

May 2, 2024

San Juan Regional Planning Commission
San Juan County Board of Commissioners
Attn: Willy Tookey
1557 Greene Street
Silverton, Colorado 81433

Subject: Application for Land Use Permit and Proposed Boundary Agreement **ANGLO SAXON PLACER - 16687, ANGLO SAXON #1 - 16687, ANGLO SAXON #2 - 16687, ANGLO SAXON #3 - 16687, ANGLO SAXON #4 - 16687, ANGLO SAXON #5 - 16687, ANGLO SAXON #7 - 16687, MONARCH - 884, FREYA - 17255, MIDNIGHT SUN - 17255, RUBY - 17255, TRANSVAAL - 17255** approximately 2.5 Miles from Silverton on County Road 110 just before the new lodge.

Dear Willy and Commissioners,

This submittal has been prepared to describe the proposed "Boundary Agreement" of the Anglo Saxon Placer, Anglo Saxon #1, Anglo Saxon #2, Anglo Saxon #3, Anglo Saxon #4, Anglo Saxon #5, Anglo Saxon #7, Monarch, Freya, Midnight Sun, Ruby, and Transvaal claims which are owned by Lloyd and Esther Swartz which are located along Cement Creek, straddling County Road 110.

The applicants plan to adjust boundaries on 12 adjoining claims. We also are requesting a 13th parcel to be carved out for the EPA in their management of the Anglo-Saxon Tunnel. The project is considered a "Boundary Agreement" as defined by State Statues, because the total number of parcels is not increasing. We are asking for some flexibility on adding a 13th parcel as it would be a permanently un-developable property purely for reclamation use. Current owners will continue to keep ownership of this 13th parcel and coordinate with the EPA.

Boundary adjustments are to assure all parcels have safe, accessible sites to recreate or build on should any future owners decide to that are not problematic or violate San Juan County planning guidelines. We do not propose specific build sites, however we have carefully evaluated each, new adjusted Parcel boundary for potential spots that meet such criteria as view shed, geological hazards and so on. The proposal complies with Master Plan Goals for the CR110 Corridor.

In lieu of granting us flexible boundary adjustments, approximately half of the existing parcels acreage will be set aside as a conservation easement.

This application is also for a Land Use Permit. The applicants are required to obtain a County Land Use Permit because they plan to remove dead trees construct roads, and improve existing roads, removing trees as necessary.

This application is also for a bridge to be laid across cement creek to service new parcels, existing cabin and San Miguel Power Lines.

Upon approval of the "Boundary Agreement" the project surveyors will file a new survey plat depicting the interior new property boundary lines at the courthouse. Corners of adjusted parcels will be properly pinned. Additionally, road and driveway work as well as forest management will begin immediately before snow precludes further work in 2023

We are submitting 14 copies of this submittal booklet to Willy Tookey, and one copy directly to County Road and Bridge Supervisor Louie Girodo. The applicants request review of this project by the Planning commission on May 16th 2024.

Thank you for the opportunity to present this information to the San Juan Planning commission and Board of County Commissioners and helping to make our dream of retiring in San Juan County come true. Please contact Lloyd Swartz if you have any questions.

Sincerely,

Lloyd Swartz 505-252-0915
Esther Swartz 505-449-8883

35 Canoncito RD NE
Albuquerque NM, 87122

Attachments for Willy Tookey with 14 Booklets for Staff/Commissioners

Pre-stamped Pre-Addressed Envelopes for Adjacent Land Owners
Receipt from County Treasurer for 300.00 Boundary Agreement and Land Use Permit
Application Fee.
San Juan County Application for Land Use Permit

Attachments for Louie Girodo with 1 Booklet for Road and Bridge Department
San Juan County Driveway and Road Access Permit
San Juan County Relationship to County Road and State Highway System Form

Swartz Application for Land Use Permit

And

Proposed Boundary Agreements

And

And Bridge Installation

**ANGLO SAXON PLACER - 16687, ANGLO SAXON #1 - 16687, ANGLO SAXON #2 - 16687,
ANGLO SAXON #3 - 16687, ANGLO SAXON #4 - 16687, ANGLO SAXON #5 - 16687, ANGLO
SAXON #7 - 16687, MONARCH - 884, FREYA - 17255, MIDNIGHT SUN - 17255, RUBY - 17255,
TRANSVAAL - 17255**

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LAND USE PERMIT
San Juan County, Colorado


Applicant: <i>Lloyd and Esther Swartz</i>	Permit No.
Address: <i>35 Canencito Rd NE</i>	
City and State: <i>Albuquerque, NM 87122</i>	Telephone: <i>505-252-0915</i>

Description of Use: <i>Establish new road and bridge to connect to existing road near existing cabin thin dead trees, clean up existing private roads.</i>

Dates and Times of Use: <i>6/6/24 - 9/6/24</i>
Location of Use: <i>12 Mining claims off CR 110 3.6 miles from town</i>

Areas of Concern: Applicant should provide attachments for each relevant area
Land Use Administrator will initial approval if appropriate

- | | |
|--------------------------|-------------------------------------|
| Property Ownership _____ | Permission of Property Owner _____ |
| Vicinity Map _____ | Plans and Drawings _____ |
| Natural Hazards _____ | Zoning Compatibility _____ |
| Sanitation _____ | Environmental Impacts _____ |
| Building Permit _____ | Federal and /or State Permits _____ |
| Security _____ | Emergency Services _____ |
| Parking _____ | insurance Coverage _____ |
| Clean Up _____ | County Road Impact _____ |
| Other _____ | Other _____ |

Date Application Submitted:	By (signature): 
Date Permit Issued:	By (signature):
Conditions	
Acceptance of Conditions:	By (signature):

RECORDED DATE 10/17/2022
COUNTY San Juan
REC. NO. 154617

SPECIAL WARRANTY DEED

THIS DEED, Made this 14th Day of October, 2022

Between **TRANSVAAL PROPERTIES, LLC, AN OKLAHOMA LIMITED LIABILITY COMPANY and ANGLO SAXON PROPERTIES, LLC, AN OKLAHOMA LIMITED LIABILITY COMPANY**

of the County of Tulsa and State of Oklahoma, grantor

and **LLOYD O. SWARTZ and ESTHER M. SWARTZ**

whose legal address is 35 Canoncito Rd NE
Albuquerque, NM 87122

of the County of Bernalillo and State of New Mexico, grantee

State Documentary Fee
Date: 10/14/2022
3700

WITNESSETH, That the grantor for and in consideration of the sum of

TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION-----
the receipt and sufficiency of which is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell, convey and confirm, unto the grantee, their heirs and assigns forever, not in tenancy in common but in joint tenancy, all the real property together with improvements, if any, situate, lying and being in the County of San Juan and State of Colorado described as follows:

TRACT I:
The **ANGLO-SAXON PLACER, ANGLO-SAXON # 1, ANGLO-SAXON # 2, ANGLO-SAXON # 3, ANGLO-SAXON # 4, ANGLO-SAXON # 5, and ANGLO-SAXON # 7 LODES, Mineral Survey No. 16687 and the MONARCH LODE, Mineral Survey No. 884, Animas Mining District, San Juan County, Colorado.**

LESS AND EXCEPT any portion of the above named mining claim, within overlapping senior mining claims whether excepted or not in the patent for the above described Lodes Mining Claims.

TRACT II:
The **FREYA, MIDNIGHT SUN, RUBY and TRANSVAAL LODES, Mineral Survey No. 17255, Animas Mining District, San Juan County, Colorado.**

LESS AND EXCEPT any portion of the above named mining claim, within overlapping senior mining claims whether excepted or not in the patent for the above described Lodes Mining Claims.

TOGETHER WITH ANY AND ALL WATER, WATER RIGHTS, DITCH, DITCH RIGHTS APPERTAINING TO THE
As known by street and number as: **TBD CR 110** PROPERTY DESCRIBED ABOVE.
Silverton, CO 81433

TOGETHER with all and singular the hereditaments and appurtenances thereunto belonging, or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor, either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances.

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantee, their heirs and assigns forever. The grantor, for itself, its successors does covenant, and agree that the grantor shall and will **WARRANT AND FOREVER DEFEND** the above bargained premises in the quiet and peaceable possession of the grantee, their heirs and assigns, against all and every person or persons lawfully claiming the whole or any part thereof, by, through or under the grantor, except: 2022 taxes due and payable in the year 2023. Subject to Statutory Exceptions as defined in CRS § 38-30-113(5).

The singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

IN WITNESS WHEREOF, the grantor has executed this deed on the date set forth above.

TRANSVAAL PROPERTIES, LLC, AN OKLAHOMA LIMITED LIABILITY COMPANY

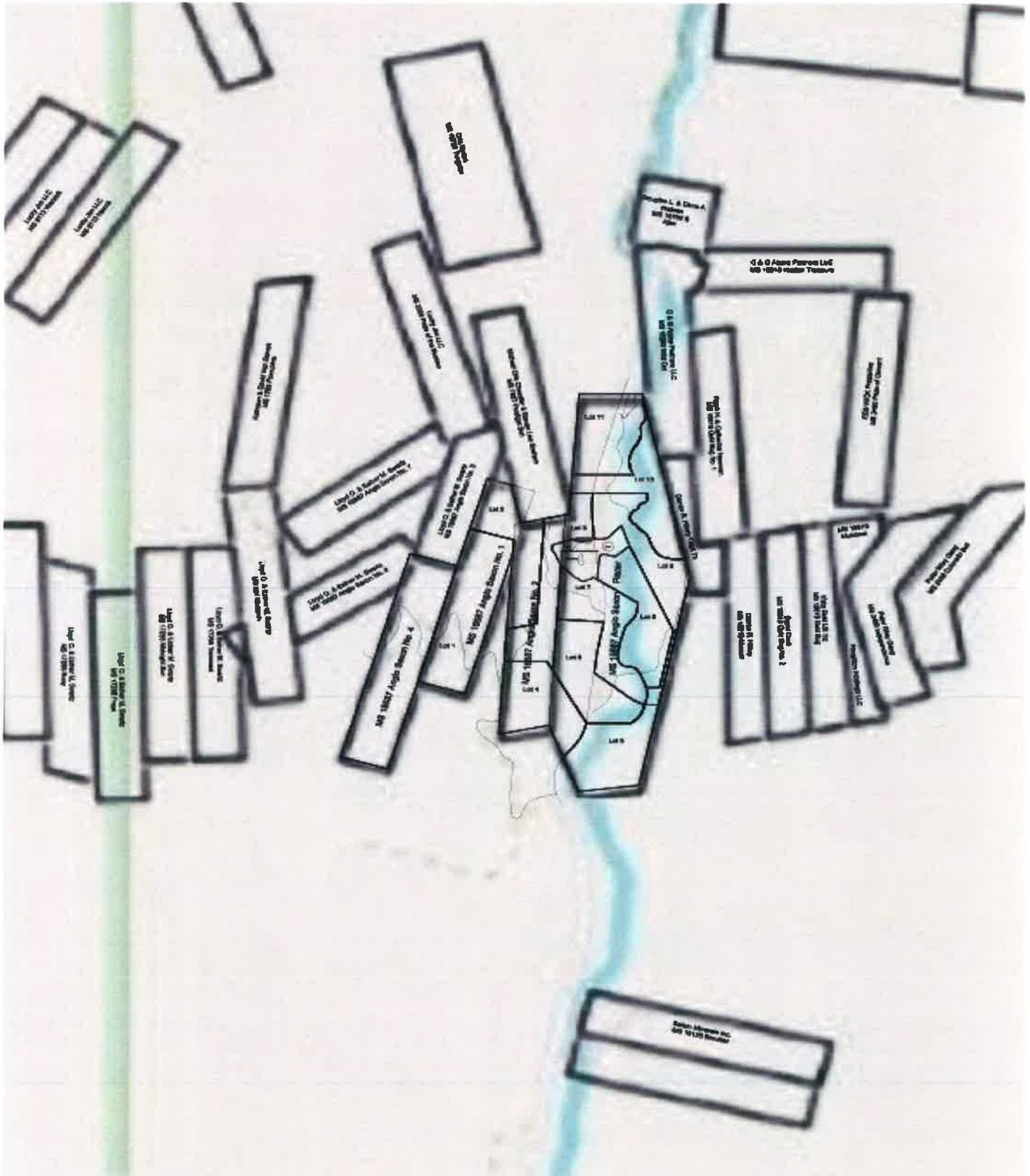
BY: Thomas A. Warlick
THOMAS A. WARLICK, MANAGER

