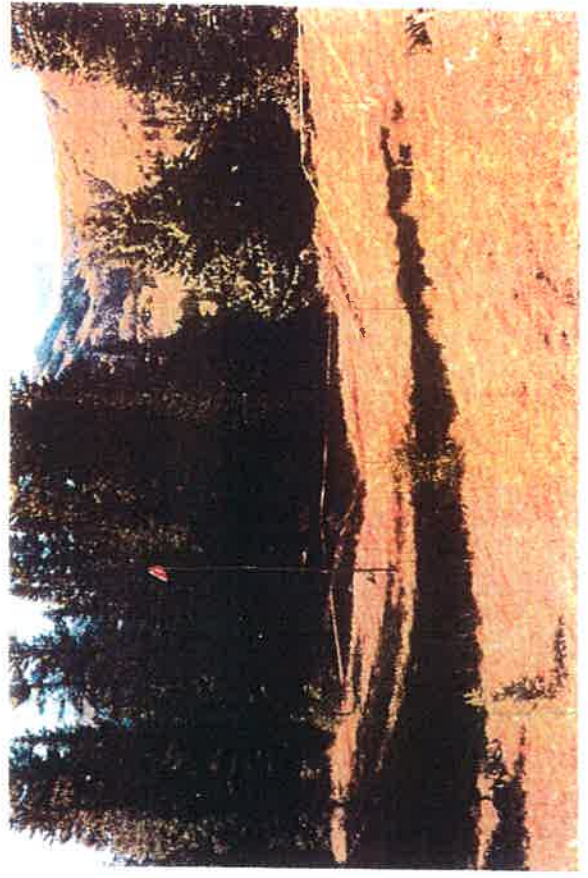
Looking West with Shed of Cabin



Looking North - Turning Slopes up
Cabin of Shed



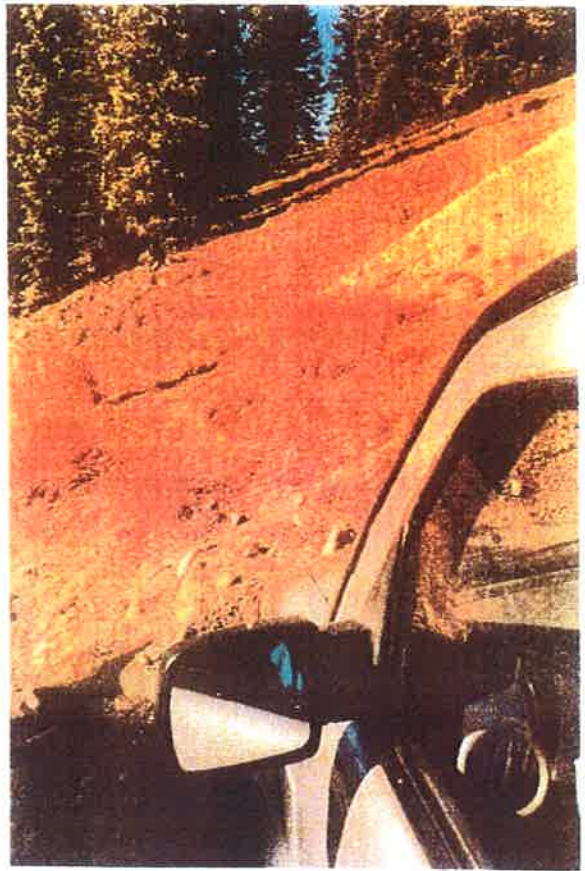
Looking East - Shed of Cabin



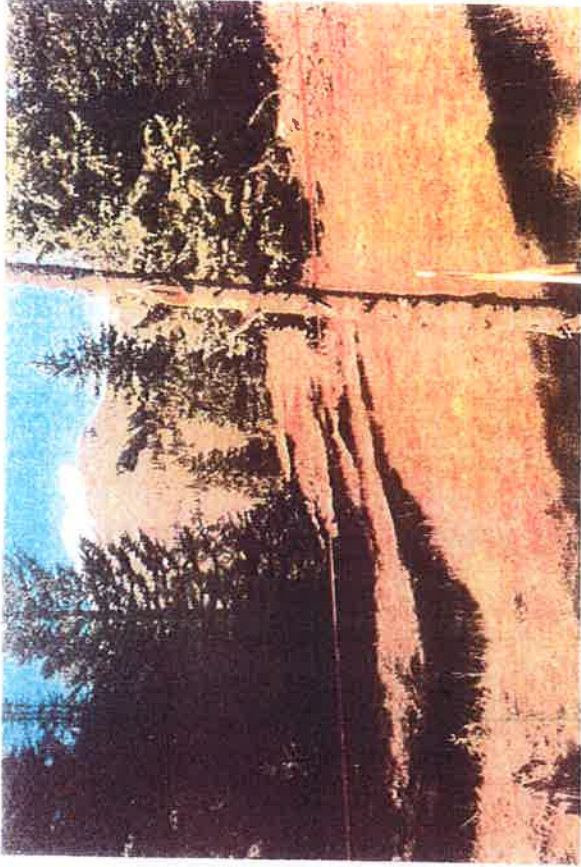
Looking West/North with Shed of
Cabin



Looking Down the
Driveway



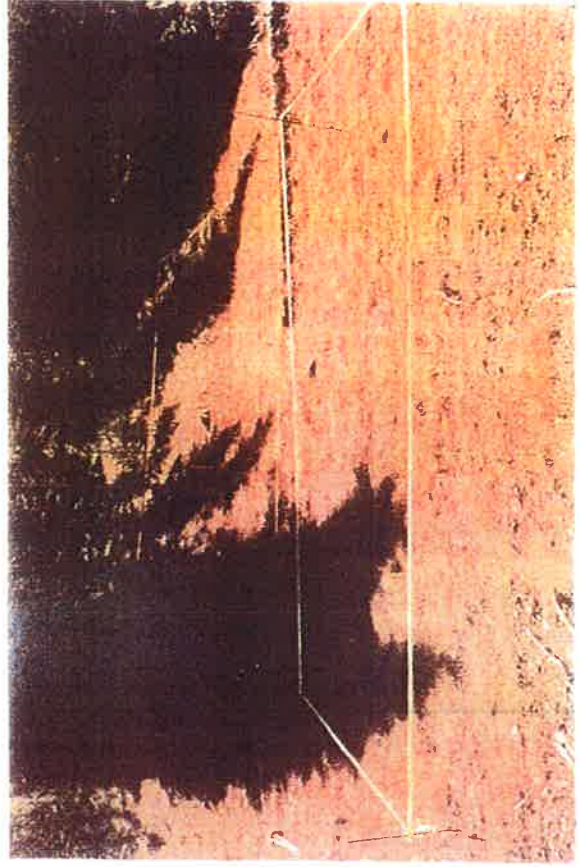
Looking up driveway
from CR 14



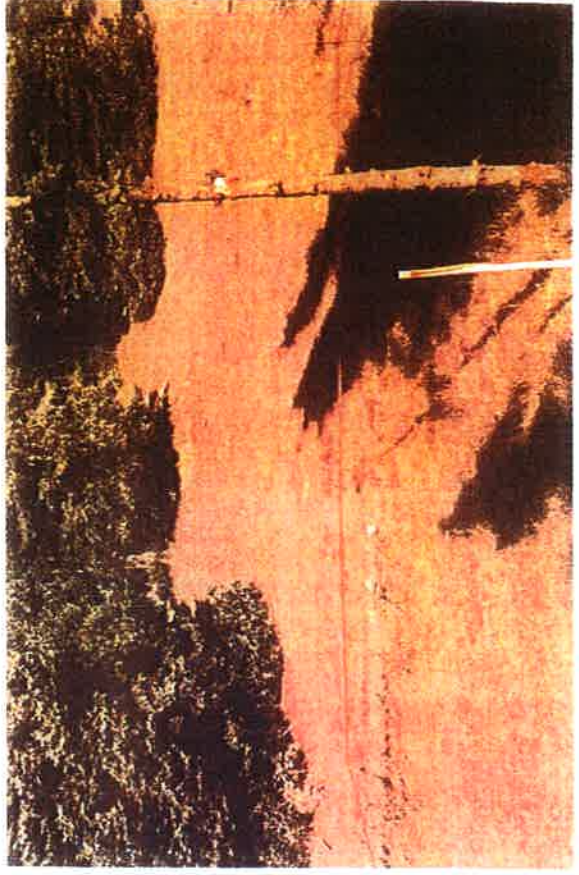
Looking West from Inside the Cabin



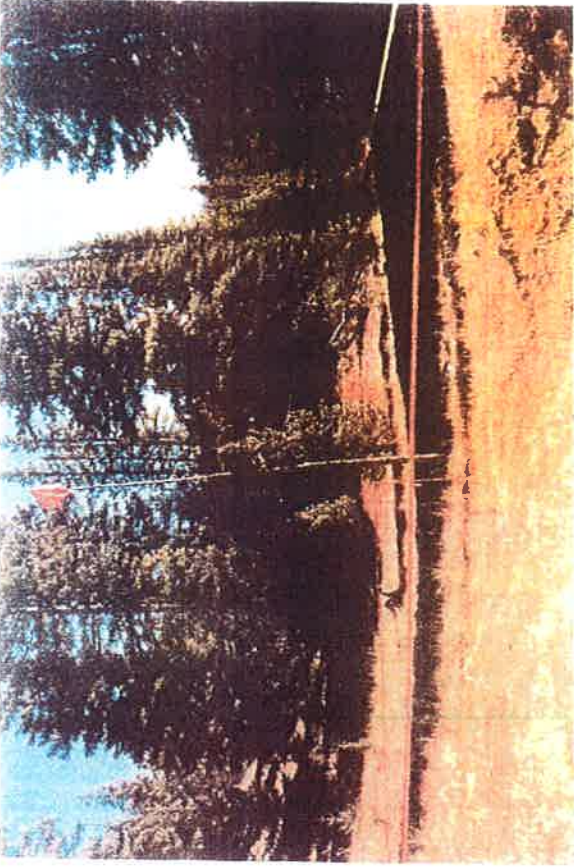