ANGLO SAXON PROPERTIES, LLC, AN OKLAHOMA LIMITED LIABILITY COMPANY

BY: Thomas A. Warlick
THOMAS A. WARLICK, MANAGER

Adjacent Landowners Map

Anglo Saxon Placer, Anglo Saxon No. 1, Anglo Saxon No. 2 and the Anglo Saxon No. 4, MS 16687
Suspended, Township 42 North, Range 7 West, of the New Mexico Principal Meridian
San Juan County, Colorado



V & M MERRILL SURVEYORS REGISTERED LAND SURVEYORS OF COLORADO		SWEST LAND SURVEYING LLC 1200 E. 1st Ave., Durango, CO 81401 970-247-1234	
PLAN NAME 1"=400' U.S. Survey Feet PROJECT NUMBER SCL-16687 DATE 03/24	SUBJECT Adjacent Landowners Map	Anglo Saxon Properties, LLC 16687 Anglo Saxon No. 1 Suspended, Township 42 North, Range 7 West, of the New Mexico Principal Meridian San Juan County, Colorado	

LIST OF ADJACENT LAND OWNERS
Proposed Swartz Boundary Agreement

Adjacent Land Owners

Property

Lucky Jim, LLC

PO Box 654
Silverton, CO 81433-0654

Hermit
Warwick
Pride of the Rockies

Orla Reese

345 Gulph Hills Rd
Randor, PA 19087-4619

Tungston

Kathleen & David Van Deman

315 Pine St
Grand Junction, CO 81503-2044

Porcupine

Michael Otis Chandler

1410 County Road 500
Pagosa Springs, CO 81447-7302

Prodigal Son

Steven Lee Graham

1410 County Road 500
Pagosa Springs, CO 81447-7302

Prodigal Son

Douglas L & Dana A Nielsen

8780 W 81st Dr
Arvada, CO 80005-2459

Ajax

C&G Alpine Partners, LLC

PO Box 69
East Setauket, NY 11733

Hidden Treasures
Wild Cat

Darren Hillery Trust UTA

PO Box 96
McIntosh, NM 87032-0096

Tract 73
Munzer

LIST OF ADJACENT LAND OWNERS
Proposed Swartz Boundary Agreement, Cont.

Adjacent Land Owners

Property

Frank H. and Catherine Newman
1212 H St Unit 130
Ramona, CA 92065

Gold Bug # 1

ESS-WICK Properties
10540 E 11th St
Tulsa, OK 74128-3202

Pride of Cement

David Cook
7176 Forestgate Dr
Colorado Springs, CO 80908-4776

Gold Bug # 2
Gold Bug

Houghton Holdings, LLC
Po Box 98
Breckenridge, CO 81433

Muldoon

Peter Riley Gang
381 Cleveland Ave
Petaluma, CA 94952-1703

Independence
Colorado Bell

Salem Minerals
15100 Foothill Rd
Golden, CO 80401-2064

Brouillet

Outdoor Adventures Club
262 Crystal Springs Dr
Florence, AL 35634-3558

Peerless
Queen City

Project Narrative

Proposed Boundary Agreement and Driveway Improvements

And Bridge Building Permit

Owner/ Applicant Name: Lloyd and Esther Swartz of Albuquerque NM

Project Location:

ANGLO SAXON PLACER - 16687, ANGLO SAXON #1 - 16687, ANGLO SAXON #2 - 16687, ANGLO SAXON #3 - 16687, ANGLO SAXON #4 - 16687, ANGLO SAXON #5 - 16687, ANGLO SAXON #7 - 16687, MONARCH - 884, FREYA - 17255, MIDNIGHT SUN - 17255, RUBY - 17255, TRANSVAAL - 17255 approximately 3.5 Miles from Silverton on County Road 110 just before the Aire lodge on the right and left.

County, Township 42 North, Range 7 West in Sections 66, 67 and 36.

Elevation: Subject property varies from 10,000' to 11,200'. Development Permit work is all below 11,000'

Overview and History of Project.

The applicants to this land use permit are preparing to build a full-time residence within 2 years at Ravens Nest 2.5 miles south of Silverton on Highway 550 on the Prince Edward Claim. This was a part of a similar project completed in 2019 - 2020 where we adjusted 8 claim boundaries and connected roads and access resolving several community concerns. After successfully finding others to purchase the 7 other claims, we decided to keep an eye out for other quality properties in San Juan County that could be developed similarly.

In October 2022 we purchased the Anglo Saxon and Transvaal properties. Lying along County Road 110 they provide exceptional potential build sites with year around plowed road access. The prior owner had plans for *large scale* development that he never completed. We purchased the property with the intention of establishing 12 potentially year around home sites in a responsible manner.

By planning practical development on these 12 claims;

- We are able to limit the construction of new, future access roads.
- We are establishing permanent access and defined work area for the Anglo Saxon mine cleanup work.
- We are able to have a single Land Use Permit to establish roads and make practical adjustments to boundaries instead of potentially 12, saving local government time and resources.
- All properties will have access sufficient for recreational use, forest management and planning for future owners.
- We were able to design well thought out roads and driveway access to each claim at

- once, minimizing impacts to the wilderness, historical structures and view sheds.
- Establish rare, *YEAR AROUND* accessible properties that are more financially beneficial to the community than back country properties that are in-accessible for 6 months or more of the year.
 - Preserve over 50% of the land through a Conservation Easement, protecting prime back country recreation and Wildlife Habitats.
 - Provide easements for neighboring property owner's needs.
 - Provide year around, heavy duty bridge access for sites across Cement Creek as well as the existing cabin on an adjoining parcel, including fire and rescue.
 - Provide additional access for San Miguel Power Line Maintenance.
 - Protect Significant Fen Emerging and High-Altitude wetlands.
 - 50 Acres of prime, county road lined property would never have been developed as one or 2 build sites. We believe our plan is the least impactful of any potential proposals, and stops short of a higher density subdivision proposal.

Overall Community Benefits:

Since our first project much has changed in San Juan County. Silverton has been "discovered", as well as ski area expansions are in the works. These changes have led to a need for all types of housing, including safe, buildable lots with access. These 12 parcels are location in a prime location between the town and the Silverton Mountain Ski area with extensive, ongoing development with in this designated economic development corridor. And given the vast amount of public lands in San Juan County, mixed with geological hazards viable potential parcels for residences are in demand.

By granting us some creative boundary adjustments the local community also secures over 50% of this project acreage in its current state, preserving view sheds, habitat and recreation areas. Existing roads will continue to be kept open to the public

Applicants are seasoned back country, off-grid, mountain residents who have lived in the high country of New Mexico and Colorado most of their lives. With hands on experience in another back country development in San Juan County and New Mexico they are quite adept in overcoming challenges and taking care of the land.

Applicants are planning for long term water improvement projects with the EPA and providing access and parking to other land owners and community members. Breaking this area out provides for development of 12 parcels without the having to broach the EPA access and development issue each time a permit is applied for. The EPA is considering this as a potential National Model!

Quite possibly, the most important benefit to this project is the future potential for 12 new tax paying homes in San Juan County that is *YEAR AROUND ACCESSIBLE*. That cannot be emphasized enough as most other back country locations are simply resulting in homes with

roads that are not plowed and may never be feasible to plow or access by any means in the winter. This means, these homes are only occupied a few weeks or months of the year.

And the Demand is HIGH! We have been contacted regularly by interested parties who wish to build year around residences to work and live in San Juan County since purchasing and proposing this project, including referrals from various Silverton residents. Unfortunately, many parcels and lots are priced outrageously high in the county, and ours will be priced below others to be more obtainable.

Proposed Development:

Rather than a large-scale development or spread-out development over ever increasingly high mountain parcels with challenging access we propose a boundary adjustment plan for 11 of 12 claims so that we can establish 5-acre parcels in the lower, safer, year around road accessible areas. Proposed Boundary Agreement to adjust property boundaries will **NOT** increase the number of **DEVELOPABLE** parcels. There are currently 12, and there will be 12 after adjustments. Driveway and community road improvements would begin June of 2024. An access bridge is proposed and will require building permit, but does not need a foundation.

Reasoning for Boundary Adjustments:

Boundary adjustments are being made in order to;

- Simply put 50 acres of prime, valley flat land along a plowed county road WILL BE developed. Our proposal is the least impactful way.
- Adjusting the highest parcels to have lower potential build sites reduces future planning headaches, preserves view sheds, provides more useful year around accessible home sites, creates significant preservation of pristine acreage and wildlife habitat, limits new roads, creates legal access for all parcels, creates safer build sites, and drops all potential building sites below 11,000’.
- To generally avoid difficulties between San Juan County Planning Commission and Commissioners with future land owners.

Future Improvements:

Immediate plans include improving and grading as needed, the existing network of old mine roads across these parcels as well as installing 2 sections of new road to connect the existing road network on the Anglo-Saxon Placer North to the South End, including a heavy traffic rated bridge. Roads across claims will be filed as ROW’s for future owners, and current cabin owner. Approximately 1,200 feet of new road will be created in 2 locations. Approximately 1700’ of existing road will be improved, regraded as needed. Road section to Anglo Saxon mine tunnel will remain abandoned or no longer maintained unless the EPA elects to utilize it. A future road

by others will improve EPA access, not a part of this application. The standard for all new roads is to be passable for a heavy, straight truck to assist in potential future home construction, as well as allow for emergency vehicle access to all properties. Bridge will be rated for over 80,000 lbs.

Road alignments are laid out as to be screened from view from County Road 110 as much as feasible.

An Easement will be granted for the owners of the Prodigal Son to access their existing trail without crossing through the EPA site. Permit will be applied for separately by them. See survey.

An Easement has been granted for the Lodge for safe, winter time parking. (approved already by the County)

A significant, ongoing effort will be made to remove dead and dying tree's resulting from over growth of the forest and past beetle infestation across the property.

Mandatory participation or sharing of cost in ROW road maintenance will be included in deeds of sold parcels in the future to insure safe, continuously maintained ROW roads.

Zoning: Mountain

Mining District: Animas

Septic Service:

At this time, there are no proposed septic systems. In the future, septic systems for individuals will be required to be designed according to San Juan Basin Health Department (SJBH) specifications by a Colorado licensed engineer. As required by SJBH, the septic systems will be designed in accordance site specific per rate for the number of bedrooms. It is anticipated that SJBH will require the Septic to be engineered.

Access:

There will be numerous access points. Access points were walked with Loui Gourdo in May of 2023. These include;

- New Road to bridge from CR 110 on East Side connecting to existing road near existing cabin.
- Existing Road on West Side to Parcels from CR 110
- Existing Road on North East End to complete loop through Placer Claim
- Existing Road across bench from County Road 21
- *Access to CR 21 which is currently maintained by the county will remain open until the end for public use to the conservation easements.*
- *Access onto the Anglo Saxon Placer via the new road may be restricted to private community and official use in the future.*

Water Service: No improvements related to water are proposed at this time. Significant surface water rights for these parcels do exist. There are indications the Bonita Peak Basin is less consistent in this area and sources of clean water including springs, appear throughout the property.

Electrical Service: Power is available all along the property line on the Anglo Saxon Placer for future owners to tie into. Cable and Phone is available on the opposite side of the road to tie into as well.

Historic Structures: There are no historic structures of significance on the property, except the Cribbing wall in from of the Anglo Saxon. No development activity will take place near this wall, and the EPA will be holding future discussions with the county on how to stabilize this wall.

Tree Clearing: The extensive, existing road network will see VERY minimal tree removal focused primarily on dead trees that regularly fall across roads and some trees that have grown up close to the roads over the years narrowing the roads too far in places.

Trees will be cleared as needed to establish approximately 1,200' of new road across the claims. Road locations have been selected to minimize tree removal whenever possible. Only one section of approximately 80 feet will see any significant tree removal!

Owners prefer to stock pile logs for firewood use and chip and spread small debris as opposed to dangerous burning.

Surveying:

There are no modern, complete surveys of these parcels and Southwest Land Surveying is surveying all parcels, pinning corners of adjusted parcels, laying out the EPA parcel, new and existing roads, and easements for other property owners. A preliminary survey with over lays is included in this application, with final work to take place after approval. After county approval

of this proposed Boundary agreement the County/ Project Surveyor Dirk will be submitting a new Survey Plat to filed at the County Court House.

Subsurface and Geo Hazard Conditions:

Subject mining claims lie on Ohio Peak and along the Cement Creek Valley. There are no known Geologic Hazards with in these 12 mining claims. There are no known landslide, snow or rock slide areas that threaten likely build sites. Attachment A shows slide relationships to parcels.

The County Geological Hazards Map Indicates the subject property is CST or colluvial slope accumulated areas from Colluvial or Glacial Sources. This can indicate potential land slide issues, however as is typical this map is not very reliable as it paints broad brush strokes over huge areas. In person observation is important as well as more detailed analyses when a build site is proposed. (not a part of this application except for bridge)

Actual observations for the purposes of potential build sites in project area indicate more of a shallow, bedrock underlying base on the West side of 110 including the bench.

In some areas CST is quite accurate for the hills East of the property line, but that is outside the scope of this proposal and potential build sites on relatively flat ground without the ability to slide.

Anglo Saxon Mine

This property contains the Anglo Saxon Mine. This previously inventoried Bonita Drainage Mine has had work as recently completed in 2023 to re-direct run off to naturally existing settling ponds, and away from Porcupine Creek and Mine tailings. At this time there is no “final decision on remediation”, however it is unlikely much more work will happen. I met with Athena Jones, Mark Rudolph and others on site. And discussed the current situation and what should happen moving forward. The EPA would like to repair the cribbing wall in the future that presents a hazard for CR 110, and continue to occasionally dredge the ponds every 5 years or so from the road. Additionally;

- We discussed keeping all development a reasonable distance away, and mapped out comfortable perimeters taking many possibilities into consideration. (ie: Test holes, future access needs etc.)
- Re-locating the prior planned easement (by prior owner) for The Prodigal Son which was completed.
- And we laid out a perimeter which was later surveyed as a new parcel to isolate the Anglo Saxon mine from the other claims, reducing future administrative work loads and isolating the property as a single point of contact and ownership. This could be a model to be used moving forward on other projects.
- Based upon these discussions and commitments they would write a clearance letter in support of this project since there is currently a hold on this property due to the un-completed reclamation. Letter to be issued after application for permit is submitted.

Wildfire Analyses:

Wildfire is a serious concern in any wildlands interface, with the problem of wildfire growing for numerous reasons. However, at the generally high elevation and wet nature of San Juan County combined with regular tree less fire breaks leads to limited, and small acreage fires, primarily as a result of lightening. As a contrast to dangerous conditions in nearby La Plata county.

Writer of this proposal and specifications did not have access to planning department excepted wildfire analyses publications. However, as of 2017 the Colorado State Forest service utilizes an updated portal that is extremely detailed. The subject property falls into moderate to high risk factor categories.

Taking a close up look at the property, you have Grassy Gulch, Cement Creek and County Road 110 as fire breaks. Access to creek water and nearby storage ponds is available.

The San Juan County fire department is 3.6 miles via State Highway to subject property, so fire protection and response is adequate. Access roads will be un-paved but accessible to any vehicle.

A bridge rated to handle fire trucks is including in this proposal.

Dead trees and pine beetle damage are relatively low in this area, and efforts to remove dead trees during development as well as clear ladder fuels will be made.

A secondary escape route across the creek from the East side of the Saxon Placier will be re-graded and maintained for emergencies. Other road distances to county road 110 are relatively short. Additionally open meadows could provide for safe zones in a fire emergency.

The following pre-cautions will be utilized in construction for future building permit requests;

- Create fire breaks around homes.
- Utilize fire resistant home construction including Logs which are of the highest fire rating and metal roofing.
- Thin property and remove excessive dead trees.
- Create firebreak roads on property with fire protection access.
- Maintain defensible zones for future structures.
- Utilize removed trees for firewood.
- Utilize "smart" remote monitoring fire detectors.
- Maintain access to lower emergency egress route via power line road.
- Maintain a water wagon in the community for small fires to prevent them from becoming big problems.

* Note: Note Fire Map is not Attached as it's not very useful

Avalanche Hazard:

San Juan County has a rich history of avalanche danger, not to be taken lightly when planning a residence, with 2019 demonstrating just how powerful they can be in particular. In the case of the subject mining claims;

- Several of the proposed adjusted parcels do overlap The Grassy Gulch Slide #43 Pages 225-226 of the Atlas. (also see our overlay) As well as small runs on the Anglo Saxon Mine Side that either do not exist in reality, or are of much smaller coverage than the map shows. However in no instance do they come close to potential, flat build sites.
- The Grassy Gulch slide relatively minor avalanche run is relatively skinny and parcels have buildable sites far outside of this slide path.
- An existing cabin has existed for decades in a blue zone right near the outlet of this path with no issues.
- Discussions with an avalanche expert indicated this run is well mapped and no further study is required. The exception would be if a future permit applicants selected a build site in a Blue Zone type area in which case San Juan County may have to require a study for that specific application. Under this proposal we do not select as exact build sites and further confirmation of hazards would be up to future owners.
- The only other mapped slide path on the property is Porcupine Gulch map 47, pages 178-179 of the Atlas. This path runs out over the Anglo Saxon mine site and is not likely relevant to any future parcel build sites. There is NO significant indication of avalanche within the last 100 plus years in this run.

See attachment A Avalanche

See attachment B Geo Hazard

View Shed:

In some areas of San Juan County view shed impacts can have a negative effect on the environment for visitors. These parcels were partially chosen because and future construction could be easily screened. Overall building locations are well screened by trees and away from any customarily visited locations to be seen without some effort and should any future buildings be viewed; the type of construction may be dictated by the San Juan County planning commission at the time of building application permit submission.

Potential view point locations analyzed for these parcels;

- County Road 110 – See attached photos of selected potential build sites for reference.

The 5 Parcels West of 110 have a nearly 0 percent chance of being visible. Potential spots on the East Side will vary from slightly visible to nearly impossible.

- From Existing Cabin – Trees provide excellent screening for all parcels and it is difficult to view the existing cabin from most places on our parcels.
- Ridgelines – Potential building envelopes may more closely be reviewed at the time building permits are submitted. However easy set back from any ridgeline edge is possible.

See attachment C Access Photos

See attachment D Lot/ Parcel Photos

Wetlands:

As the Placer claim has Cement Creek Running through it and we must cross the creek we engaged the services of SME Engineering to evaluate the entire Placer Claim where roads will run. There inventory and map is attached. The new Bridge Crossing of Cement Creek will NOT impact a wetland as both sides are not wetlands and this will be a clear span. However, while no traditional wetland issues were un-covered, there are some Fens on the property. As a result, new roads were re-surveyed and re-laid out several times to make sure no Fens **OR** traditional wetlands would be disturbed. The hard work applied to this process has resulted in a more environmentally friendly road lay out. We managed to reduce impacts to a whopping .03 of pre-emergent wetlands, primarily rocky soils with some wetland type plants. No other important habitats were inventoried. One additional parcel was re-structured to make sure quality potential build sites exist outside of the Fen areas which will remain open between parcels for wild life or potentially horses. Initially an Army Corps of Engineers 401 permit was applied for, but rejected in favor of a basic Nationwide Permit due to lack of impacts. Nationwide Permit Verification (SPA-2023-00492) This permit requires no other action other than to minimize impacts as proposed, and stay away from mapped Fens. Soil samples were taken for confirmation.

See attachment E SME Aquatic Survey

See attachment F Army Corps Nationwide Permit

Bridge:

As the only current access to the North Side of the property is via driving across Cement Creek. A single lane, beam and timber bridge has been designed by E & H manufacturing to provide access across the river for parcel owners, the existing, neighboring cabin, construction and emergency services as well as power line maintenance. This is a Basic Timber bridge that blends well with the environment. See attached design and engineering from E &H Manufacturing.

This bridge system utilizes 2 40' sections of pressure treated and tensioned timbers between steel beams. No footings are required, hence no wetland disturbance or flood issues. A Geotest was undertaken to assure adequate soils and is attached. A Colorado engineering firm was contacted but since there is no concrete foundation the manufactures plans may be utilized. Think of it like the many rail car bridges in the county, only this one is engineered!

A few key points on this system:

- Design Meets HS 20-44 standards or 80,000 lb 40 ton capacity.
- An optional drainage gravel will be utilized.
- Bridge may not exceed 2% slope
- 5' Overlap on land of bridge ends is mandatory and painted onto bridge sections.
- Owner will assist in yearly inspections of hardware and welds
- Tensioning of compression bolts must be checked every 10-15 years
- Owner has constructed much larger bridges in the wilderness prior.
- Bridge is well above the FEMA Flood Plane



See attachment G Bridge Engineers drawings

See attachment H Bridge Flyer

See attachment I Fema Flood Map Overlay

See attachment J Bridge Survey

See attachment K Geotech Report

Road Construction Standards:

SWPPP Plan – As we will not be disturbing an acre or more a formal Storm Water Permit Plan is not required. However great care will be taken to minimize impacts to Cement Creek during bridge construction, as well as any other negative run offs of silt.

Road Base – To every extent possible road will be constructed using native materials. Areas that are muddy will be rocked in and gravel added if needed. In our experience rocking muddy areas to prevent stuck vehicles or sediment run off is the number one issue. Primarily on-site cobbles and native fill that needs cleaned up from the Airy Lodge project will be utilized.

Culverts – None anticipated, but could be added for minor drainages. Plastic culverts to be used if highly acidic run off is encountered.

Bridge – Engineered as a single lane steel beam and timber bridge that will hold heavy duty traffic including construction equipment and fire trucks.

Width – Minimum of 12 feet single lane. Turns wide enough for large, straight trucks.

Geotechnical – Soil tests conducted for Bridge Abutments

Retaining Walls 4' or greater – None Anticipated, however approximately 4 feet of native fill will be used at the CR 110 connection. This connection will maintain appropriate slope and will not interfere with the count road in any way. A Colorado stamped and engineered design for Keystone is available if needed, up to 7'h .(would require Geo Grid inspections)

Flood Risk Analyses:

While FEMA Flood Risk Maps do include Cement Creek, a few points should be made;

- These maps are typically a bit exaggerated as grades were not shot in on site.
- The Majority of the flood zone is essentially the creek bed.
- Cement Creek does not have a history of major floods.
- All Fema zones are 100 year.
- Expanded areas shown on maps are all cobble bars with one exception
- Proposed bridge location is FAR higher than the 100 year flood zone at that location.

- All parcels have approval build sites outside of the mapped flood zone.
- Observations were made during 2023 peak run off, and never did the creek significantly enter even the cobble bar 100-year flood zones.

See attachment I Fema Flood Map Overlay

BOARD OF COUNTY COMMISSIONERS

San Juan County

P.O. Box 466

Silverton, Colorado 81433

970-387-5671

RELATIONSHIP OF PROPERTY TO COUNTY ROAD AND STATE HIGHWAY SYSTEMS

I, the undersigned, applicant engaged in the processing of Application for Improvement Permit No. _____, San Juan County, Colorado, do hereby acknowledge the following facts:

1. The real property' which is the subject of said application is on this date located approximately 6 feet from County Road No. 110, the nearest designated and publicly maintained county road.
2. Said County Road No. 110 is on this date maintained on an daily basis by San Juan County.
3. The real property which is the subject of said application is on this date located approximately N/A from Colorado State Highway No. N/A, the nearest designated state or federal highway.
4. Said Colorado State Highway No. N/A is on this date maintained on a year-round basis by either San Juan County or the Colorado Division of Highways.
5. A Driveway Permit will be necessary for any private access or egress relating to said real property which intersects any designated Colorado State Highway or Federal Highway.

Signed and dated this _____ day of _____, _____.

ATTEST:

Applicant

Position:

SAN JUAN COUNTY, COLORADO
DRIVEWAY AND ROAD ACCESS PERMIT

Improvement
Permit No. _____

Applicant: Lloyd Swartz
35 Canoncito Rd NE
Albuquerque, NM 87122

Location of Proposed Driveway or Access on County Road No. 110 :
3.3 miles from Park on County Rd 110 just past the bend in
Cement Creek on right.


Description of Proposed Driveway or Access, including materials to be used:
New location will include 3-3.5ft. of Native fill from Ainy Lodge
spoils topped w/Gravel. Slope from CR110 will be maintained
with no drainage impairments.
Two other road connections are existing.
Note: On site visit with Louis Gordo in May 2023.