Looking East from Inside Cabin



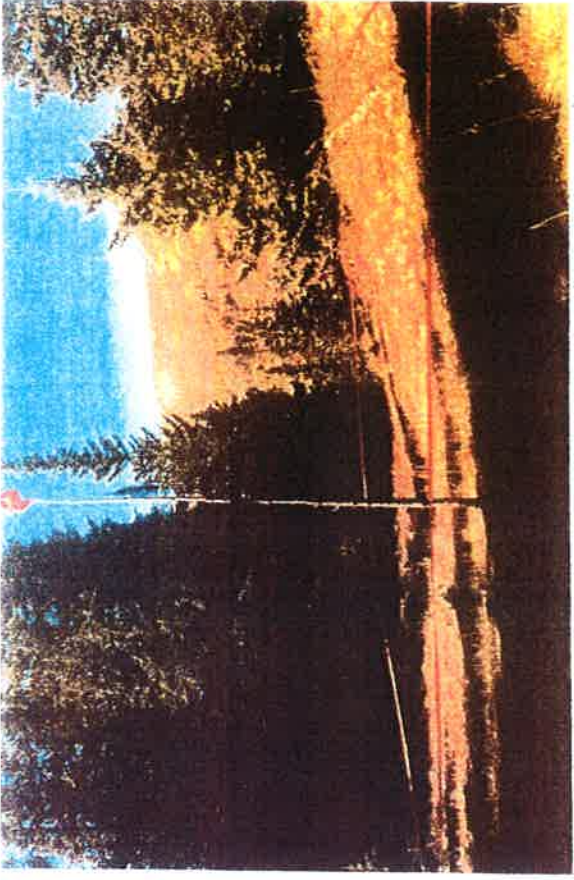
Looking north at shed & Cabin



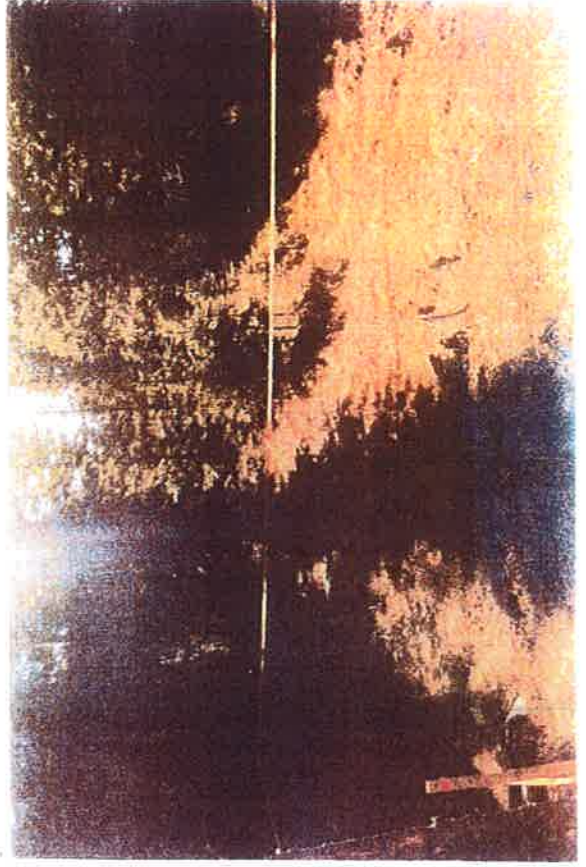
Looking North from Inside Cabin with Shed



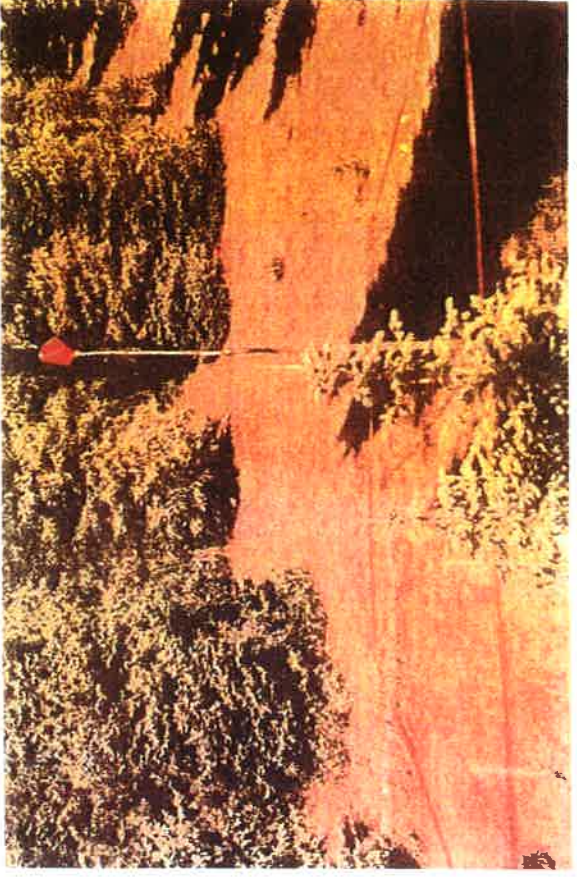
Looking East from Cabin



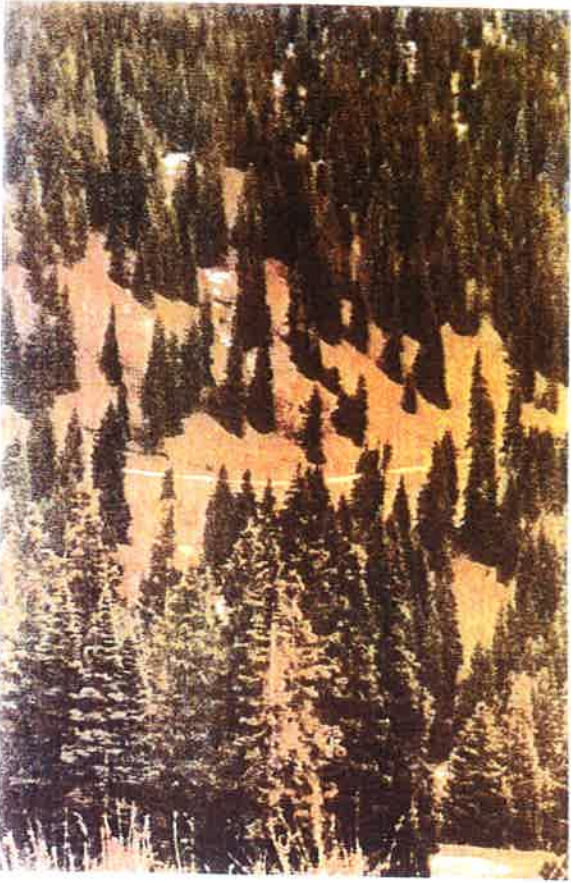
Looking West from inside Cabin



Looking South from inside Cabin



Looking North from cabin



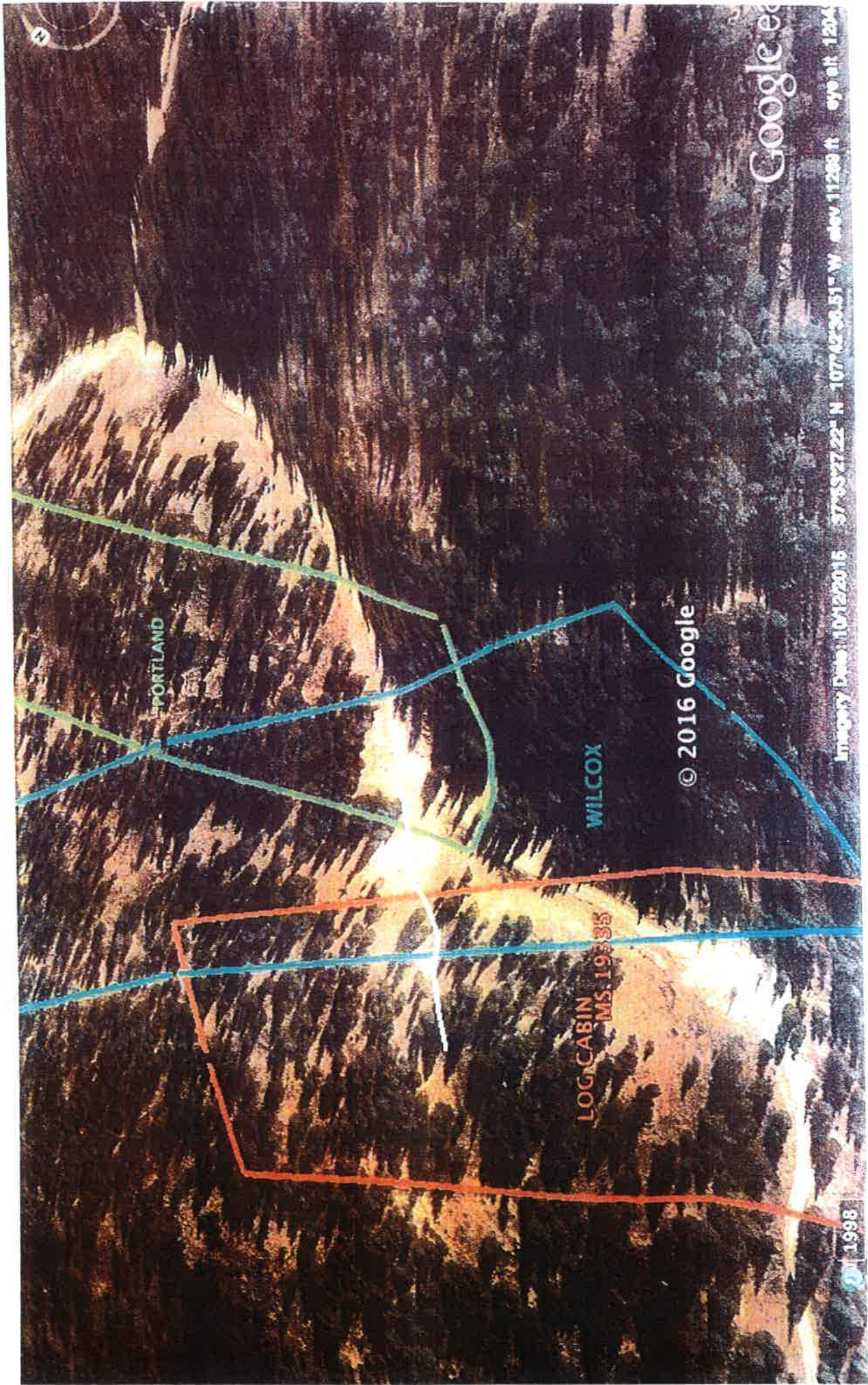
Looking AT Cabin site from Black Bear Pass