Comment and Recommendations of County Road Supervisor:

Terms and Conditions of Issuance of Permit (or reason for denial):

Permit Approved _____ or Denied _____. Date: _____
Land Use Administrator: _____

San Juan County, Colorado
Application for Improvement Permit

		APPROVAL CHECKLIST		Initial	Date
Applicant	Name	Lloyd Swartz			
	Address	35 Canoncito Rd NE			
Owner	Name	Albuquerque, NM	87122-50525		
	Address				
	Phone		8915		
Contractor	Name				
	Address	Same as above			
	Phone				
Legal Description of Property:		Road System Relationship			
TBD CR 110 Silverton Co. @ 3.6 miles from Silverton Anglo Saxon Placier claim 42 17 31 Township N, Range W, Section		Zoning Compatibility			
		State Mining Permit			
		Owner Notification			
		Avalanche Hazard			
		Geologic Hazard			
		Floodplain Hazard			
		Wildfire Hazard			
		Mineral Resource Impact			
		Wildlife Impact			
		Historic Site Impact			
Nature of Improvement Planned:		Watershed Gearance			
Engineered pre-fab bridge across cement creek No foundation required.		County Building Inspector			
		Building Permit			
		State Electrical Inspector			
Land Use Zone:		Electrical Permit			
Applicant Signature		San Juan Basin Health Unit			
		Sewage Disposal: Test			
		Design			
Date Application Requested		Central Sewage Collection			
Date Submitted for Permit		State Division of Water Resources			
Date Permit Issued		Adequate Water Source			
Date Permit Denied		Well Permit			
Reason for Denial		Central Water Distribution			
		U.S. Forest Service/BLM			
		Access Approval			
		State Division of Highways			
Receipt		Driveway Permit			
FEE PAYMENT		Amount	Date		
Application					
Building Permit					
Subdivision/PUD					
Hearing Notice					
		Subdivision Variance			
		Subdivision Approval			
		PUD Approval			

RECEIPTS
SAN JUAN COUNTY TREASURER
 Tax Year / Statement #: 2023 / 3047

Date - Time:
 4/18/2024 - 8:52:55AM

Tax District: 101 - 101 Value: 97,132
 Parcel #: 47750310040000 ACCT#: N2833 Property Type: MN
 Land Nbrhd: 1 Block: Lot:

SWAR00001
 SWARTZ LLOYD O & ESTHER M

35 CANONCITO DR NE
 ALBUQUERQUE, NM 87122-2113

Owner: SWARTZ LLOYD O & ESTHER M

Legal: ANGLO SAXON PLACER - 18687, ANGLO
 SAXON #1 - 18687, ANGLO SAXON #2 - 18687,
 ANGLO SAXON #3 - 18687, ANGLO SAXON #4 -
 18687, ANGLO SAXON #5 - 18687, ANGLO

Taxing Authority	Mill Levy	Amount
101 County	19.641000	1,907.78
101 SCHOOL DISTRICT #1	15.484000	1,504.00
101 SOUTHWEST WATER COMB	0.247000	33.70

Taxes Paid

Receipt #	Payment Date	Tax Descr.	1st Half	2nd Half	Interest / Fees	Total	Comment
671	02/28/2024	AdValorem	1,722.74	0.00	0.00	1,722.74	
Grand Total Paid						1,722.74	

Tender Collected

Payment Date	Check Paid	Cash Paid	Card Paid	AAE/Rev. Paid	Change	Operator	Paid By
02/28/2024	1,722.74	0.00	0.00	0.00	0.00	Deanna Jaramillo	CAMINO REAL ESTATE HOLIDNGS LLC

Remaining Penalties	Remaining Fees	Remaining 1st Half	Remaining 2nd Half	Remaining Total
0.00	0.00	0.00	1,722.74	1,722.74

Results of Survey and Boundary Line Adjustment

Anglo Saxon Placer, Anglo Saxon No. 1, Anglo Saxon No. 2 and the Anglo Saxon No. 4, MS 16687
Suspended, Township 42 North, Range 7 West, of the New Mexico Principal Meridian
San Juan County, Colorado

DISCLAIMER

This survey was performed without the benefit of a title policy or examination and does not constitute a title search by Southwest Land Surveying.

Confidence in a survey does not give the owner the right to sue for damages for the surveyor's negligence or for the surveyor's failure to discover or disclose any encumbrances or other matters which might affect the title to the land surveyed.

No guarantee is to be made as to the accuracy of the information furnished by others in connection with this survey or the original signatures of the professional surveyor herein.

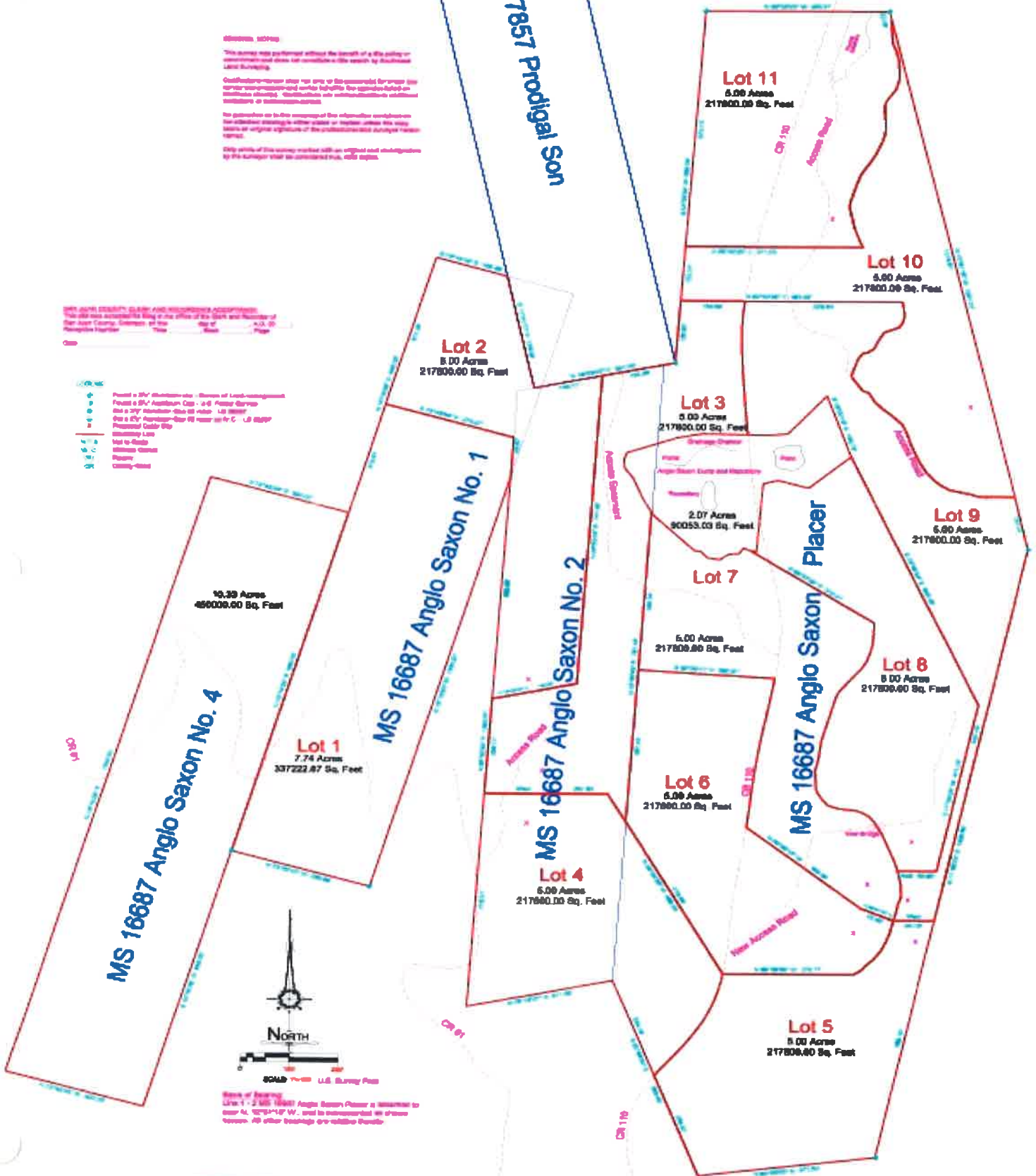
Only points of this survey marked with an official seal and signature by the Surveyor shall be considered true, and correct.

SEE JOHN DEERE CASE AND RECORDS FOR ADJUSTMENT
The old case records are in the office of the State and Secretary of San Juan County, Colorado at the
Reception Building, Room 100, Santa Fe, N.M. 87501

- 1/8" = 100'
- 1/4" = 200'
- 1/2" = 400'
- 3/4" = 600'
- 1" = 800'
- 1 1/4" = 1000'
- 1 1/2" = 1200'
- 1 3/4" = 1400'
- 2" = 1600'
- 2 1/4" = 1800'
- 2 1/2" = 2000'
- 2 3/4" = 2200'
- 3" = 2400'
- 3 1/4" = 2600'
- 3 1/2" = 2800'
- 3 3/4" = 3000'
- 4" = 3200'
- 4 1/4" = 3400'
- 4 1/2" = 3600'
- 4 3/4" = 3800'
- 5" = 4000'

Point is 3/4" diameter - Brass or Lead - uncoated
Point is 3/4" diameter - Brass or Lead - coated
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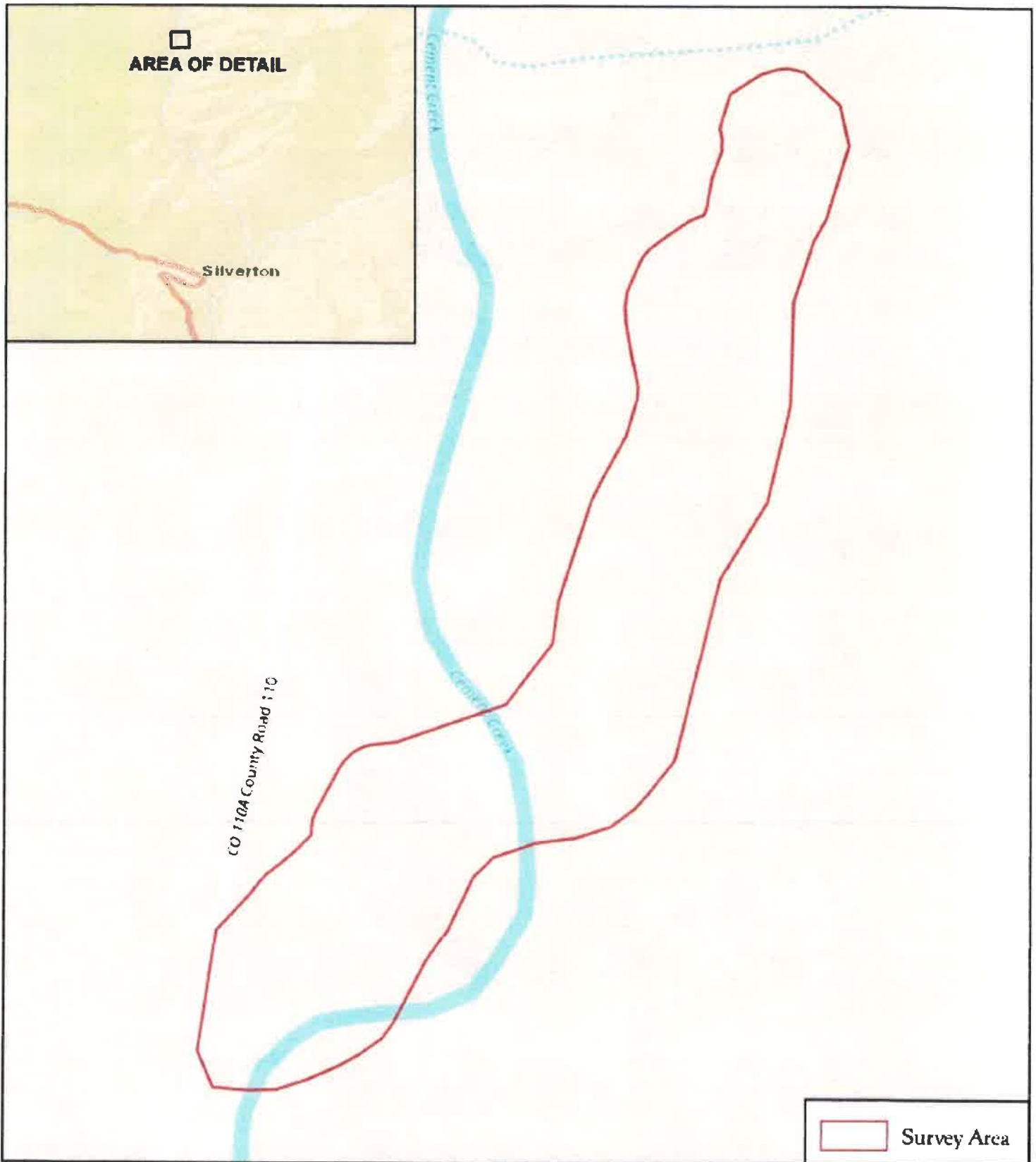
7857 Prodigal Son




CERTIFICATE OF SURVEY



I, **John Deere**, a Registered Land Surveyor in the State of Colorado do hereby certify that this survey was performed without the benefit of a title policy or examination and does not constitute a title search by Southwest Land Surveying.

SW WEST LAND SURVEYING, LLC 17100 N. 1st Street, Suite 100 Aurora, Colorado 80012 Phone: (303) 733-1111 Fax: (303) 733-1112 Website: www.swwestland.com		Anglo Saxon Properties, LLC 17100 N. 1st Street, Suite 100 Aurora, Colorado 80012 Phone: (303) 733-1111 Fax: (303) 733-1112 Website: www.anglosaxon.com
Surveyor John Deere License No. 12345	Client Anglo Saxon Properties, LLC	Project Results of Survey and Boundary Line Adjustments



 Survey Area

SME
 ENVIRONMENTAL CONSULTANTS
 679 East 2nd Ave. Unit E2, Durango, Colorado 81301
 www.sme-env.com (970) 269-9596

Drawn by:	Rvwd. by:	Project No.:
SB	SM	230030
Date:	Rvwd. Date:	Scale:
1/30/2024	NA	1:1,800
		

ROAD VICINITY MAP

AQUATIC RESOURCES
 DELINEATION REPORT
 ANGLO SAXON CLAIMS
 SAN JUAN COUNTY, CO

FIGURE
1

Results of Survey and Boundary Line Adjustment

Anglo Saxon Placer, Anglo Saxon No. 1, Anglo Saxon No. 2 and the Anglo Saxon No. 4, MS 16687
Suspended, Township 42 North, Range 7 West, of the New Mexico Principal Meridian
San Juan County, Colorado

GENERAL NOTES

The survey was performed without the benefit of the copies of recorded and survey records for the purpose of this survey.

Conductor's notes and reports to the client are the basis for this survey. The survey was performed and the boundary line adjustment was based on the data provided. Contributions are made to the additional boundaries of the adjacent parcels.

In accordance with the accuracy of the information contained on this map, the surveyor has provided a professional surveyor's seal and signature on the original copies of the plat and a copy of this plat to the client.

Only prints of this survey were made and are not subject to the same legal status as the original survey.

BY SAN JUAN COUNTY CLERK AND RECORDS ACCEPTANCE

This plat was recorded on the 15th day of the month of August, 2007, at the County Clerk's Office, San Juan County, Colorado, in the presence of the County Clerk, Clerk of the Court, and the County Treasurer.

15th August 2007

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North of bearing
Line 1-13 MS 16687 Anglo Saxon Placer is assumed to
bear N 32°11'18" W, and is monumented as above
unless otherwise indicated as above.

CONDITIONS OF SURVEY:

I, Peter J. Taylor, a Professional Land Surveyor in the State of Colorado do hereby certify the
true and accurate representation of the surveying services shown on this plat were
performed by the professional land surveyor or under the professional land surveyor's charge, in
accordance with the standards and procedures of the Surveying and Mapping Board of Colorado. It is
my responsibility and obligation to ensure that the surveying and mapping services were performed in
accordance with the standards and procedures of the Surveying and Mapping Board of Colorado, and that the
surveying and mapping services were performed in accordance with the standards and procedures of the
Surveying and Mapping Board of Colorado.

THIS GENERAL SURVEY
was performed in accordance with the standards and procedures of the Surveying and Mapping Board of Colorado, and that the
surveying and mapping services were performed in accordance with the standards and procedures of the Surveying and Mapping Board of Colorado.

Surveyor
P.J. Taylor

Date
15th August 2007

Scale
As Shown

U.S. FEDERAL SURVEYING
BOUNDARIES ARE NOT TO BE CONSIDERED
OR CONSIDERED

ROSWEST LAND SURVEYING LLC
1000 N. 1st St., Suite 101, Durango, CO 81301
719-247-1111
www.roswestland.com

Surveyor
P.J. Taylor
15th August 2007

Results of Survey and
Boundary Line Adjustments
Anglo Saxon Placer No. 1,
Anglo Saxon No. 2 and
Anglo Saxon No. 4

Anglo Saxon Placer, LLC
15th August 2007

THIS GENERAL SURVEY
was performed in accordance with the standards and procedures of the Surveying and Mapping Board of Colorado, and that the
surveying and mapping services were performed in accordance with the standards and procedures of the Surveying and Mapping Board of Colorado.



Building Permit Application

*Address of Job Site: TAB CR 110 Anglo Saxon Claims

*Class of Work:

NEW ADDITION ALTERATIONS REPAIR MOVE OTHER

*Property Owner: Lloyd Swartz *Phone: 505-252-0915

*Mailing Address: 35 Canonicito Rd NE

*City: Albuquerque *State: NM *Zip Code: 87122

*Email Address: Ravensnest estates@gmail.com

Contractor: Lloyd Swartz Phone: 505252.0915

Legal Description:

*LOT NO.(S): *BLOCK: *ZONE: *(If Applicable) ADDITION:

*Hazard: NONE FLOOD AVALANCHE SLOPE

Structural Information:

** Req if NEW Structure: ** Survey Provided: YES NO ** Plot Plan Provided: YES NO

Designed By: F+H LICENSE PE#

SQ.FT.: HEIGHT: TOTAL UNITS: TOTAL ROOMS:

*Describe All Work To Be Done:

Install Prefab bridge crossing, timber & beam no concrete foundation over cement creek.

*Printed Name: Lloyd Swartz

*Signature: [Signature] *Date: 4/13/24

(Staff Use ONLY)

Total Estimated Valuation of Work: \$ 50,000.00 Estimated Permit Fee: \$

Attachment A:

Avalanche Hazard Map

Anglo Saxon Placer, Anglo Saxon No. 1, Anglo Saxon No. 2 and the Anglo Saxon No. 4, MS 16697
Suspended, Township 42 North, Range 7 West, of the New Mexico Principal Meridian
San Juan County, Colorado



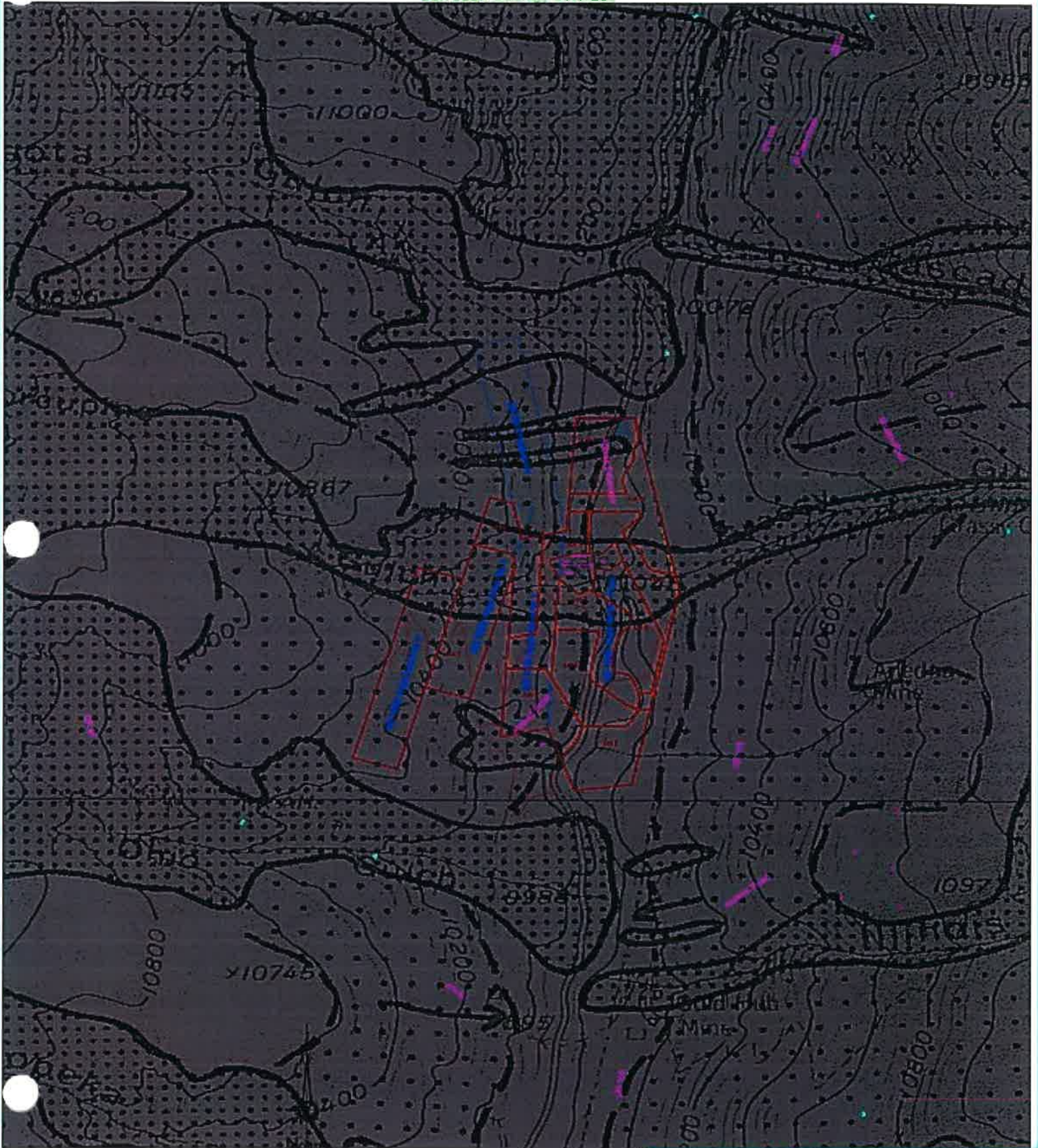
0 100 200
SCALE Feet U.S. Survey Feet

Basin of Debris:
Lines 1 - 2 are 100' Anglo Saxon Placer as approved by
Order No. 20071187W, also as indicated and as shown
on record. All other bearings are relative thereto.

<p>1" = 200 U.S. Survey Feet</p> <p>80% VDS</p> <p>07/14</p>	<p>West Land Services LLC</p> <p>1000 West 10th Street, Suite 100 Durango, Colorado 81301</p> <p>Avalanche Hazard Map</p> <p>From Base/Plan: From Base No. 1, Map Showing 1/24th Right-of-Way to a 1/4th Acres. Located in the 1/4th Section of 1/4th of</p>	<p>Anglo Saxon Properties, LLC</p> <p>200 West 10th Street, Suite 100 Durango, Colorado</p>
--	--	---

Avalanche Hazard Map

Anglo Saxon Placer, Anglo Saxon No. 1, Anglo Saxon No. 2 and the Anglo Saxon No. 4, MS 16687
Suspended, Township 42 North, Range 7 West, of the New Mexico Principal Meridian
San Juan County, Colorado



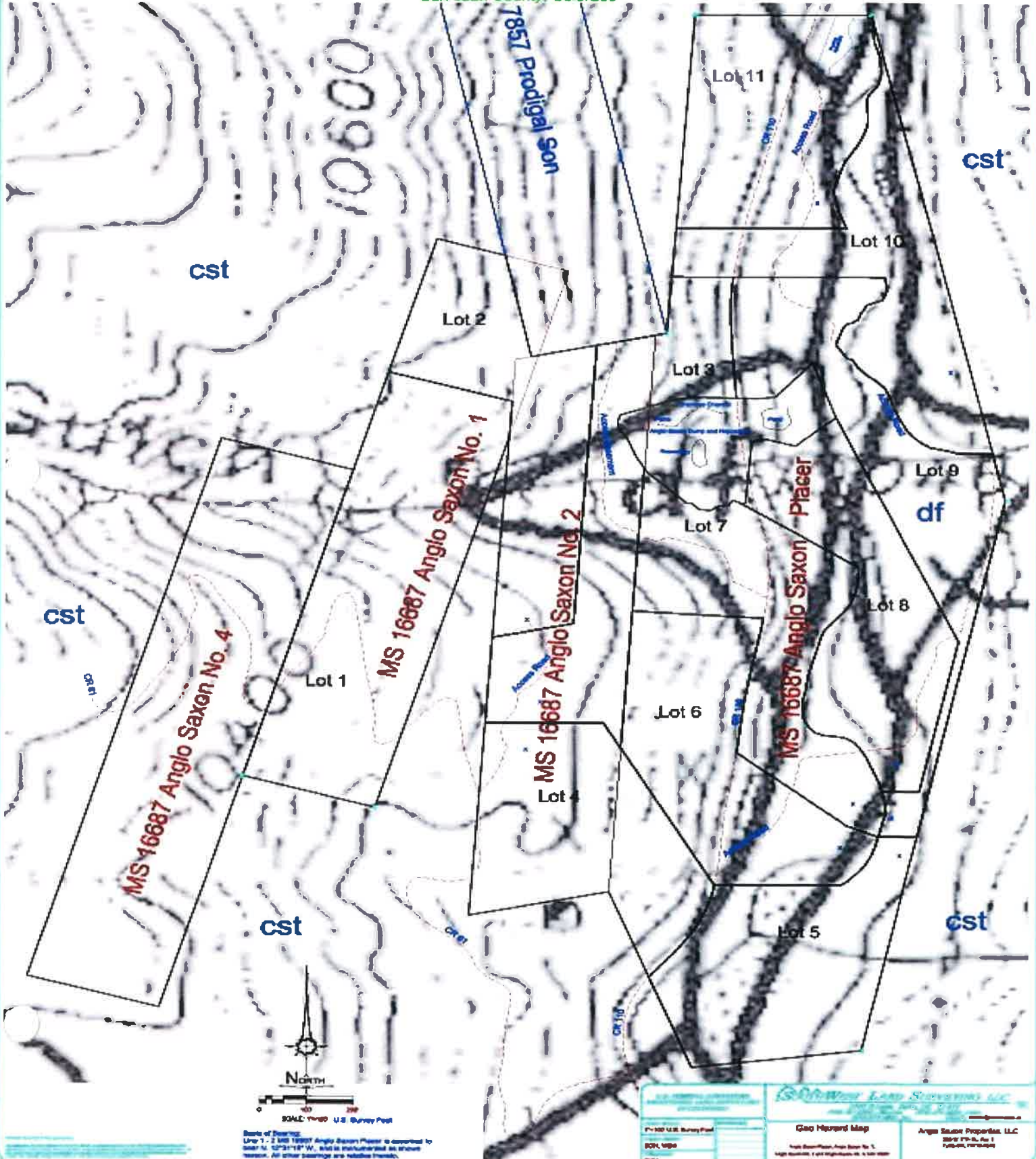
Base of Drawing:
Line 1 - 2 MS 16687 Anglo Saxon Placer is prepared by
order No. 1072118777, dated 04/16/2010 and the Survey
Section, All other bearings are relative thereto.