Looking At Cabin site from CR 14
(place is on a ridge)



Looking South from inside Cabin



PORTLAND

LOG CABIN
MS 1933S

WILCOX

© 2016 Google

Google

Imagery Date: 10/12/2016 37°59'27.22" N 107°42'30.51" W elev 11289 ft eye alt 1204

1998



Jupentatz Residence
House and Shed
Looking West

List of Neighbors for Red Mountain Build

Account #
N2823
Parcel #47770140040116
PARISI JULI ANNETTE LT
& STACK ENTERPRISES LLC

Mailing Address
3938 E SALINAS ST
PHOENIX AZ 85044-3859

Situs address
COUNTY ROAD 14,
SILVERTON, CO 81433

Account #
N1963
Parcel #47770140040112

ELLIOTT ROBERTA &
WHITE ANNA J

6212 W KEIM DR
GLENDALE AZ 85301-5012

Situs address
COUNTY ROAD 14,
SILVERTON, CO 81433

Account #
N2823
Parcel# 47770140040116

PARISI JULI ANNETTE LT
& STACK ENTERPRISES LLC

Mailing Address
3938 E SALINAS ST
PHOENIX AZ 85044-3859

Situs address
COUNTY ROAD 14
SILVERTON, CO 81433

Account #
N1959
Parcel #47770140040004

SW WATER
CONSERVATION
DISTRICT
Mailing Address
842 E 2ND AVE DURANGO
CO 81301

Situs Address
COUNTY ROAD 14,
SILVERTON, CO 81433

Account#
N1960
Parcel #47770140040007

YEOWELL ANDREW D
Mailing Address
929 COUNTY ROAD 12
RIDGWAY CO 81432

Situs Address
929 OURAY COUNTY

Account #
N1960
Parcel # 4777140040007
YEOWELL ANDREW D

Mailing Address
929 COUNTY ROAD 12
RIDGWAY CO 81432

Situs address
929 OURAY COUNTY
ROAD 12, OURAY, CO 81427

Account #
N1971
Parcel #47770140040115
CAPTAIN MINING LLC;
C/ODEMUTH ERIC
18492 HWY 550 RIDGWAY
CO 81432-9654

Situs address
COUNTY ROAD 14,
SILVERTON, CO 81433

Account #
N1957
Parcel#47770140040002

VAUGHAN JAMES
HAGGAR & JESSIE
Mailing Address
177 CHESTER CT
RIDGWAY CO 81432-8732

Situs address
COUNTY ROAD 14,
SILVERTON, CO 81433

Account #
N1990
Parcel #47770230040015

GUILLORY GERALD
ANTHONY ET AL; c/oJUD
J GUILLORY ST
Mailing Address
4250 W PRIEN LK RD
LAKE CHARLES LA
70605-3942

Situs Address
COUNTY ROAD 13,
SILVERTON, CO 81433

Account#
N2010
Parcel #47770240040006

BAUMGARTNERF/
OSIRIS GOLD INC; SIAL EXPLORATION INC/
CARIBOU RESOURCES
Mailing Address
4155 E JEWELL AVE STE
1001 DENVER CO 80222-4514

ROAD 12, OURAY, CO 81427

Situs Address
SILVERTON, CO 81433

Account #
N2823
Parcel #47770140040116

Account #
N2812
Parcel #47770130040021

PARISI JULL ANNETTE LT
& STACK ENTERPRISES LLC

Mailing Address
3938 E SALINAS ST
PHOENIX AZ 85044-3859

Situs Address
COUNTY ROAD 14,
SILVERTON, CO 81433

ORANS MARY
Mailing Address
8839 COUNTY ROAD 250
DURANGO CO 81301-8628
DURANGO CO 81301-

Situs Address
459 RED MOUNTAIN 3
ROAD, OURAY, CO 81427

Account #
N1963
Parcel #47770140040012

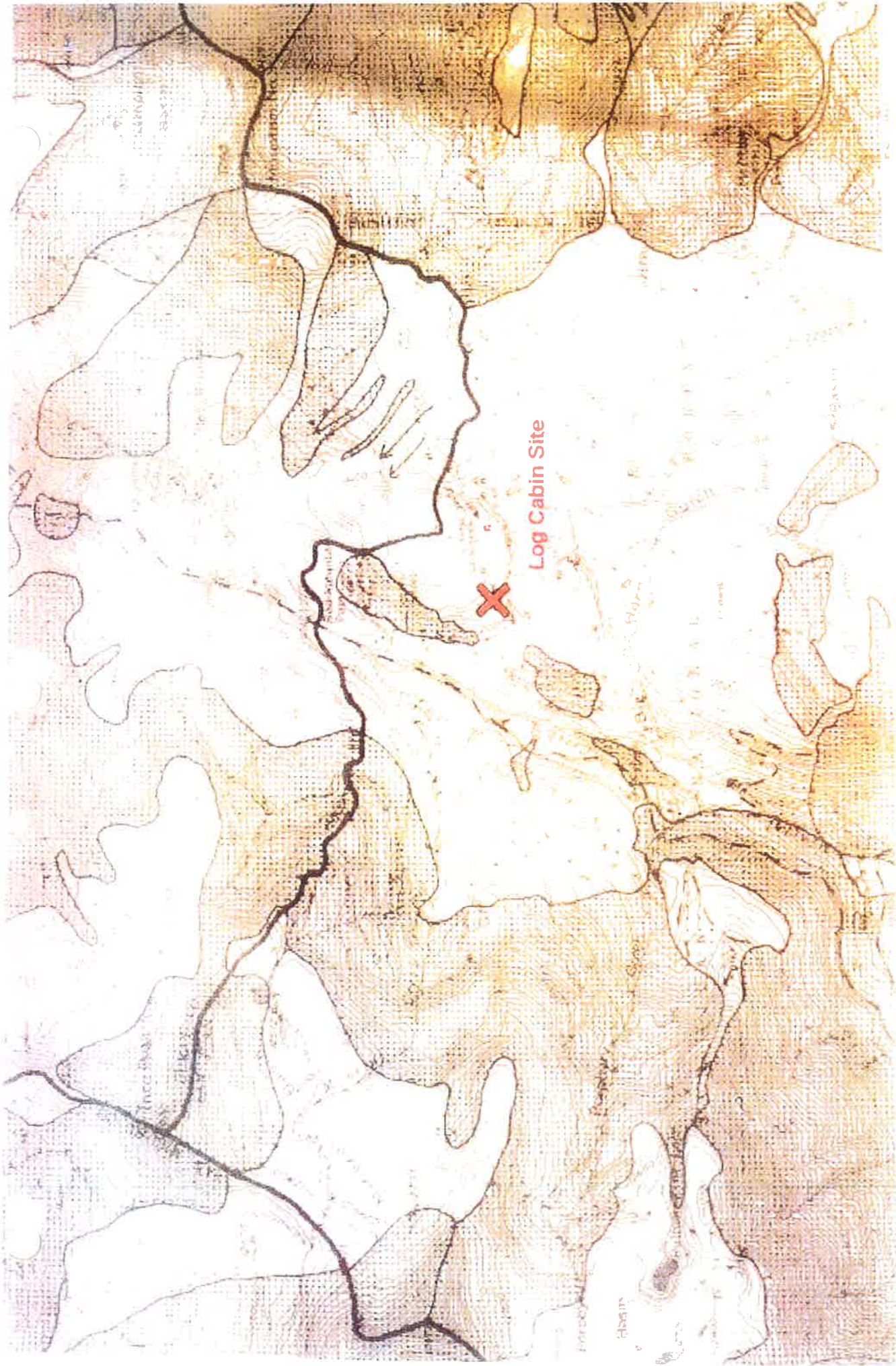
Account #
N1980
Parcel #47770230040005

ELLIOTT ROBERTA &
WHITE ANNA J
Mailing Address
6212 W KEIM DR
GLENDALE AZ 85301-5012

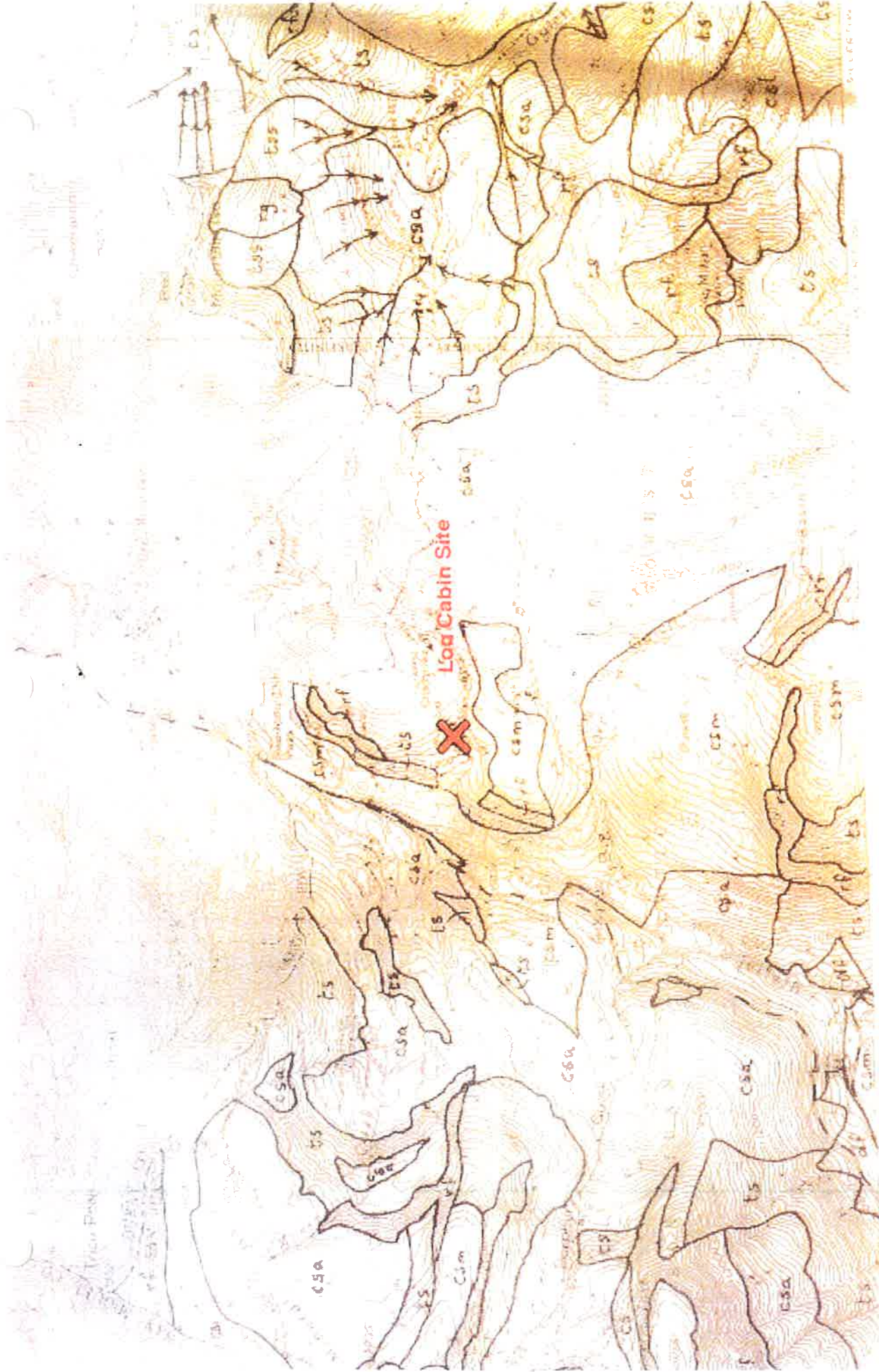
Situs Address
Total Acres
SILVERTON, CO 81433