<p>1:1000 U.S. Survey Feet</p> <p>0 500 1000</p> <p>SCALE 1:1000 U.S. Survey Feet</p>	<p>West Land Systems, Inc. Surveying & Mapping Solutions</p> <p>Avalanche Hazard Map</p> <p>Anglo Saxon Placer, MS 16687</p> <p>San Juan County, Colorado</p>	<p>Anglo Saxon Placer, LLC 200 W. 10th St., Suite 200 Durango, CO 81301</p>
---	---	---

Attachment B:

Geo Hazard Map

Anglo Saxon Placer, Anglo Saxon No. 1, Anglo Saxon No. 2 and the Anglo Saxon No. 4, MS 16687
Suspended, Township 42 North, Range 7 West, of the New Mexico Principal Meridian
San Juan County, Colorado



Attachment C: Access Photos

Anglo Saxon Access Points

Bench Access from County Road 21 Existing



Country Road 110 to County Road 21 Existing



New Access Point to County Road 110



County Road 110 to Existing Road North End of Anglo Saxon Placer to lot #11

(Note: Aerie Lodge Parking Easement is across Creek/culvert)



A Video Drive through on County Road 110 is available at

<https://youtu.be/FMj7eUMMyN8>

Attachment D: View Shed Photos

Anglo Saxon

View Shed Photos for potential Cabin Sites and Avalanche Run

Lots 2 3 and 4



Anglo Saxon 4 and Lot 1 Similar



Lots 5 and 6





Lot 11



Towards Lots 5,7, 8,9 across creek



Existing Cabin, Avalanche run and lot 10 left on hill



Attachment F: Army Corp Nationwide Permit



DEPARTMENT OF THE ARMY
ALBUQUERQUE REGULATORY DIVISION, SOUTHERN COLORADO BRANCH
DURANGO OFFICE
1970 E 3RD AVE, SUITE 109
DURANGO, CO 81301-5025

April 11, 2024

Regulatory Division

SUBJECT: Nationwide Permit Verification (SPA-2023-00492)

Attn: Lloyd Swartz
Camino Real Estate Holdings
35 Canoncito Road Northeast
Albuquerque, NM 87122
RavensNestEstates@gmail.com

Dear Mr. Swartz:

The U.S. Army Corps of Engineers (Corps), Albuquerque District, is responding to your pre-construction notification (PCN) submitted to us for verification of authorization under Nationwide Permit (NWP) for the *Overland Estates* project. The project site is located in wetlands tributary to Cement Creek, a perennial stream that is tributary to the Animas River, at approximately latitude 37.85758°, longitude -107.67544°, approximately four (4) miles north of the Town of Silverton, San Juan County, Colorado.

Based on the information provided, we have determined that the *Overland Estates* project involves the discharge of dredged or fill material into waters of the United States (WOTUS) for the purpose of constructing a residential driveway, subject to Section 404 of the Clean Water Act. The specific activity that requires Corps authorization is the discharge of structural roadbed fill material overlaid with gravel into palustrine emergent wetlands (PEM) at three (3) separate locations. These activities will result in permanent impacts to a combined total of 0.03 acre of PEM. The activities would be constructed in accordance with the updated PCN materials dated January 30, 2024.

We have determined that activities in WOTUS associated with the project are authorized by 2021 NWP 14 – *Linear Transportation Projects*. A summary of this permit and the Colorado Regional Conditions are available on our website at <http://www.spa.usace.army.mil/Missions/Regulatory-Program-and-Permits/NWP/>. Please refer to our website at <http://www.spa.usace.army.mil/Missions/Regulatory-Program-and-Permits/Water-Quality-Certification/> for specific information regarding compliance with state water quality certification requirements. The permittee must ensure that the work complies with the terms and conditions of the permit, including Colorado Regional Conditions. As required by General Condition 30, you shall sign the enclosed Compliance Certification (Enclosure 1) and return it to this office within 30 days after completion of the authorized work.

Our review of this project also addressed its effects on threatened and endangered species and historic properties in accordance with General Conditions 18 and 20. Based on the information provided, we have determined that this project will have no effect to federally listed species or their critical habitat. Additionally, the project has no potential to cause effects on historic properties. However, these determinations may be invalidated if the project is not completed as authorized or you did not provide accurate information in your PCN.

This permit verification is valid until March 14, 2026, unless the NWP is modified, suspended, reissued, or revoked prior to that date. Continued confirmation that an activity complies with the terms and conditions, and any changes to the NWP, is the responsibility of the permittee. Activities that have commenced, or are under contract to commence, in reliance on an NWP will remain authorized provided the activity is completed within 12 months of the date of the NWP's expiration, modification, or revocation.

This letter does not constitute approval of the project design features, nor does it imply that the construction is adequate for its intended purpose. This permit does not authorize any injury to property or invasion of rights or any infringement of federal, state, local, or tribal laws or regulations. The permittee and/or any contractors acting on behalf of the permittee must possess the authority and any other approvals required by law, including property rights, to undertake the proposed work.

The landowner must allow Corps representatives to inspect the authorized activity at any time deemed necessary to ensure that it is being, or has been, accomplished in accordance with the terms and conditions of the permit.

Please refer to identification number SPA-2023-00492 in any correspondence concerning this project. If you have any questions, please contact me by email at Tucker.J.Feyder@usace.army.mil, or telephone at (970) 259-1604 ext. 2.

Sincerely,

A handwritten signature in black ink, appearing to read "Tucker Feyder", written over a set of horizontal lines.

Tucker J. Feyder
Sr. Project Manager
Southern Colorado Branch

Enclosures

COMPLIANCE CERTIFICATION

Action Number: SPA-2023-00492

Name of Permittee: Attn: Lloyd Swartz, Camino Real Estate Holdings

Nationwide Permit: 14 – Linear Transportation Projects

Upon completion of the activity authorized by this permit and any mitigation required by the permit, sign this certification and return it to the following address:

U.S. Army Corps of Engineers, Albuquerque District
Southern Colorado Branch
1970 East 3rd Avenue, Suite 109
Durango, CO 81301
spa-rd-co@usace.army.mil

Please note that your permitted activity is subject to a compliance inspection by a U.S. Army Corps of Engineers representative. If you fail to comply with this permit, you are subject to permit suspension, modification, or revocation.

I hereby certify that the work authorized by the above-referenced permit has been completed in accordance with the terms and conditions of the said permit, and required mitigation was completed in accordance with the permit conditions.

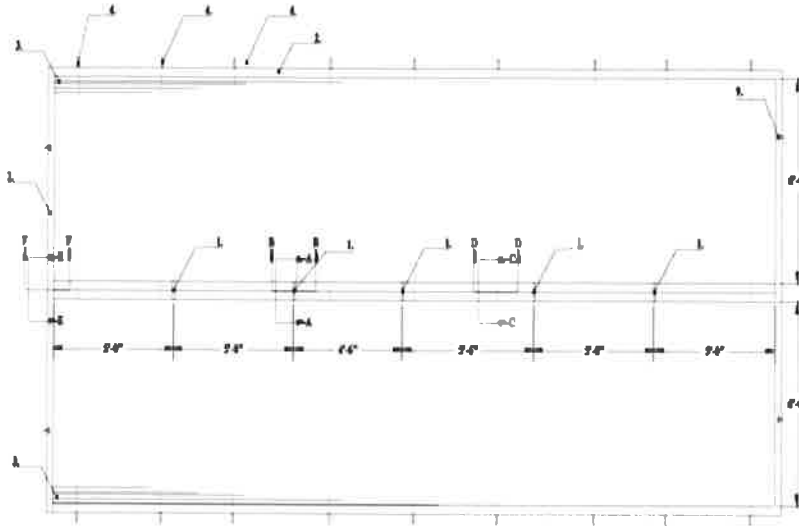
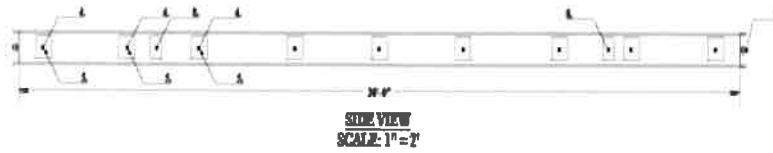
Date Work Started _____

Date Work Completed _____

Signature of Permittee

Date


Attachment G: Bridge Engineers Drawings



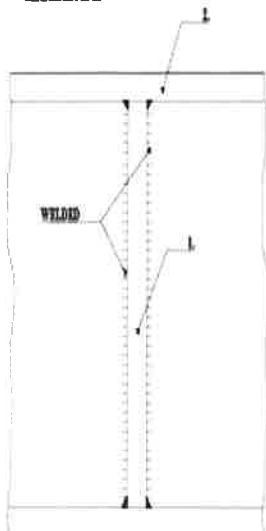
**END VIEW
SCALE: 1"=2'**

- LEGEND:**
- 1. STEEL BEAR KEY
 - 2. STEEL CHANNEL
 - 3. WOOD DECK
 - 4. THREAD ROD OR PRESTRESSING BAR
 - 5. STEEL BEARING PLATE
 - 6. CONTINUOUS Y THREAD ROD
 - 7. HEXAGONAL NUT
 - 8. LIFT EYES, 1 ON EACH SIDE
 - 9. D-RINGS, 2 ON EACH END.