GREENFIELD ENVIRONMENTAL
MULTISTATE TRUST LLC;
GALUSHA, HIGGINS & GALUSHA

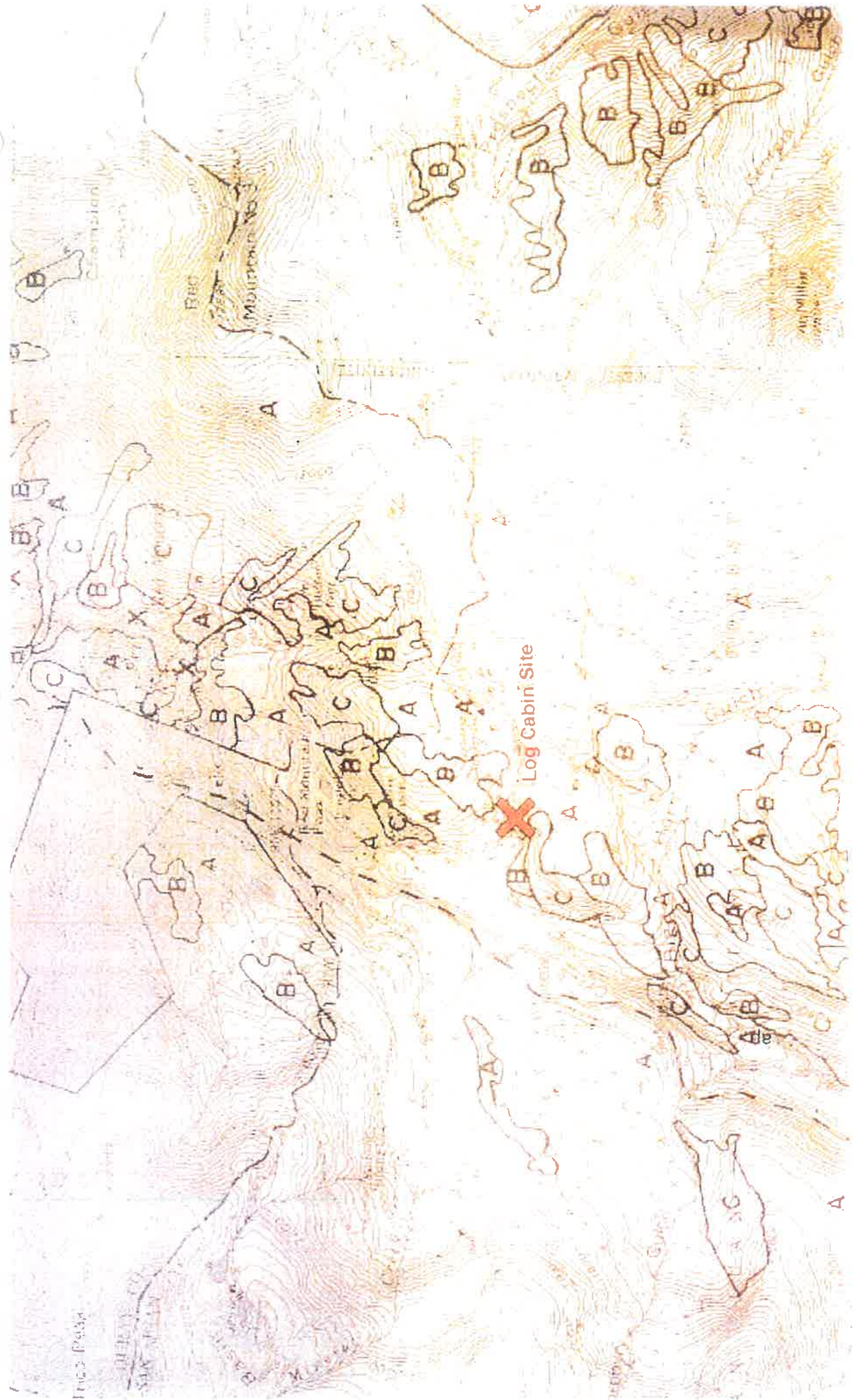
Mailing Address
PO BOX 1189 HELENA MT
59624-1189
Situs Address
SILVERTON, CO 81433



Avalanche Hazard Map



Geologic Hazard Map



Fire Hazard Map



Overall Hazard Map

COLORADO DIVISION OF WATER RESOURCES
DEPARTMENT OF NATURAL RESOURCES
 1313 SHERMAN ST., Ste 821, DENVER, CO 80203
 Main: (303) 866-3581 dwrpermitsonline@state.co.us

Office Use Only Form GWS-44 (7/2012)

RESIDENTIAL Note: Also use this form to apply for livestock watering
Water Well Permit Application
 Review form instructions prior to completing form.
 Hand completed forms must be completed in black or blue ink or typed.

1. Applicant Information

Name(s)
 Mark Iuppenlatz/ Maddeline Mining, LLC

Mailing address
 3416 Main, #B3

City: Durango State: CO Zip code: 81301

Telephone (w/area code): 505-258-6079 E-mail: markiuppenlatz@gmail.com

2. Type Of Application (check applicable boxes)

Construct new well Change source (aquifer)
 Replace existing well Reapplication (expired permit)
 Use existing well Rooftop precip. collection
 Change or increase use Other:

3. Refer To (if applicable)

Well permit # _____ Water Court case # _____

Designated Basin Determination # _____ Well name or # _____

4. Location Of Proposed Well (Important! See Instructions)

County: San Juan 1/4 of the _____ 1/4

Section: _____ Township: _____ N or S: N S Range: _____ E or W: E W Principal Meridian: _____

Distance of well from section lines (section lines are typically not property lines)
 Ft. from N S _____ Ft. from E W _____

For replacement wells only - distance and direction from old well to new well
 feet _____ Direction _____

Well location address (Include City, State, Zip) Check if well address is same as in Item 1.

Log Cabin Claim, CR14 1/4 mile East of HWY 550, Red Mtn Pa

Optional: GPS well location information in UTM format. GPS unit settings are as follows:
 Format must be UTM
 Zone 12 or Zone 13
 Units must be Meters
 Datum must be NAD83
 Unit must be set to true north
 Was GPS unit checked for above? YES NO

Easting: 261617
 Northing: 4197254
 Remember to set Datum to NAD83

5. Parcel On Which Well Will Be Located
 (You must attach a current deed for the subject parcel)

A. You must check and complete one of the following:

Subdivision: Name _____
 Lot _____ Block _____ Filing/Unit _____

County exemption (attach copy of county approval & survey)
 Name# _____ Lot # _____

Parcel less than 35 acres, not in a subdivision attach a deed with metes & bounds description recorded prior to June 1, 1972, and current deed

Mining claim (attach copy of deed or survey) Name#: Log Cabin

Square 40 acre parcel as described in Item 4

Parcel of 35 or more acres (attach metes & bounds description or survey)

Other: (attach metes & bounds description or survey)

B. # of acres in parcel: 6.63

C. Are you the owner of this parcel?
 YES NO

D. Will this be the only well on this parcel? YES NO (if no - list other wells)

E. State Parcel ID# (optional):

6. Use Of Well (check applicable boxes)

See instructions to determine use(s) for which you may qualify

A. Ordinary household use in one single-family dwelling (no outside use)

B. Ordinary household use in 1 to 3 single-family dwellings:
 Number of dwellings: _____
 Home garden/lawn irrigation, not to exceed one acre:
 area irrigated _____ sq. ft. acre

Domestic animal watering - (non-commercial)

C. Livestock watering (on farm/ranch/range/pasture)

7. Well Data (proposed)

Maximum pumping rate	gpm	Annual amount to be withdrawn	acre-feet
15		.3	
Total depth	feet	Aquifer	
300			

8. Water Supplier

Is this parcel within boundaries of a water service area? YES NO
 If yes, provide name of supplier:

9. Type Of Sewage System

Septic tank / absorption leach field

Central system: District name: _____

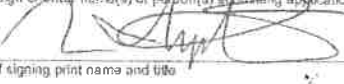
Vault: Location sewage to be hauled to: _____

Other (explain) _____

10. Proposed Well Driller License #(optional): 1434

11. Sign or Enter Name of Applicant(s) or Authorized Agent

The making of false statements herein constitutes perjury in the second degree, which is punishable as a class 1 misdemeanor pursuant to C.R.S. 24-4-104 (13)(a). I have read the statements herein, know the contents thereof and state that they are true to my knowledge.

Sign or enter name(s) of person(s) submitting application: 

Date (mm/dd/yyyy): 04/22/2017

If signing print name and title:
 Mark Iuppenlatz, Member-Manager

Office Use Only

USGS map name	DWR map no.	Surface elev.
Receipt area only		
AQUAMAP		
WE		
WR		
CWCB		
TOPO		
MYLAR		
SB5	DIV _____	WD _____ BA _____ MD _____

Form No. GWS-11 08/2016	COLORADO DIVISION OF WATER RESOURCES DEPARTMENT OF NATURAL RESOURCES 1313 Sherman St., Ste 821, Denver CO 80203 (303) 866-3581 dwrpermitsonline@state.co.us	For Office Use Only
CHANGE IN OWNER NAME/MAILING ADDRESS		
PRIOR TO COMPLETING THIS FORM, SEE INSTRUCTIONS ON REVERSE SIDE INCOMPLETE, POOR QUALITY, OR ILLEGIBLE FORMS CANNOT BE PROCESSED AND WILL BE RETURNED		
Name, address and phone number of person claiming ownership of the well permit:		
Name(s): <u>JORDAN HAWN & CLAYTON RUNDQUIST & CHRISTOPHER FORREST</u>		
Mailing Address: <u>324 JENKINS RANCH ROAD</u>		
City, St. Zip: <u>DURANGO, CO 81301</u>		
Phone: <u>(303) 506 -5230</u> Email: <u>jordan_hawn@yahoo.com</u>		
Well Permit Number: <u>317731</u> Receipt Number: <u>10002278</u> Case Number (optional): _____		
WELL LOCATION: County: <u>SAN JUAN</u> Well Name or # (optional): _____		
<u>TBD COUNTY ROAD 14</u> Street Address at Well Location		<u>SILVERTON</u> City
		<u>CO</u> State
		<u>81433</u> Zip
<input type="checkbox"/> Check if well address is same as owner's mailing address		
SW <u>1/4</u> of the SE <u>1/4</u> , Sec. <u>14</u> , Township <u>42.0</u> <input checked="" type="checkbox"/> N. or <input type="checkbox"/> S., Range <u>8.0</u> <input type="checkbox"/> E. or <input checked="" type="checkbox"/> W., <u>N</u> P.M.		
Distance from Section Lines: _____ Ft. from <input type="checkbox"/> N. or <input type="checkbox"/> S. Line, _____ Ft. from <input type="checkbox"/> E. or <input checked="" type="checkbox"/> W. Line.		
Subdivision Name (if applicable): _____, Lot _____, Block _____, Filing/Unit _____		
NOTE: If changing/correcting the permitted location of a well, use Form No. GWS-42.		
I (we) claim and say that I am (we are) the owner(s) of the well permit described above, know the contents of the statements made herein, and state that they are true to my (our) knowledge. This filing is made pursuant to C.R.S. 37-90-143.		
Signature(s) of the New Owner <u>JORDAN HAWN</u> <u>CLAYTON RUNDQUIST</u> <u>CHRISTOPHER FORREST</u>	Please print the Signer's Name & Title <u>JORDAN HAWN</u> <u>CLAYTON RUNDQUIST</u> <u>CHRISTOPHER FORREST</u>	Date _____ _____ <u>1/14/2022</u>
It is the responsibility of the new owner of this well permit to complete and sign this form. If an agent is signing or entering information, please see instructions. Please allow 4 to 6 weeks for processing of this form. Thereafter, you can view or print the accepted document at: http://www.dwr.state.co.us/WellPermitSearch		
Signature of DWR staff indicates acceptance as a Change in Owner Name and/or Mailing Address.		
For Staff Use Only		
Staff Signature _____		Date _____

SAN JUAN COUNTY, COLORADO
DRIVEWAY AND ROAD ACCESS PERMIT

Improvement
Permit No. _____

Applicant: Jordan Hawn
Clayton Rundquist
Chris Forrest

Location of Proposed Driveway or Access on County Road No. 14 :
Approx. 1/4 mile off Hwy 550 on
the top of Red Mountain Pass see attached

Description of Proposed Driveway or Access, including materials to be used:
Driveway will exit CR 14 to the left
with modest grade uphill. A plastic culvert
will ~~has~~ been installed per county road supervisor
specifications, driveway material is native dirt.

Comment and Recommendations of County Road Supervisor:

Terms and Conditions of Issuance of Permit (or reason for denial):

Permit Approved _____ or Denied _____. Date: 8/26/22

Land Use Administrator: _____

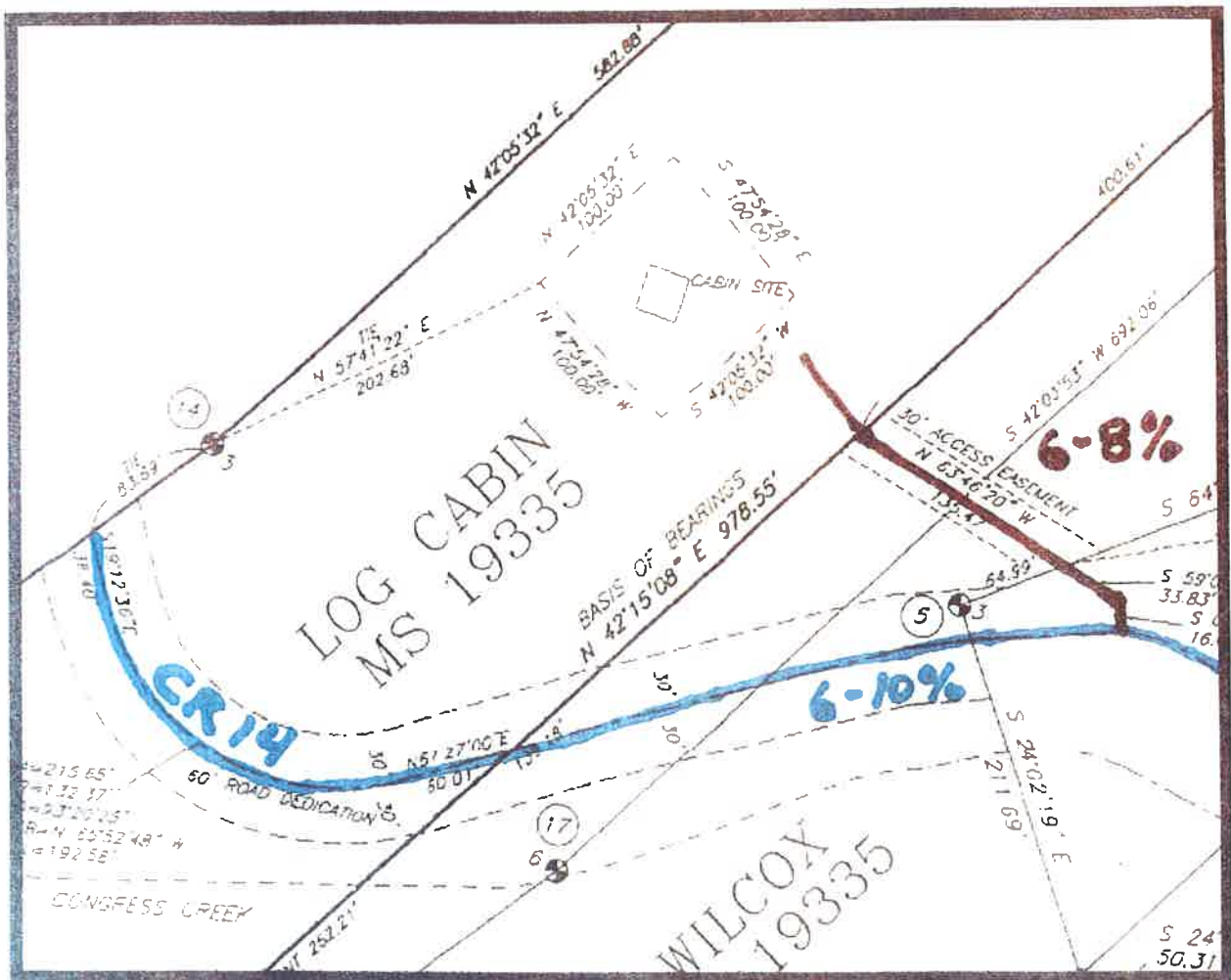
LOG CABIN DRIVEWAY SKETCH

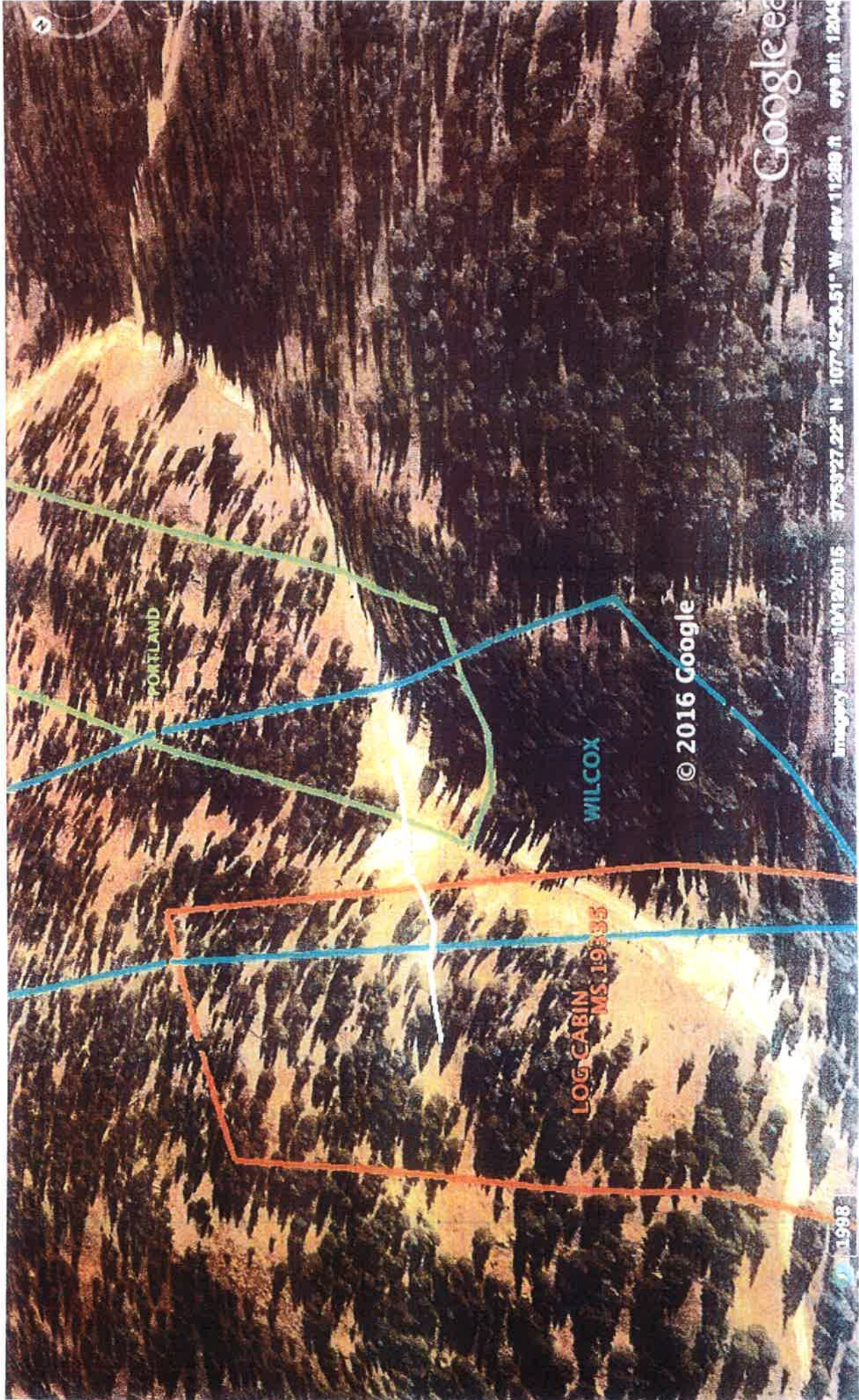
~Proposed Driveway 

~Driveway grade 6 - 8%, CR 14 grade is 6 - 10 %

~Driveway grade will not be any steeper than CR 14 access road

~Driveway cut is across a previous cut from County Road so no new area will be disturbed on hill. Erosion control fence will be installed prior to work to minimize erosion and the area will be stabilized and reseeded following the work to leave it in better condition than it currently.