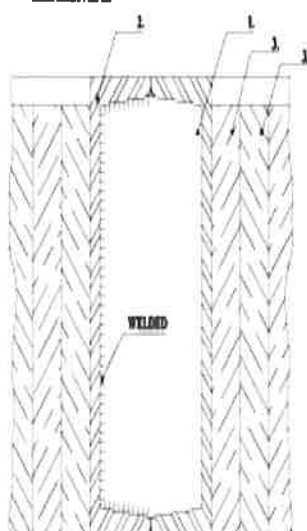
**PLAN VIEW
SCALE: 1"=2'**

			<p>EDM MANUFACTURING INC. 11100 10th St, Calgary, AB T2C 1S5 PHONE: 403-241-8879 FAX: 403-241-2880 EMAIL: info@edm-manufacturing.com WWW: www.edm-manufacturing.com</p>	<p>SCALE: 1"=2' DATE: 02/15/17 DRAWN BY: [Name] CHECKED BY: [Name] APPROVED BY: [Name] PROJECT NO. [Number]</p>	<p>THRASHER</p> <p>THE THRASHER GROUP INC. 104 A HARTWELL RD. FREDRICK, MD 21703 P.O. BOX 1000, FREDRICK, MD, USA, 21703 PHONE: 301-461-2100 FAX: 301-461-4344</p>	<p>DATE: [Date] DRAWN BY: [Name] CHECKED BY: [Name] PROJECT NO. 1-01-789-11017</p>	<p>EDM MANUFACTURING INC. CUSTOMER PLAN SHEETS SL80-10-40 80' ENGINEERED BRIDGE PLAN AND BUTY JOINT PATTERN</p>	<p>1</p>
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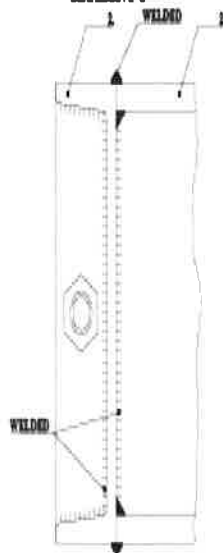
SECTION B-B



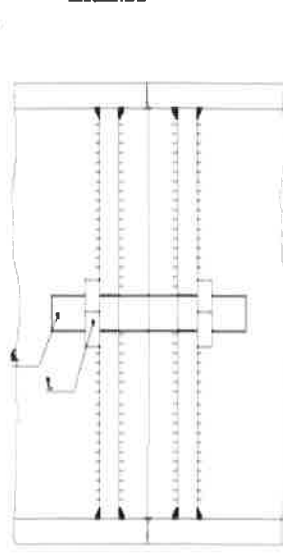
SECTION A-A



SECTION F-F



SECTION E-E



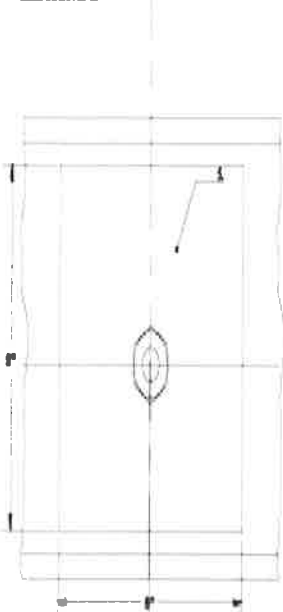
SHEAR KEY DETAIL

NOT TO SCALE

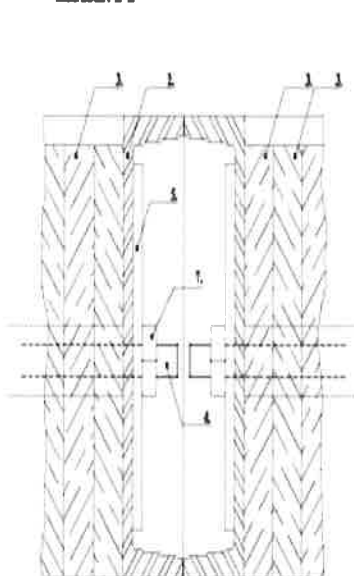
END BLOCK DETAIL

NOT TO SCALE

SECTION D-D



SECTION C-C



LEGEND:

- 1 STEEL SHEAR KEY
- 2 STEEL CHANNEL
- 3 WOOD DOCK
- 4 THREAD ROD OR PRESTRESSING BAR
- 5 STEEL BEARING PLATE
- 6 CONTROLS Y THREAD ROD
- 7 HEXAGONAL NUT

BEARING PLATE DETAIL

NOT TO SCALE

NO.	REV.	DATE	DESCRIPTION



E&H MANUFACTURING INC.
 4200 20TH AVENUE SW
 BOULDER, CO 80501
 (303) 440-0000
 FAX (303) 440-0001
 WWW.EANDH.COM

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E&H MANUFACTURING INC.
 CUSTOMER PLAN SHEETS
 9,30-10-40
 30' ENGINEERED BRIDGE
 DETAILS

DESIGN

1. These drawings are for a longitudinal stress-laminated timber bridge deck. The deck consists of a series of parallel 1.5-in. thick stress laminations that are placed on edge between supports and transversely compressed with high-strength steel bars. Deck laminations of various lengths may be placed in a repetitive butt-joint pattern. Bridge deck loading is AASHTO HS 20-44 or 44,400 lb total. Live load deflection is not allowed for these structures.

2. The design complies with the AASHTO LRFD Bridge Design Specifications, Eighth Edition, 2011, except where noted. The design is based upon an instantaneous prestress of 100,000 psi which has been shown to provide optimum field performance.

3. The design assumes a minimum bearing length of 5-ft. at both bridge ends and a span length measured between bearings. A longer bearing length will result in a slightly more conservative design.

4. General drawings are limited to 17' maximum by AASHTO. Minimum bearing length is 5-ft on both sides of the bridge.

5. This bridge deck is designed with no applied working surface.

MATERIAL AND FABRICATION

Wood

4. Use lumber compliant with the requirements of AASHTO M113 and to be in Southern Pine, Grade No. 1, treated with wood preservatives. The moisture content of lumber shall not exceed 19 percent at the time of installation.

Preservative Treatment

7. All lumber is treated in accordance with AASHTO M113 and AWWA Standard C81.

8. Treated material follow post-treatment requirements recommended in Best Management Practices for the Use of Treated Wood in Aquatic Environments (BMP) 1996 to ensure all surfaces are free of excess preservative and chemicals are limited to the wood.

9. Preservative treatment is inspected and certified by someone with AASHTO M113 and AWWA Standard C81.

Steel Fasteners and Hardware

10. Steel plates and slaps comply with the requirements of ASTM A36.

11. Stranding bars comply with the requirements of ASTM A714, with tensile strength of 118 ksi and yield strength of 110 ksi or 80ksi minimum tensile rods.

12. Deck end lag screws comply with the requirements of ANGLEBAR Standard W4.1-1701, Grade 2.

13. Stranding bars are stainless steel. All other fasteners are plain steel.

14. Washers are provided under bolt and lag screw heads and under nuts that are in contact with wood. Washers may be omitted under heads of special anchor bolts or dome-head bolts where the size and strength of the head is sufficient to develop connection strength without wood crushing.

CONSTRUCTION

15. Tensioning of the high strength stranding bars is typically performed with a single hydraulic jack and steel stranding chair in a repetitive manner beginning at one end of the bridge. When initially tensioning bars, it is important that the full tension not be applied until all laminations are aligned and in full contact with adjacent laminations.

16. Stranding bars shall be fully tensioned to the values specified on the plans in accordance with the following sequence:

1. Stress to full design level at time of construction.
 2. Restress to full design level not less than one week after the initial stranding.
 3. Restress to full design level not less than 4 weeks after the second stranding.
- It is recommended that the bars be checked and restressed as required, 1 year after construction and at 1.5 year intervals thereafter until the bar force stabilizes above 98 percent of the design level. If excess bar length is to be trimmed, leave a minimum of 2-in. beyond the anchor nut to allow for restressing.

17. All wood and metal components shall be handled and stored carefully so as not to damage the material. If damage does occur, exposed untreated wood shall be field treated in accordance with AASHTO M113.

18. Design Values for HL-20-10-44

Prestressing design bar tension force: 20,000 lb.

Design Load: HS 20-44 and 44,400 lb.

Bridge Self Weight: 4,700 lb.

MAINTENANCE

19. Before each installation, and daily during use, the bridge modules should be visually inspected. Items to inspect include:

- a. Stranding Rods. This 30-foot bridge contains nine (9) stranding rods spaced over the length of each module. If rods are loose or broken or if the bridge is showing a permanent deformation (bending), DO NOT install or use the bridge under any circumstances. Permanent deformation may be an indication that the bridge has been over-loaded, been improperly installed, or that the required level of stress on the rods is not present.
 - b. Winks on the steel channel surrounding each bridge module must be intact at each corner.
 - c. Intentional board deformation within a bridge module indicated by boards protruding significantly above or below the plane of the bridge module, should be retained.
 - d. Winks at each joint between 80 eyes must be intact.
 - e. All door latches must be in place and all bolts must be intact.
 - f. End connector plates must be in place and bolts must be intact.
- If an inspection indicates problems, DO NOT install or use the bridge under any circumstances. The assistance please contact E & H Manufacturing, Inc.

20. Restressing the Bridge - The strength of the bridge results from the friction created between the boards from the compression achieved by the stranding rods. Over time this compression may relax and needs to be regained. To recover the compression back in or near its original state, the rods will need to be restressed periodically.

Yearly, a torque wrench should be applied to the nuts on each stranding rod to a minimum torque value of 400 ft.-lb. Caution should be used to prevent the nuts from slipping, and a restraint should be used to avoid accidentally falling off the bridge during tightening.

Every 5-10 years or when the bridge is moved from one site to another, prestressing equipment should be used to ensure the bars are restressed to full design levels given in table 18.

NO.	REV.	DATE	DESCRIPTION



E & H MANUFACTURING, INC.
 P.O. BOX 2000, WYOMING, WY 82001
 PHONE: (307) 342-1070
 FAX: (307) 342-1080
 WWW: www.eandh.com

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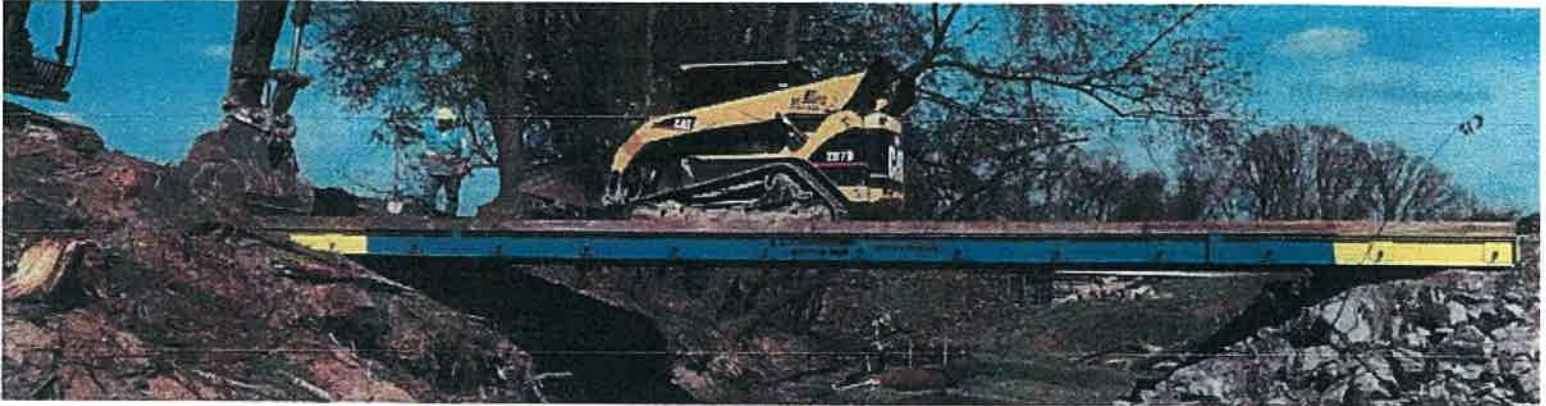


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E&H MANUFACTURING INC.
 CUSTOMER PLAN SHEETS
 9130-10-40
 30' ENGINEERED BRIDGE
 NOTES

Attachment H: Bridge Information Flyer



PORTABLE TIMBER BRIDGE SYSTEMS

- Temporary or permanent bridge solutions
- 40 ton weight capacity
- AASHTO HS-20 load rated
- Applications for timber, coal, oil and gas, industrial, agricultural, residential, State and Federal governments, emergency response organizations, land developers, etc.
- Leasing programs and Lease/Purchase options available

Oil & Gas Industry

Oil and gas exploration and production activities can be greatly simplified through the use of timber bridges by:

- Providing access to well sites without stream disturbance
- Simplifying the permitting process and reducing time and expenses where stream crossings exist

- Providing access to well pads for drilling rigs and service equipment up to 80,000 pounds
- Easy installation and removal with standard oilfield construction equipment

Logging Industry

Our bridges provide loggers with many benefits such as:

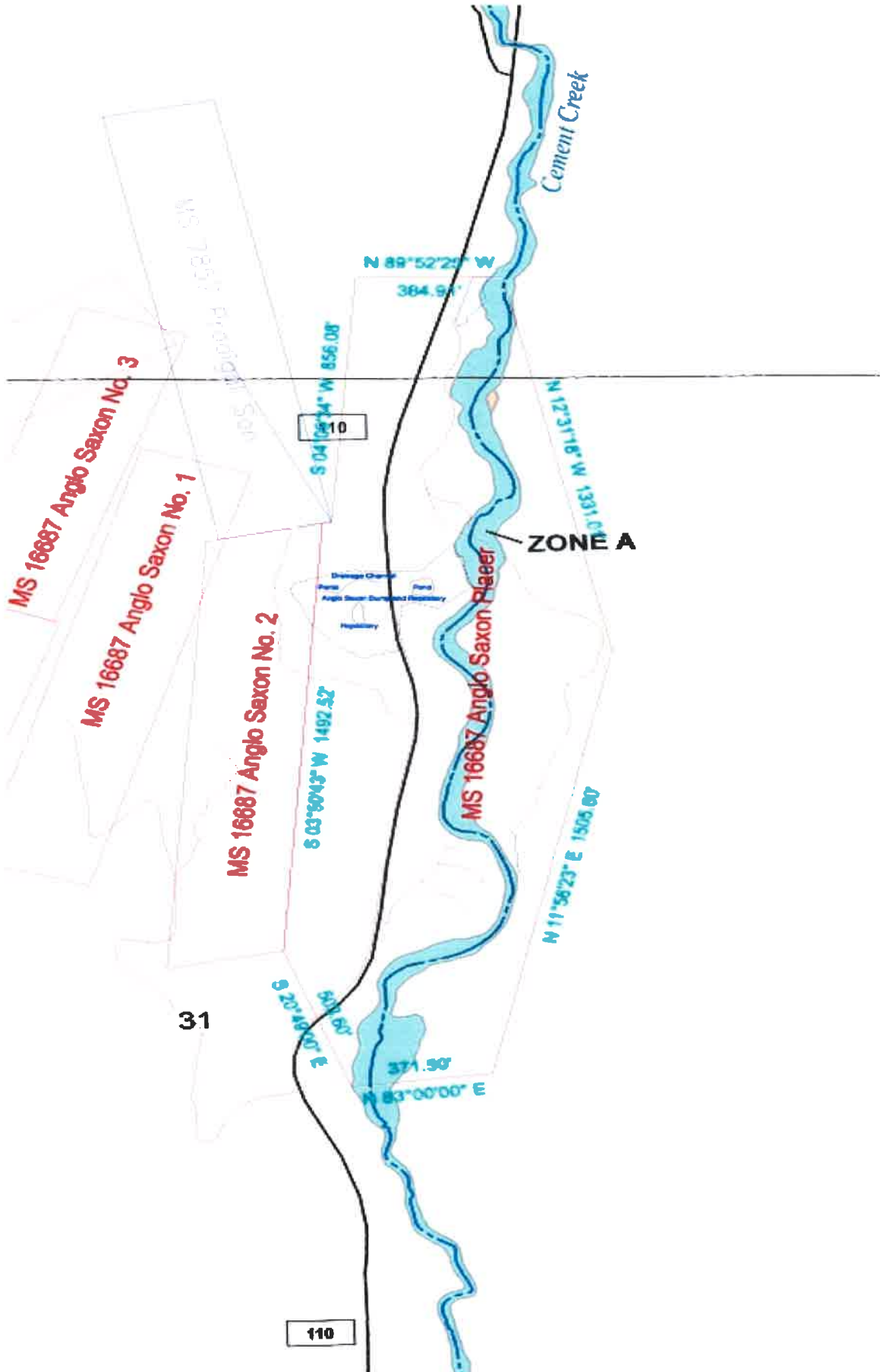
- Portability and reuse
- 30 and 40 foot bridges available
- Can be used to skid or truck timber across
- Easy installation with conventional logging equipment such as skidder or dozer
- Exceeds existing BMPs for stream crossings

Other Industries

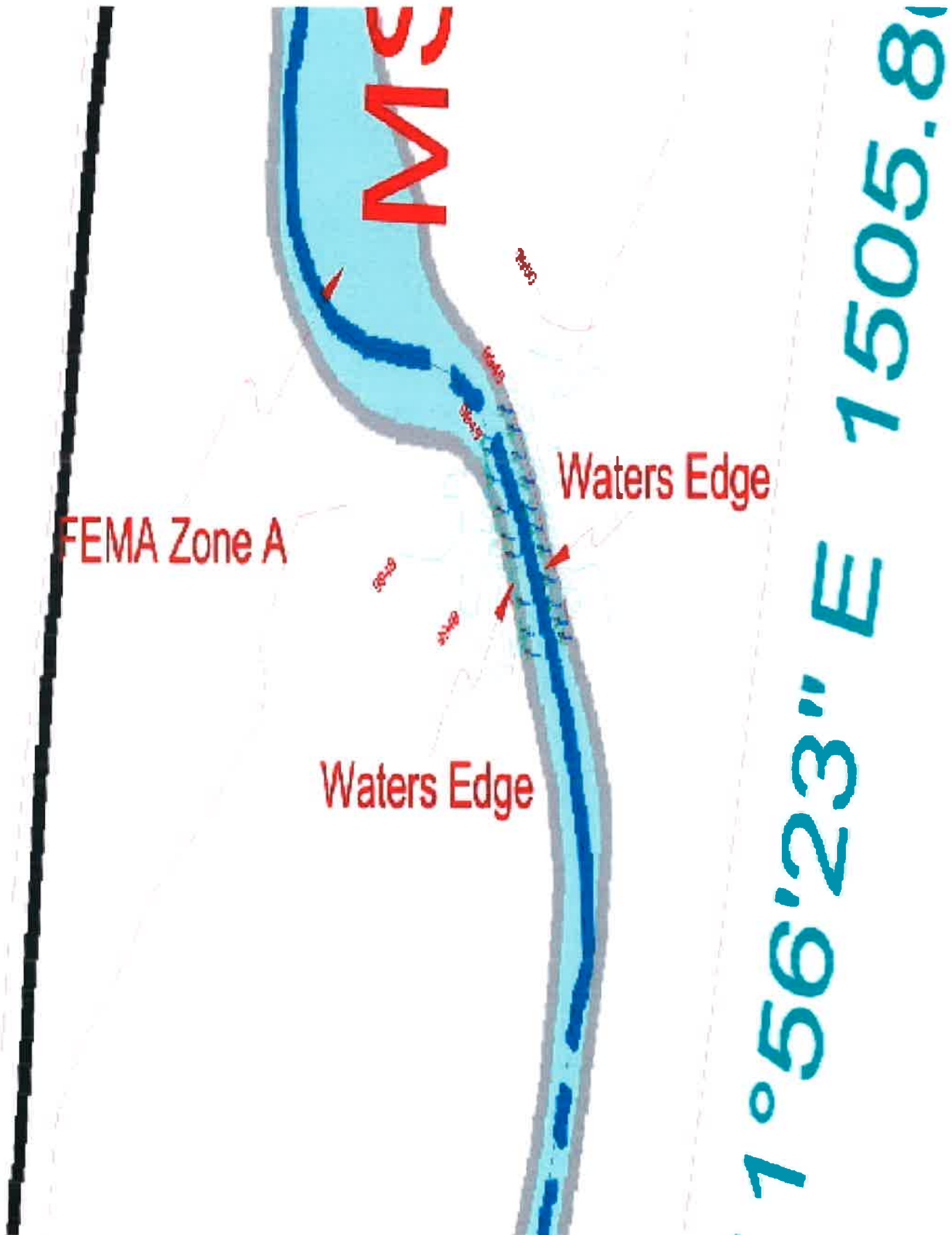
- Great for providing access to farms, camps, golf courses, parks, etc.
- Ideal temporary access for mobile homes, construction equipment, materials, concrete and other heavy or oversize loads.
- Can be used to replace or overlay older weight-restricted bridges. E&H's bridges are recognized as the only AASHTO rated timber bridges in North America
- Suitable for emergency relief situations. Can be used to replace washed-out bridges, overlay damaged bridges, access flood ravaged areas, or provide quick access for emergency vehicles or rescue teams.

Additional details of the bridges can be found on our website at EandHManufacturing.com, and in a DVD that is available upon request. Please feel free to call or email us for a quote, to discuss a particular application, or ask any questions.

Attachment I: FEMA Flood Overlay Map



Attachment J: Bridge Survey



Attachment K: Geotech Report

TRAUTNER GEOTECH LLC

GEOTECHNICAL ENGINEERING, MATERIAL TESTING
AND ENGINEERING GEOLOGY

November 30, 2023

Lloyd Swartz
Camino Real Estate Holdings, LLC
505-252-0915
ravensnestates@gmail.com

PN:58075GE

**Subject: Summary of Subsurface Conditions
Cement Creek Bridge – Overland Project
Silverton, Colorado**

Dear Mr. Swartz:

This letter presents the geotechnical exploration drilling completed on October 12, 2023 and presents our preliminary subsurface observations for the Cement Creek Bridge – Overland Project near Silverton, Colorado. The services were completed in accordance with our proposal to you dated September 25, 2023, Proposal No. 23345P. We understand that you have elected to terminate our agreement and would like to be billed for only the time we have into the project to date.

We understand the proposed project will consist of construction of a 35 to 40 foot bridge over Cement Creek which will be used to access a 12 lot subdivision. We understand the bridge that is currently being considered does not require a foundation. If plans change and foundation design parameters are desired, please contact us for additional information. A schematic showing the locations of our exploratory borings is provided below.

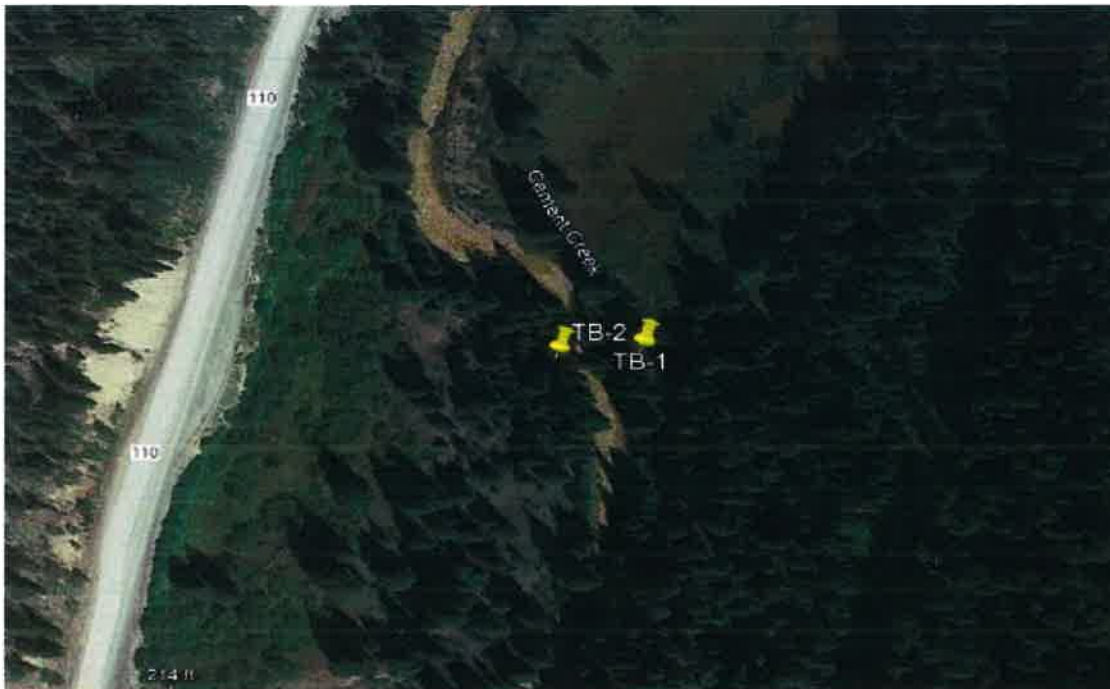


Figure 1: Locations of Exploratory Borings. Adapted from Google Earth.

We advanced two test borings (TB) on the project site at the approximate locations shown on Figure 1 above. The subsurface conditions encountered are presented in the attached test boring logs. The logs present our interpretation of the subsurface conditions encountered in the test borings at the time of our field work. Subsurface soil and water conditions are often variable across relatively short distances. It is likely that variable subsurface soil and water conditions will be encountered.

Free subsurface water was measured in both TB-1 and TB-2 at depths of approximately 5 feet and 6 feet after drilling, respectively.

The laboratory study had been already initiated at the time of the request to terminate our agreement and the results of the laboratory tests are attached below.

This study presents the subsurface conditions at the locations indicated at the time of drilling. This letter does not present any geotechnical engineering recommendations. We make no warranty as to the findings of this report, either expressed or implied. Our analysis is based on limited subsurface exploration.

Please contact us if you have any questions or if we may provide additional information.

Respectfully,
TRAUTNER GEOTECH



Tom R. Harrison
Principal Geotechnical Engineer

Attachments: Logs of Exploratory Borings
Sieve and Atterberg Limits Test Results
Swell/Consolidation Test Results
Soluble Sulfate/PH/Chloride Ion Test Results (Performed By Green Analytical Lab)

Attachment L: Shaded Boundary Adjustment for Clarity