PORTLAND

WILCOX

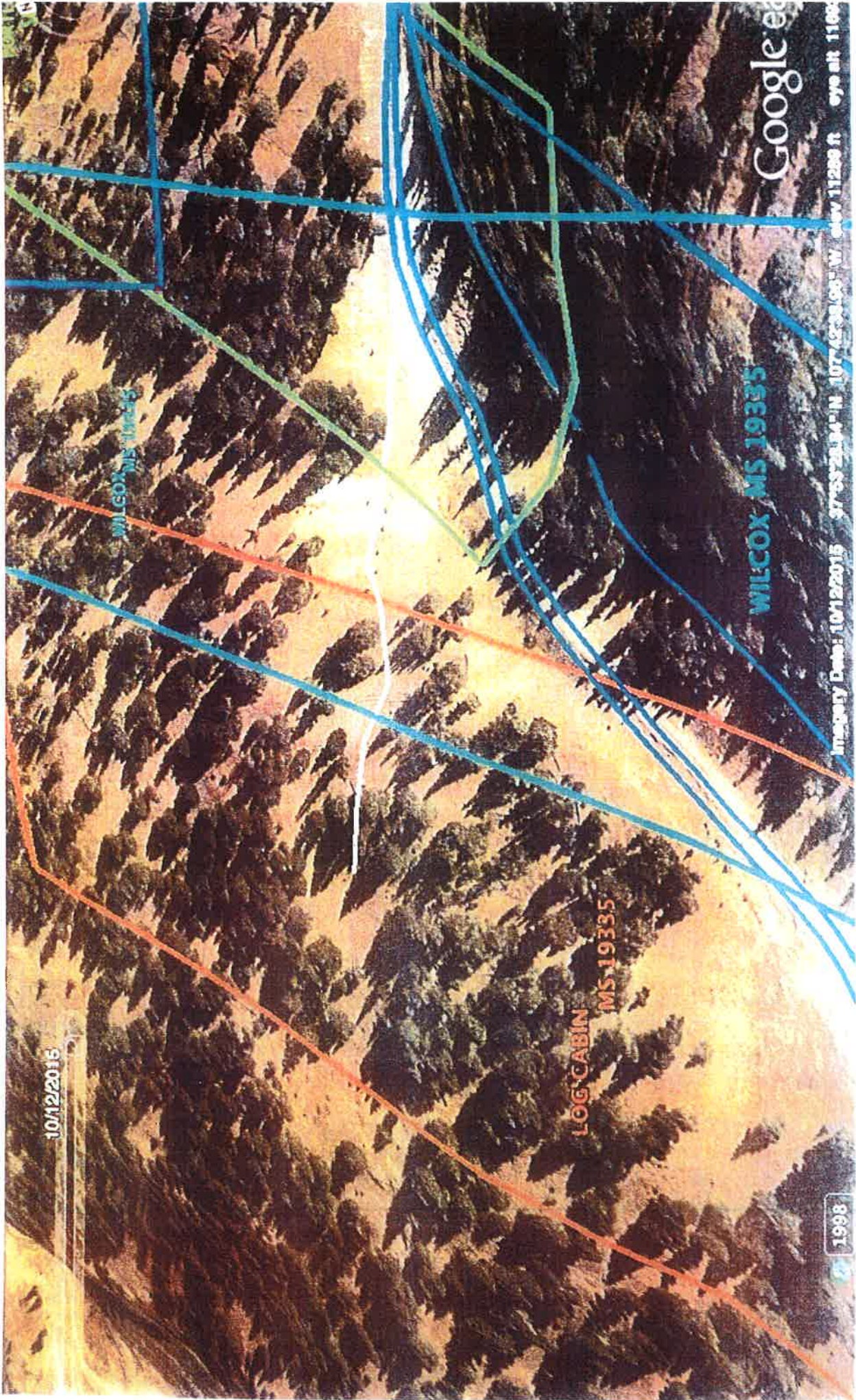
LOG CABIN
MS 1935

© 2016 Google

Google e

Imagery Date: 10/12/2015 37°53'27.22" N 107°42'38.51" W elev. 11289 ft eye alt. 1204

1998



10/12/2015

LOG CABIN
MS 19335

WILCOX MS 19335

WILCOX MS 19335

1998

Google Earth

Imagery Date: 10/12/2015 37°53'28.34\"/>

EASEMENT AGREEMENT

This EASEMENT AGREEMENT ("Agreement") is entered into as of the date of the last Party to sign below, between Flaugh Family Trust (collectively, "Grantor"); and Maddaline Mining, LLC ("Grantee") (collectively, the "Parties").

A. Grantee is the owner of the following patented mining claim located in the Red Mountain Mining District, San Juan County, Colorado ("Grantee property"):

The LOG CABIN lode mining claim Mineral Survey No. 19335, Red Mountain Mining District, County of San Juan, State of Colorado.

B. Grantor is the owner of the following patented mining claim located in the Red Mountain Mining District, San Juan County, Colorado ("Grantor property"):

The WILCOX Lode Mining Claim, Mineral Survey No. 19335, less and except overlap with the LOG CABIN lode mining claim Mineral Survey No. 19355, Red Mountain Mining District, County of San Juan, State of Colorado.

In consideration for the mutual promises contained in this document and other good and valuable consideration, the sufficiency of which is hereby acknowledged, the following grants, agreements, covenants, and restrictions are made:

1. **Grant.** Grantor grants to Grantee, and its successors, heirs and assigns a non-exclusive easement for pedestrian, ski, bicycle, and snow machine access, as well as construction and maintenance of a road, not more than 30 feet in width in the location described in Exhibit A to this Agreement, and vehicular access on said road following its construction. Any access road shall be constructed at the sole expense of Grantee.
2. **Maintenance of the access road.** The Parties agree and stipulate that any maintenance or improvements to any road constructed pursuant to this Easement, that is desired by either Party, shall be the responsibility of that Party and there shall be no right of contribution with respect to the costs of any such maintenance or improvements.
3. **Construction.** This Easement shall be liberally construed to further the purpose of providing access to the Grantee property.
4. **Running with the Land.** This Easement shall burden and shall run with the land described. This Easement shall be binding upon any successors in interest to Grantor. This Agreement may be recorded in the office of the San Juan County Clerk and Recorder.
5. **Authority.** The persons signing on behalf of the Parties each represent that they have complete authority to bind the entities on whose behalf they execute this Agreement.

GRANTOR:

Flaugh Family Trust

Darwin Flaugh - Trustee
By: Darwin Flaugh, Trustee

STATE OF Colorado)
County of La Plata) ss.

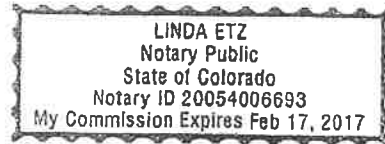
Before me this 27th day of January, 2017, personally appeared Darwin Flaugh as Trustee of the Flaugh Family Trust, who acknowledged the foregoing instrument.

Witness my hand and seal.

SEAL

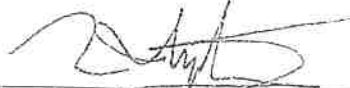
My commission expires: 2/17/2017

Linda Etz
Notary Public



GRANTEE:

Maddaline Mining, LLC



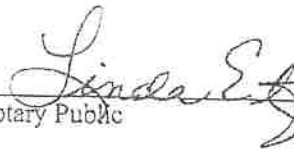
Mark Iuppenlätz, Managing Member

STATE OF California)
County of La Plata) ss.

Before me this 7th day of February, 2017, personally appeared Mark Iuppenlätz, as Managing Member of Maddaline Mining, LLC, who acknowledged the foregoing instrument.

Witness my hand and seal.

SEAL


Notary Public

My commission expires: 2/17/2017



Exhibit A

A non-exclusive access easement for ingress and egress being 30 feet in width and being 15 feet on each side of centerline being located within the Wilcox Lode MS 19335 located within Section 14, Township 42 North, Range 8 West of the New Mexico Principal Meridian.

Beginning at a point on the Northwesterly line of the Portland Lode MS 7151 from whence the USMM Carbon Lake bears N.75°09'47"E. 1275.89 feet and from whence corner number 3 of said Portland Lode MS 7151 bears S.64°00'34"W. 64.99 feet; thence along the centerline of said access easement N. 63°46'20"W. 135.47 feet more or less to the Northwesterly line of the Wilcox Lode MS 19335 from whence corner number 3 of said Wilcox Lode MS 19335 bears N.42°15'08"E. 400.61 feet, being the Point Of Terminus.

County of San Juan,
State of Colorado.

BOARD OF COUNTY COMMISSIONERS
San Juan County

P.O. Box 466

Silverton, Colorado 81433

303-387-5671

RELATIONSHIP OF PROPERTY TO COUNTY ROAD AND STATE HIGHWAY SYSTEMS

I, the undersigned, applicant engaged in the processing of Application for Improvement Permit No. _____, San Juan County, Colorado, do hereby acknowledge the following facts:

1. The real property which is the subject of said application is on this date located ~~approximately~~ on ~~from~~ County Road No. 14, the nearest designated and publicly maintained county road.
2. Said County Road No. 14 is on this date maintained on a seasonal basis by San Juan County.
3. The real property which is the subject of said application is on this date located approximately 1/4 mile from Colorado State Highway No. 550, the nearest designated state or federal highway.
4. Said Colorado State Highway No. 550 is on this date maintained on a year-round basis by either San Juan County or the Colorado Division of Highways.
5. A Driveway Permit will be necessary for any private access or egress relating to said real property which intersects any designated Colorado State Highway or Federal Highway.

Signed and dated this 26th day of August, 2022.

ATTEST:

Position:

Jordy Stain
Applicant

SAN JUAN BASIN
public health

281 Sawyer Drive
Durango, CO 81303
Phone: (970) 247-5702

PERMIT #: WWP2022-0390
ISSUED: 08/18/2022
EXPIRES: 08/18/2023

ON-SITE WASTE WATER TREATMENT PERMIT

APPLICANT PROPERTY OWNER INSTALLER

CLAYTON RUNDQUIST CLAYTON RUNDQUIST
633 E 3RD AVE 633 E 3RD AVE
DURANGO, CO 81301-4017 DURANGO, CO 81301-4017 LIC #: EXP:
(970) 946-3453 (970) 946-3453

ADDRESS: TBD SILVERTON, CO PARCEL #: 47770140040016-S
PERMIT TYPE: CONSTRUCTION SUBDIVISION: MS #19335

LOT #: LOT SIZE (ACRES): 0
DWELLING UNITS: 1 BEDROOMS: 2
SITE EVAL LTAR: 0.5 LIMITING ZONE:
DEPTH: WATER SUPPLY: Well

SEPTIC TANKS: 1000 gal MIN
DESIGN FLOW: 300 GPD
DISTRIBUTION: Gravity
SOIL TREATMENT: Bed (1) 9' x 56'
3 rows of 12 chambers each. 4" perforated pipe inside chambers capped at end. Backfill rock free native sand material over chambers. Apply filter fabric over sand layer. Cover with loose, rock free native material. Divert drainage around field.

WORK DESCRIPTION: New OWTS for proposed 2 bedroom dwelling.

SPECIAL CONDITIONS

Verify and visibly mark setbacks prior to construction.
Identify well and/or water line location on record drawing for final permit.

AUTHORIZATION TO BEGIN CONSTRUCTION OR REPAIRS

The submitted design and above specifications are authorized for construction, subject to the above special conditions. All provisions of the SJBPH On-site Wastewater Treatment System regulations must be complied with whether specified herein or not. The granting of this permit does not give authority to violate or cancel any other state or local law or regulation governing construction or land use.

Nicola Pasquini 8/18/2022
Authorized By Date

FINAL INSPECTION

The above system has been inspected and found to comply with the requirements as described on the issued permit.

SUMMIT ENGINEERING
C/O ERIC NELSON
270 COLLEGE DR UNIT 102
DURANGO, CO 81301
System Designed by (name, company, phone) Finalized By Date

SAN JUAN BASIN public health

Permit # _____

Year _____

APPLICATION to Construct, Alter, or Repair an On-site Wastewater Treatment System

Owner: CLAYTON ROUNDOUSTI Phone: 970-946-3453

Site address: T3D CR 14

Assessor's parcel # MS # 19335 Subdivision: _____ Lot#: _____

Lot size: 6.43 (acres) # of Dwellings: 1 # of Bedrooms: 2 Water supply: well

I acknowledge: (1) This application does **not** guarantee that an On-site Wastewater Treatment System ("OWTS") can be installed or a building permit issued; (2) The issuance of the OWTS permit does **not** imply any warranty by San Juan Basin Public Health as to the operation of the OWTS; (3) The OWTS must be constructed in accordance with the San Juan Basin Public Health On-site Wastewater Treatment System Regulations; and (4) The owner of the property assumes the responsibility and liability for the proper maintenance of the OWTS.

Date: 7-29-22 Owner's signature: _____

Owner's mailing address: claytanik@gmail.com

Owner's email address: 633 E 3rd Ave Durango CO 81301

[DEPARTMENT USE ONLY]

Permit fee: \$ 1023 Payment type: Card Rec'd by: Natasha Adams Date: 7-29-22

Site Evaluation LTAR: _____ Limiting Zone: _____ Depth: _____

PERMIT to _____ an On-site Wastewater Treatment System

Septic tank(s): _____ Design flow: _____ (gal/day) Distribution: Gravity or Pressure siphon pump

Soil treatment area: _____

Design Specifications and Comments:

Authorization to begin Construction

Permit must be signed by EHS **BEFORE** construction begins

Environmental Health Specialist Date

Final Inspection The above system has been inspected and found to comply with the above requirements.

System Installed by (name, company, phone)

Environmental Health Specialist Date

System Designed by (name, company, phone)

San Juan Basin Public Health

281 Sawyer Dr

Durango, CO 81303

970-247-5702

www.sjbpublichealth.org

Today's Date 7/29/2022

.....

Payment Receipt

.....

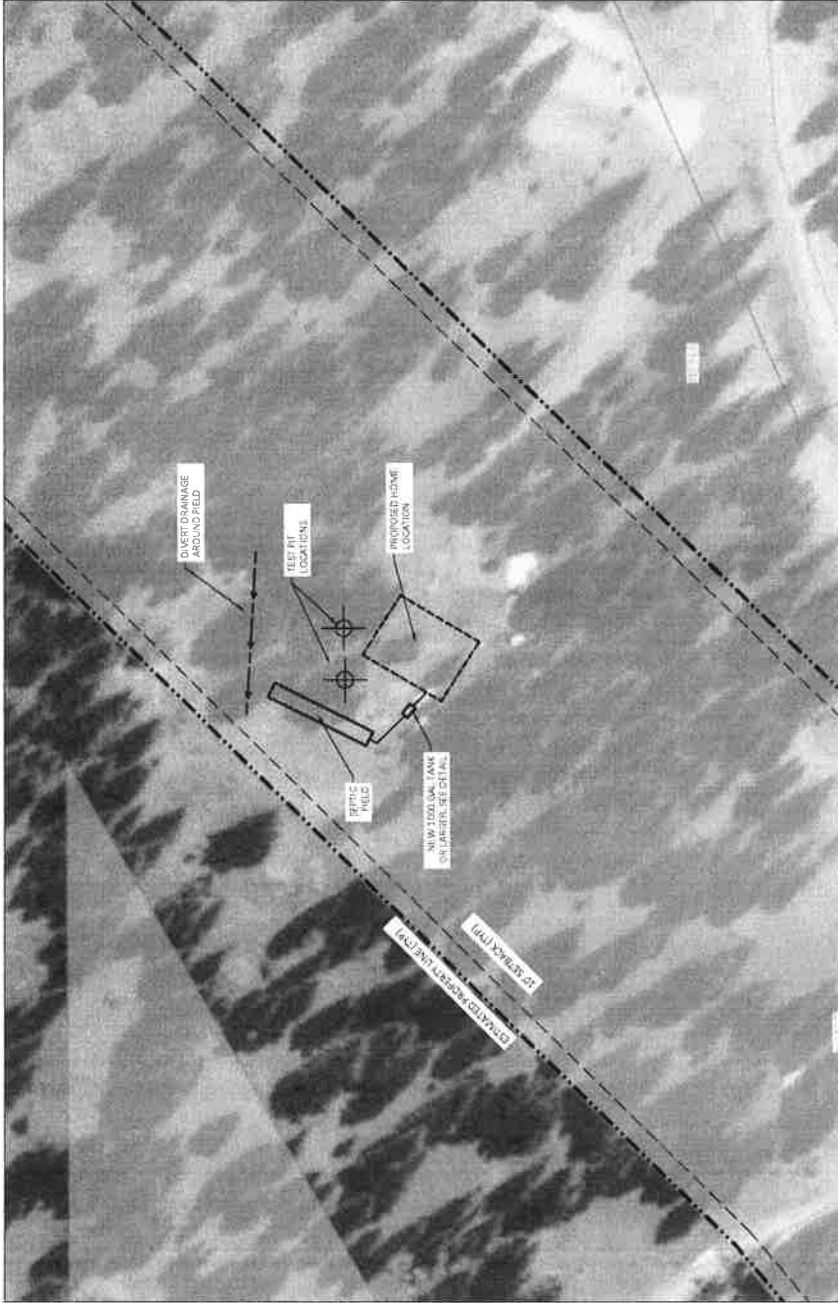
Payment Date 7/29/2022

Payment Amt \$1,023.00 Card

Program WA OWTS-Permits-4350

Check Number

TBD Cr 14



SITE PLAN
1:1X17 SCALE: 1:50

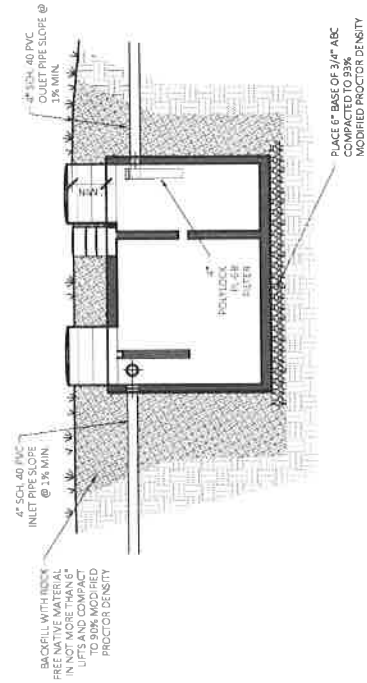
VICINITY MAP
1:1X17 SCALE: 1:1000

530 Main Ave., Ste D4
Durango, CO 81301
970-546-5147
www.summitengs.com

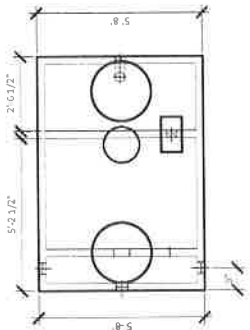


RUNDQUIST SEPTIC DESIGN
TBD CR 14, SILVERTON CO 81433
SUBH PERMIT #2022-0390

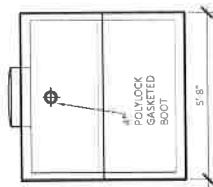
PROJECT: 941-22-01
DATE: 08-05-22
REV NO: 0
REV DATE: NA
NOTE: CONCEPTUAL
DRAFT: PRELIMINARY



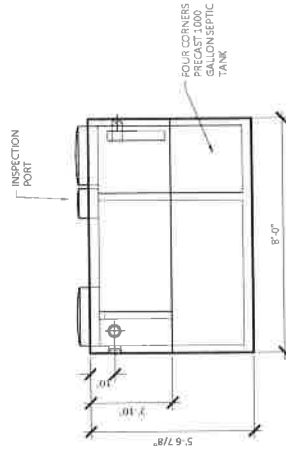
TANK SECTION



TANK PLAN VIEW



TANK END



TANK SIDE

SEPTIC TANK DETAIL
SCALE: 1/4" = 1'-0"

NOTES:

- CONTRACTOR SHALL FOLLOW ALL REGULATIONS IN SANITARIAN'S LATEST VERSION OF ON-SITE WASTEWATER SYSTEM TREATMENT REGULATIONS.
- CONTRACTOR MUST CONTACT ENGINEER FOR THREE SITE INVESTIGATION SITE VISITS. THE FIRST VISIT SHALL BE FOR PRELIMINARY DESIGN AND PERMITS. THE SECOND VISIT SHALL BE FOR INSPECTION AND THE THIRD VISIT SHALL BE FOR FINAL INSPECTION. ENGINEER MUST INSPECT TANK BEDDING, TANK PLACEMENT, PIPING, DISTRIBUTION BOXES, INLET WATER PLACEMENT, AND MINIMUM SOIL WORK, TRENCH, TRENCH COMPACTION, FABRIC PLACEMENT AND ALL SOIL USED FOR BACKFILL.
- GRAVITY FROM THE HOME TO THE TANK SHALL BE MIN. SLOPE 1% TO 40 PVC OUTLET FROM TANK. SHALL BE MIN. SLOPE 1% TO 40 PVC INLET FROM TANK. GRAVITY AREA FOR TRAFFIC ALL GRAVITY PIPE SHALL HAVE MIN. 1% SLOPE AT ALL TIMES.
- ALL SPACING WITHIN FIELD SHALL BE LEVEL.
- TANK SIZE AS PER PLANS OR LARGER, AND MINIMUM OF TWO COMPARTMENTS.
- BOTTOM OF TRENCH OR BEDDING MUST BE A MINIMUM OF 6" ABOVE BEDDING IN WATER TABLE. IF OTHER IS INDICATED RED TAG WILL BE DISCOVERED DURING TEST PHASE. CONTRACTOR SHALL NOTIFY ENGINEER BEFORE CONTINUING WORK.
- CONTRACTOR SHALL TAKE CARE NOT TO COMPACT THE BED OR TRENCH BOTTOM WITH ANY TYPE OF EQUIPMENT. BEFORE PLACEMENT OF INLET MATTERS, ELLEN PADS OR PIPE, SOIL IN THE TRENCH OR BED SHALL BE SCRIPED AND RAKED.
- ALL BACKFILL, INCLUDING SAND MUST BE APPROVED BY ENGINEER PRIOR TO PLACEMENT.
- HEAVY MATERIAL MUST BE ROCK FREE AND FREE OF ORGANIC MATERIAL. BERM SHALL BE PLACED IN 4" LIFTS ON LEVELS AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY. EXTERIOR BERM SLOPE SHALL BE A MINIMUM OF 3:1.
- ALL PIPING, INCLUDING CLEANOUTS, AND SLEEVES AT WATERLINE CROSSING SHALL FOLLOW UNIFORM PLUMBING CODE AND LOCAL CODE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE SAFETY AND ALL PERMITTING FOR THE PROJECT. CONTRACTOR IS RESPONSIBLE TO PLACE SYSTEM WITH IN-LEAK UNITS, PROPERTY BOUNDARIES AND ALL SETBACKS. NO SURVEY HAS BEEN PERFORMED AS PART OF THIS DESIGN.
- TANK BOTTOM, SEPTIC BED OR TRENCH AND ALL PIPING WITHIN TREATMENT AREA SHALL BE LEVEL.
- CONTRACTOR TO INSTALL INSPECTION PORTS FROM TANK, DISTRIBUTION BOXES AND ANY OTHER PORT ON PLANKS, RINSE EACH PORT TO GRADE AND MARK EACH PORT. PORTS SHALL BE WEATHERPROOF AND WATER TIGHT.
- FRESH WATER TREATMENT (BIOLOGICAL) OR WASTE MAY NOT BE PUT INTO THIS SYSTEM. WASTE FROM FRESHWATER SYSTEMS MAY NOT BE PLACED WITHIN 50' OF THIS SYSTEM.
- ALL IRRIGATION, INCLUDING SPRINKLERS, SHALL NOT BE USED ON OR NEAR THE SYSTEM. ALL IRRIGATION TO BE ROUTED AWAY FROM THE TREATMENT AREA.
- ALL ANIMAL AND VEHICLE TRAFFIC SHALL NOT BE PERMITTED ON TREATMENT AREA. IT IS RECOMMENDED TO FENCE THE TREATMENT AREA.
- SEPTIC TANK SHALL BE PAVED AT A MINIMUM OF ONCE EVERY TWO YEARS, OR SOONER DEPENDING ON USE.
- ANY DEVIATION FROM PLANS OR NOTES SHALL RELIEVE ENGINEER OF ANY AND ALL LIABILITY FOR THE ENTIRE TREATMENT SYSTEM.



SUMMIT
ENGINEERING, LLC.

530 Main Ave., Ste D4
Durango, CO 81301
970-946-5147
www.summitengs.com

PROJECT:	941-22-01
DATE:	08-05-22
REV NO:	0
REV DATE:	NA
NOTE:	CONCEPTUAL
DRAFT:	PRELIMINARY

RUNDQUIST SEPTIC DESIGN
TBD CR 14, SILVERTON CO 81433
SJBH PERMIT #2022-0390

SCALE: 11 X 17: VARIES

Staff Report for: SILVERTON/SAN JUAN Planning Commission
Application for Improvement Permit -

“Sketch Plan Submittal” for Log Cabin Claim, submitted by Mark & Andrea Iuppenlatz for construction of a Ski Cabin, near Red Mountain Pass, County Road 14.

Meeting - May 16, 2017

By: Mark Reavis, Planning Director/Land Use Administrator

Project: Log Cabin Claim - Ski Cabin

Public Meeting - Sketch Plan Application Review

Parcel: Log Cabin Claim USMS #19335, Red Mountain Pass - County Road 14

Applicant/ Owner: Mark & Andrea Iuppenlatz, Maddeline Mining, LLC, 3416 Main, #B3, Durango, CO 81301

The submission has been adequately prepared by the applicant with the assistance of a professional engineer. The contents of the submission covers, but is not limited to: the application for Improvement Permit, Warranty Deed, Adjacent Land Owner Map, List of Adjacent Land Owner, Survey Plat, Project Plans (Vicinity map, sketch, topo, avalanche, geo hazard), easement agreement. A Project Narrative, Septic System Permit, Avalanche & Geo (maps), Access info & driveway, Scenic Evaluation and Cumulative Development effect are also included. *A site visit was conducted by staff via snowmobile with applicant and builder present.*

Executive Summary

The applicant has fully addressed applicability requirements and any adverse scenic impacts associated with the cabins development. The Planning Director/Land Use Administrator concurs with the utilization of the proposed small meadow site as it conforms to various benefits and meeting mandated requirements. The design and material selection for the cabin reflects land use compatible design aspects. The site is not visible from highway 550 or any back country roadway or any typically utilized trail and the exposure is only partially visible from across the valley from Bear Creek Trail.

I recommend approval of the Sketch Plan and to allow the applicant to move forward with the additional required review and approval processes. Sketch Plan approval will allow the applicant to proceed with further design development of the cabin's construction plans and the preparation for further reviews and approvals.

PLANNING COMMISSION AGENDA

TUESDAY MAY 16, 2017 AT 7:00 PM
IN COMMISSIONERS ROOM AT SAN JUAN COUNTY COURTHOUSE

1. Roll Call of Members
2. Minutes: March 21, 2017
3. REPLAT – Lot 9 of the POWERHOUSE P.U.D. –San Juan County Historical Society
4. IMPROVEMENT PERMIT: Log Cabin Claim USMS #19335 Sketch Plan, Mark & Andrea Luppenlitz
5. RANCH PLACER, LLC. – USMS #14601 Animas Mining District “Glamour Camping”
6. ANVIL MOUNTAIN SUBDIVISION – Review Covenants
7. Other
8. Adjourn

Check list of requirements and comments:

MAY 16, 2017
PROPOSED JUPPENLATZ CABIN
PREPARED BY MARK REAVIS

- Contact information has been provided.
- Ownership of Surface - YES
- Ownership of Minerals - YES to 500'
- Vicinity Map - YES
- Certified Survey Plat - YES
- Monumentation - YES
- Basic Plan Map & Plans and Drawings - YES
- Road System Relationship - YES
- Zoning Compatibility - YES
- State Mining Permit - NO
- Adjacent Owner Notification - list and notification - YES and no responses.
- Hazard Maps - Avalanche, Geo - Yes, Flood Plain - NA
- Hazard Map, Wildfire - YES - Adjacent
- Historic Site Impact - NA
- Watershed - Yes control provisions at driveway
- Sewage - perk test passed, permit applied, design initiated
- Water - apparent availability, well permit required.
- Utilities/power are self-contained off grid.
- USFS/ BLM - NA
- Driveway permit - applied for - approval pending
- Applicable land use Zone requirements and elevation are noted in the submission and in compliance.
- Emergency services are relatively accessible viable the county road and commonly utilized snowmobile route in winter.

MAY 16, 2017
PG. 2

- The intent of the Master Plan has been addressed in the submission.
- Though there are adjacent claims and adjacent cabin being developed design and placement of these have been addressed and the cumulative impacts are negligible.
- Expert assistance has been sought in the preparation of the submission and for particular components.

NOTE: Confirmation that property taxes are current is required throughout the review process.

Remaining Issues: *Any remaining issues, which have been reviewed and considered minor, can be addressed in the upcoming reviews and hearings.*

Staff Recommendation: Approve Sketch Plan